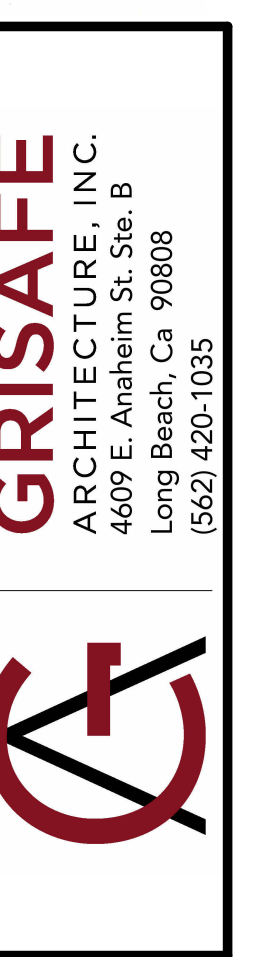


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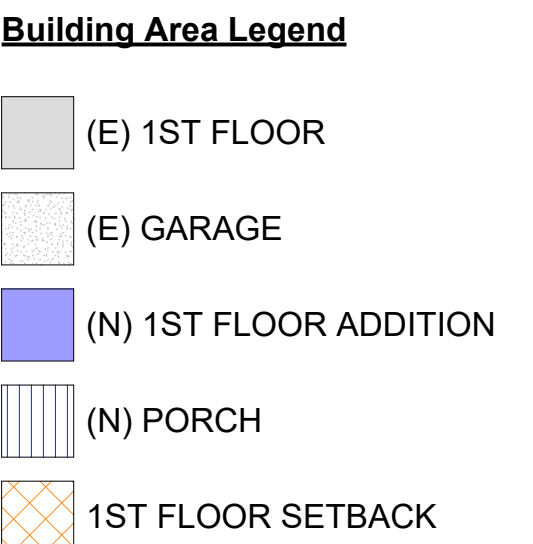
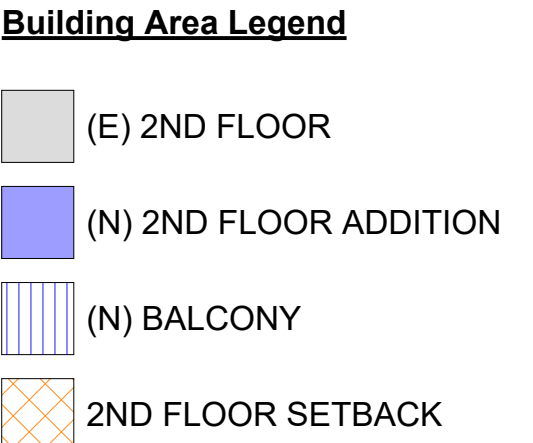
	Site Setback Plans	
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lot date:
29/2025
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job no.
202322

Sheet no.

C-2

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FIRST FLOOR SETBACK PLAN

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

BOUNDARY SURVEY
WITH TOPOGRAPHY

FOR
KIM CUTLER & ERIC YANG
811 SPENCER STREET
REDONDO BEACH, CA 90277
PHONE 909-239-7988

JOB ADDRESS
811 SPENCER STREET
REDONDO BEACH, CA 90277

LEGAL DESCRIPTION
PORTION OF LOT 3 & 4, BLOCK 103
TOWNSITE OF REDONDO BEACH
M.B. 39-1
APN 7504-013-036

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY FM CHECK BY TS

DRAWN ON JULY 1, 2024

REVISIONS
REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		EXISTING FENCE
	EXISTING CONTOUR		
	BEGINNING OF CURB RETURN		
	CABLE TV PULL BOX		
	CONCRETE		
	CHIMNEY		
	CITY ENGINEERS FIELD BOOK		
	CENTERLINE		
	CHAIN LINE FENCE / W/ABOUT IRON FENCE		
	EASTERLY		
	EDGE OF GUTTER		
	ELECTRIC METER		
	FINISH FLOOR		
	FIRE HYDRANT		
	FLOW LINE		
	GARAGE FINISH FLOOR		
	GAS METER		
	GUY WIRE		
	IRON PIPE MONUMENT		
	LEAD AND TACK / TAG MONUMENT		
	MANHOLE / SANITARY SEWER / STORM DRAIN		
	NORTHERLY		
	NAIL AND TAG / NAIL AND WASHER MONUMENT		
	PULL BOX / EDITION / TRAFFIC / STREET LIGHT		
	TELEPHONE / CABLE TV		
	PROPERTY CORNER / PROP. CORNER		
	PROPERTY LINE / PROP. LINE		
	POWER POLE / UTILITY POLE		
	PARAPET		
	PUBLIC WORKS FIELD BOOK		
	RAIL ROAD		
	ROAD DEPARTMENT FIELD BOOK		
	RECORD OF SURVEY		
	SPIKE / SPICE AND TAG MONUMENT		
	SOUTHERLY		
	SANITARY SEWER CLEAOUT		
	STAKE / STAKE AND TAG MONUMENT		
	STREET LIGHT POLE / LIGHT POLE		
	TOP OF CURB		
	TOP OF APRON / BOTTOM OF APRON		
	WESTERLY		
	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THIS SURVEY PLAN FOR OFFSET
DIMENSIONS. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION BY PHONE AT:
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

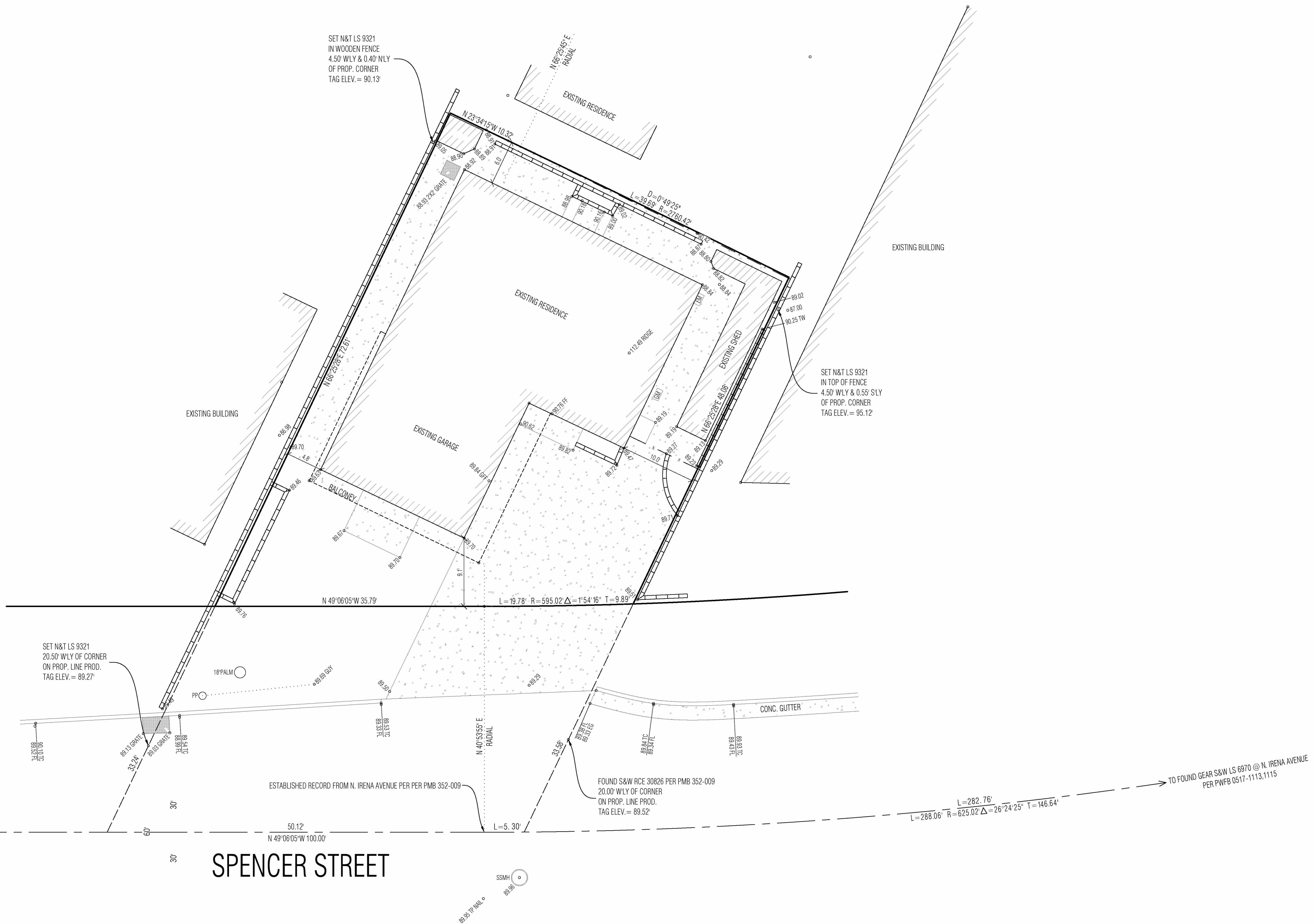
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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT
OF DENN ENGINEERS SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT. DENN ENGINEERS
DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY
ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS
MAY BE JOINED.

C-3

SHEET 1 OF 1

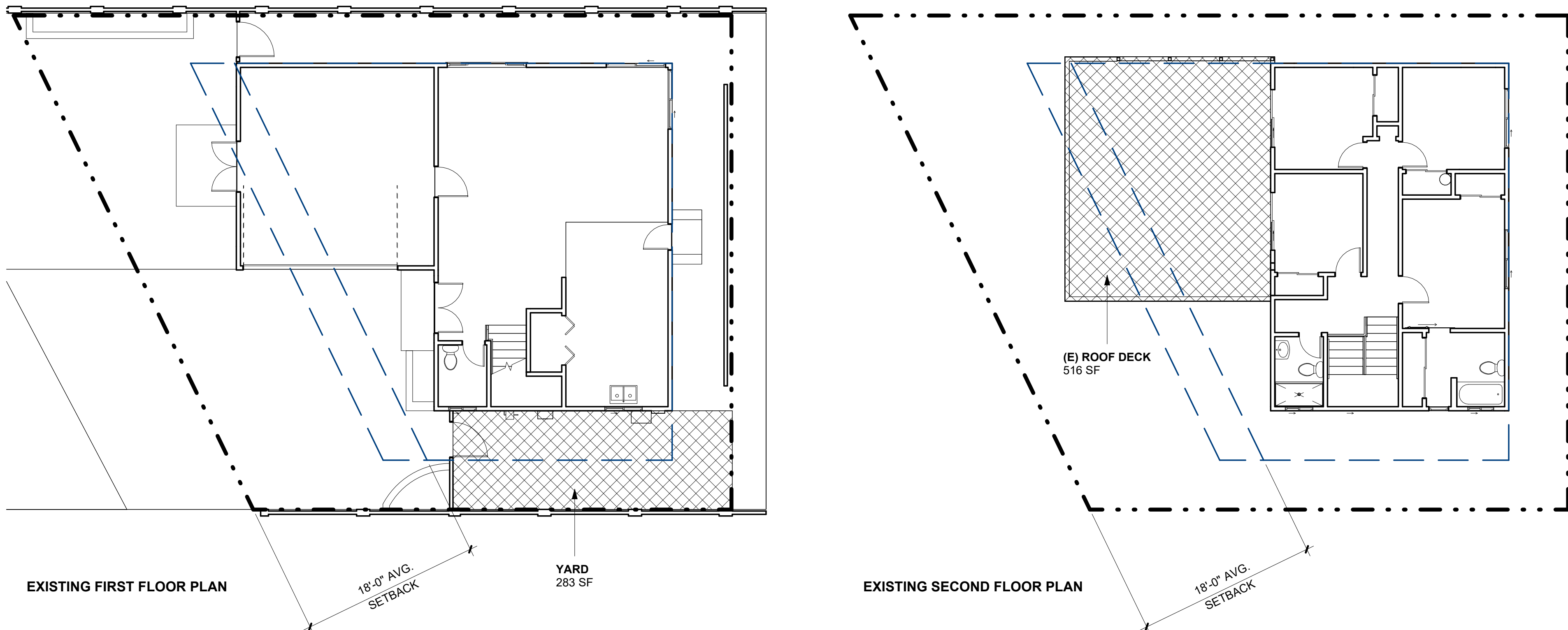
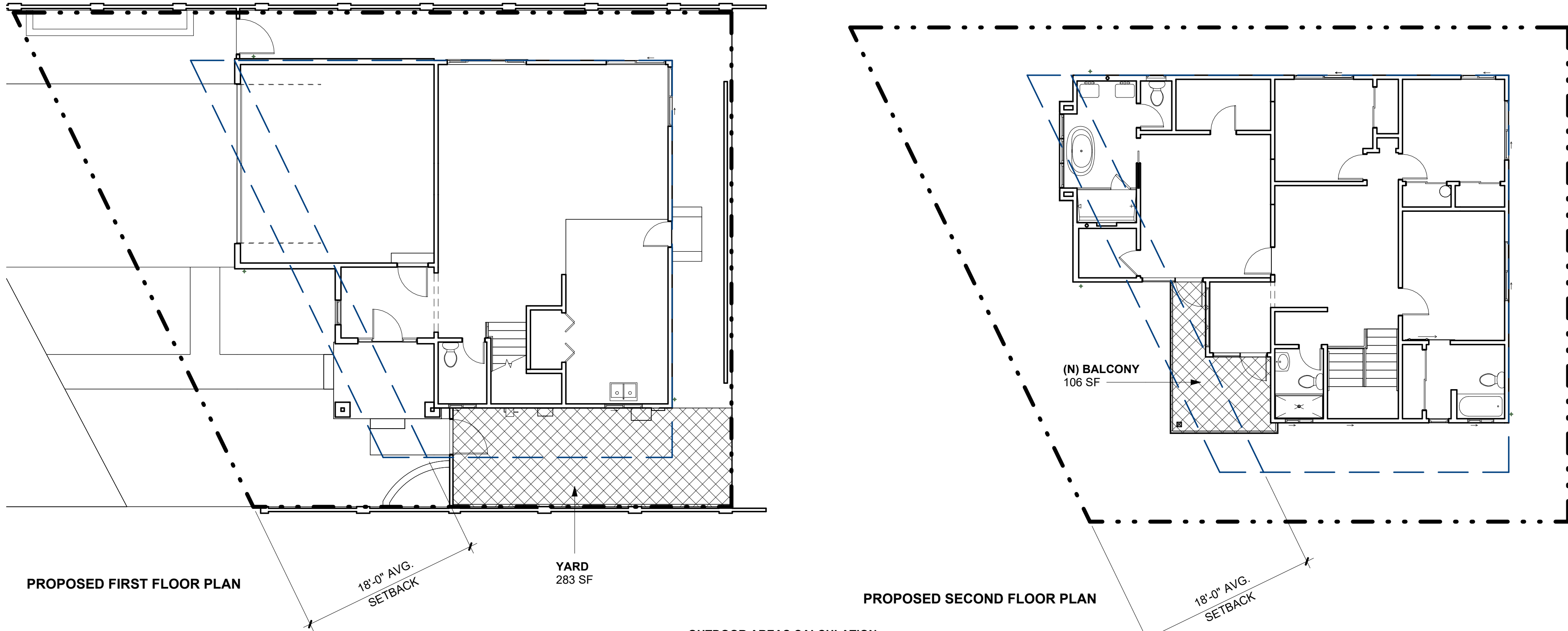
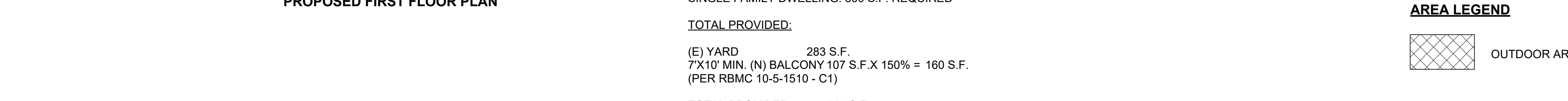
JOB NO. 24-205



ASSUMED BENCHMARK ELEVATION 97.81'
FOUND GEAR S&W LS 6970 AT THE CENTERLINE OF SPENCER STREET & IRENA AVENUE

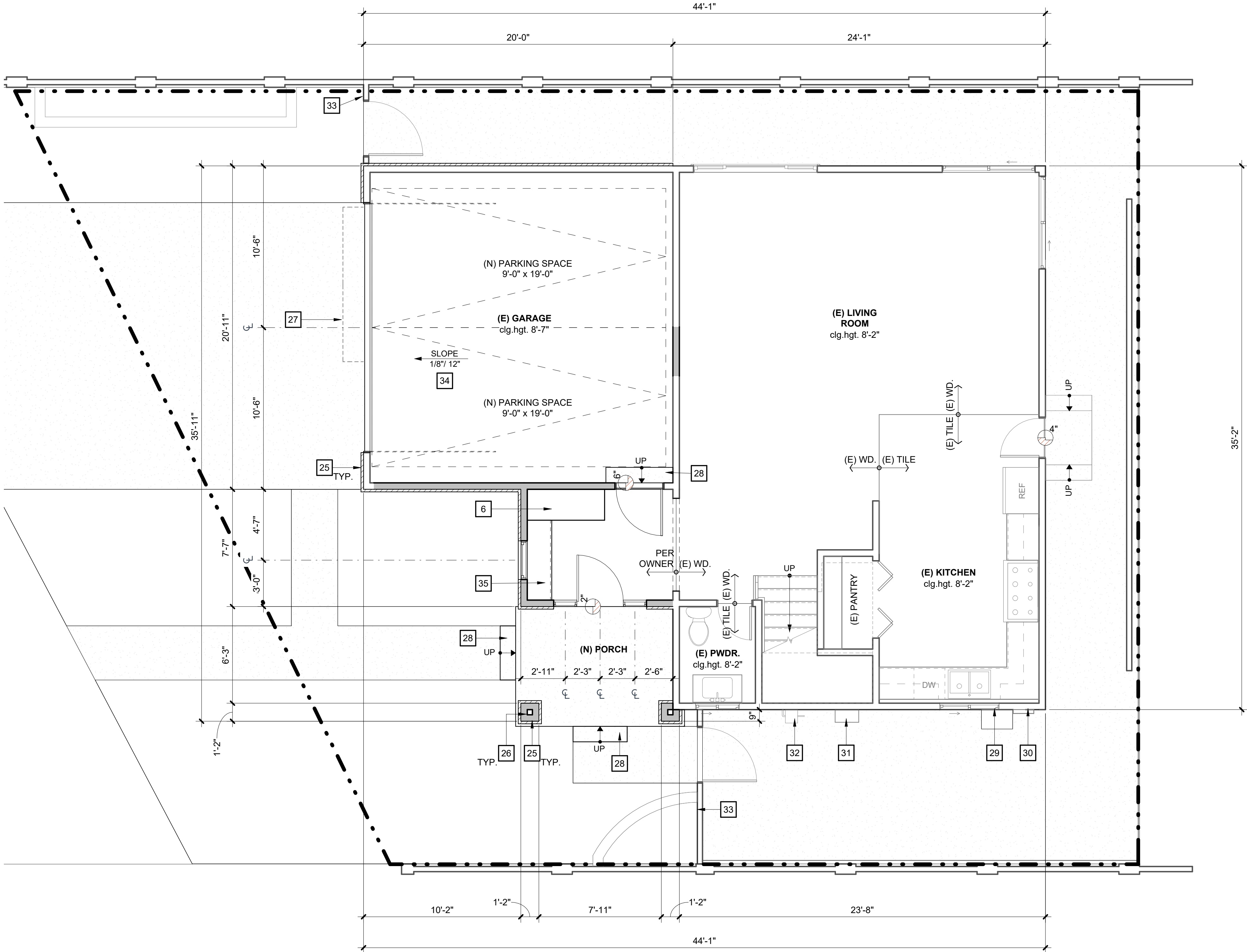
NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:
FIDELITY NATIONAL TITLE COMPANY
ORDER NO. 00213628-995-L80-JM6
DATED FEBRUARY 20, 2024

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DETAIL TITLE	1	DETAIL TITLE	2	<p>EXISTING FIRST FLOOR PLAN</p> <p>EXISTING SECOND FLOOR PLAN</p> <p>18'-0" AVG. SETBACK</p> <p>YARD 283 SF</p> <p>(E) ROOF DECK 516 SF</p> <p>OUTDOOR AREAS CALCULATION SINGLE FAMILY DWELLING: 800 S.F. REQUIRED</p> <p>TOTAL PROVIDED:</p> <p>(E) YARD 283 S.F. 7'X10' MIN. (N) ROOF DECK 516 S.F.X 15% = 78 S.F. (PER RBMC 10-S-1510 - C2)</p> <p>TOTAL PROVIDED: 361 S.F.</p> <p>AREA LEGEND</p> <p>OUTDOOR AREA</p>	
DETAIL TITLE	7	DETAIL TITLE	8	EXISTING OUTDOOR AREA	
					
DETAIL TITLE	13	DETAIL TITLE	14	<p>PROPOSED FIRST FLOOR PLAN</p> <p>PROPOSED SECOND FLOOR PLAN</p> <p>18'-0" AVG. SETBACK</p> <p>YARD 283 SF</p> <p>(N) BALCONY 106 SF</p> <p>OUTDOOR AREAS CALCULATION SINGLE FAMILY DWELLING: 800 S.F. REQUIRED</p> <p>TOTAL PROVIDED:</p> <p>(E) YARD 283 S.F. 7'X10' MIN. (N) BALCONY 107 S.F.X 150% = 160 S.F. (PER RBMC 10-S-1510 - C1)</p> <p>TOTAL PROVIDED: 443 S.F.</p> <p>AREA LEGEND</p> <p>OUTDOOR AREA</p>	
DETAIL TITLE	19	DETAIL TITLE	20	PROPOSED OUTDOOR AREA	
					

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FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES

- (N) PLUMBING VENT
- 2X6 PLUMBING WALL
- MIRROR- SEE INTERIORS
- (N) BATHROOM VANITY SINK, FIXTURE AS SELECTED BY OWNER
- (N) TOWEL BAR
- (N) CABINET-OWNER PROVIDED, CONTRACTOR INSTALLED
- (N) COUNTERTOPS PER OWNER
- 30" CLEAR MIN WATERCLOSET ACCESS WITH 15" MIN. FROM CENTER TO WALL 24" MIN CLEAR IN FRONT OF TOILET.
- (N) TOILET AS SELECTED BY OWNER.
- (N) TEMPERATURE CONTROL VALVE PER OWNER
- HAND-BUILT SHOWER AND SAFETY GLASS WALL ADJACENT TO SHOWER. MINIMUM SHOWER DIMENSIONS 1024 SQUARE INCHES. SHOWER OPENING MUST BE A MINIMUM 22" WIDE
- WATER PROOF TILE UP TO 78" MIN. WATER RESISTANT GYPSUM WALL BOARD IS NOT PERMITTED FOR TILE BACKING AT SHOWER.
- LINEAR SHOWER DRAIN
- (N) SHOWER HEAD PER OWNER
- RECESSED SHELF
- (N) BATHTUB PER OWNER
- CURBLESS, ZERO THRESHOLD SHOWER TRANSITION. SEE DETAIL: XX/XX
- PROVIDE SHELF & POLE UNLESS OWNER INDICATES OTHERWISE
- (E) ATTIC ACCESS
- LINE OF ROOF ABOVE
- (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL
- RELOCATE (E) STACKABLE W/D FROM GARAGE. PROVIDE WATER, WASTE, & SMITTY PAN
- (N) DRYER VENT PER U.M.C. 504.3.4" DIAMETER TO THE OUTSIDE, EQUIPPED WITH BACK-DRAFT DAMPER, DUCT LENGTH IS LIMITED TO 14' WITH 2 90 DEGREE ELBOWS, CMC 504.3.2.2. SEE PLAN FOR ROUTE TO EXTERIOR
- (N) PAINTED WOOD COLUMN
- (N) STONE VENEER AS SELECTED BY OWNER, INSTALL PER MANUFACTURER'S SPECIFICATIONS
- WOOD FRAMED COLUMN
- LINE OF 2ND FLOOR ABOVE
- (N) CONC. STEP
- (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
- (E) ELECTRICAL METER, UPGRADE AS REQUIRED TO 200 AMP MIN. PER SOUTHERN CALIFORNIA EDISON
- (E) TANKLESS WATER HEATER
- (E) GAS METER
- (E) FENCE AND GATE
- CHANGE SLOPE DIRECTION TO (N) GARAGE DOOR
- (N) MUDROOM STYLE BENCH SEAT
- (E) DUCT CHASE
- (E) FAU IN ATTIC ABV.

FLOOR PLAN NOTES

11

DETAIL TITLE

17

DETAIL TITLE

23

GENERAL NOTES:

- The governing codes are the 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC.
- Bathroom and service room windows shall provide 1.2 square feet minimum openable area or be provided with mechanical ventilation capable of providing five air changes per hour.
- Provide interconnected smoke detectors in each hallway leading to bedrooms and in each bedroom of new and existing construction and on top of stairway. In new construction, detectors to be wired, with battery backup. (Detectors are not to be located in kitchen, garage, or within 3 feet from door to kitchen or bathroom or supply air registers.) See:
- All gypsum wall board shall be 5/8" thick minimum, 5/8" Type X where indicated on plans. All work shall conform to UBC 2511. Inspection of nailing required for all gypsum wall board. Corner beads are to be nailed. Joint spacing 3/8" maximum.
- All glass panels over 9 square feet within 18" of floor and glass within 24" of door edges shall be fully tempered. All glazing in tub and shower enclosures shall be laminated, fully tempered, or wire glass. All safety glazing shall be etch marked per CBC 2406.
- All existing plumbing fixtures must be upgraded pursuant to California Civil Code, Sections 1101.1-1101.8 to comply with the following consumption limits:
 - Any toilet manufactured to use more than 1.6 gallons of water per flush
 - Any urinal manufactured to use more than one gallon of water per flush.
 - Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
 - Any interior faucet that emits more than 2.2 gallons of water per minute.
- New water closets shall be 1.28 gallons per flush at maximum. Showerheads shall have a max. flow rate of 2.0 gallons per minute at 80 psi. Laundry and sink faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Lavatory faucets shall have a maximum flow rate of 1.5 gallons per minute at 60 psi. Control valves for shower and tub-shower shall be of the pressure balance or thermostatic mixing valve type Sec. 4.303 CBC. Hot water is required to be on left.
- All hose bibbs shall be protected by an anti-siphon device.
- Pools, spas, walls, fences, patio covers and other freestanding structures require separate reviews and permits.
- All plumbing material used in the water supply system, except valves and similar devices, shall be of like materials.
- Title 24 Energy Conservation:
 - Insulation:
 - Per energy efficiency calculations
 - Glazing:
 - Refer to window / door schedule.
- Provide shatter resistant material for shower enclosure. Water resistant gypsum wall board is not permitted for tile backing at shower.
- Edison Company approval is required for meter location prior to installation.
- Electrical service shall be upgraded as required.
- Existing sewer lateral to be changed and a clean-out installed at the property line to comply with city standard if any of the following conditions occur:
 - Alteration to the building sewer is done.
 - Additional plumbing fixtures require an increase in size of building line.
 - When 6 or more fixture units are added to an existing undersized plumbing system.
 - When it is found that the building sewer is installed in an illegal or unsanitary manner.
- If the Building Inspector determines that any of these conditions occur, sewer lateral shall be changed and a new clean out installed to comply with City standards.
- New gas FAU's shall have 78% AFUE, minimum.
- Provide street address on building per City requirement.
- Provide fire blocking per CBC 708.
- Provide water heater combustion air, venting, drain pan and line per UPC Chapter 5. Water heaters shall be strapped at top and bottom with 1 1/2" x 16-gauge strap with 3/8" Ø x 3" lag screws each end to studs. Vent to outside air. Pressure relief valve to terminate outside of garage.
- Field inspectors shall review and approve underground service requirements prior to concrete placement.
- A licensed surveyor must complete FEMA elevation certificate and submit to Building Department inspector after the first floor is poured.
- All mechanical and electrical equipment including ducts to be above elevation 6.27 msl.
- Stucco lath and drywall shall be nailed to all studs and top-bottom plates.
- Use 2-15# felt backing when stucco is applied over plywood, CBC Sec. 2510.
- Insulation installer shall post in a conspicuous location in building a certificate signed by the installer and the builder stating the installation conforms with the requirements of Title 24, part 6 and that the materials installed conform with the requirements of Title 20, Chapter 2, Subchapter 4, Article 3.
- The builder shall provide the original occupant with a list of the heating, cooling, water heating and lighting systems and conservation or solar devices installed in the building and instructions on how to use them efficiently.
- Shower compartments and walls above bathtub with shower heads shall be finished with a smooth, nonabsorbent surface to a height not less than 6 feet above floor. (R307.2)
 - Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas. (R702.4.2)

GENERAL NOTES

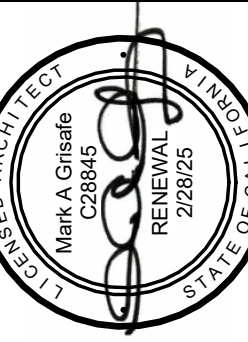
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|--|--|
| | FLOOR PLAN NOTE |
| | WINDOW CALL-OUT |
| | DOOR CALL-OUT |
| | GY. BD. OVER WOOD STUD WALLS - 2X4 INTERIOR
2X6 EXTERIOR - @ 16" O.C. U.N.O. (REFER TO
STRUCTURAL PLANS) ALL EXTERIOR STUD WALLS
INSULATED PER ENERGY EFF. CALCS. |
| | EXISTING WALL TO REMAIN |
| | FLOOR MATERIAL CHANGE. REFER TO INTERIORS FOR
MATERIALS |
| | DETAIL |
| | THRESHOLD HEIGHT INDICATOR |

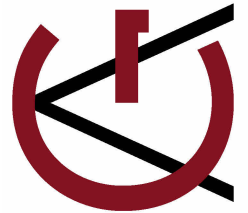
FLOOR PLAN LEGEND

24

REVISION



GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

First Floor Plan

plot date:
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job no.
202322

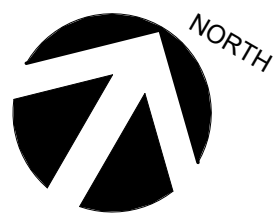
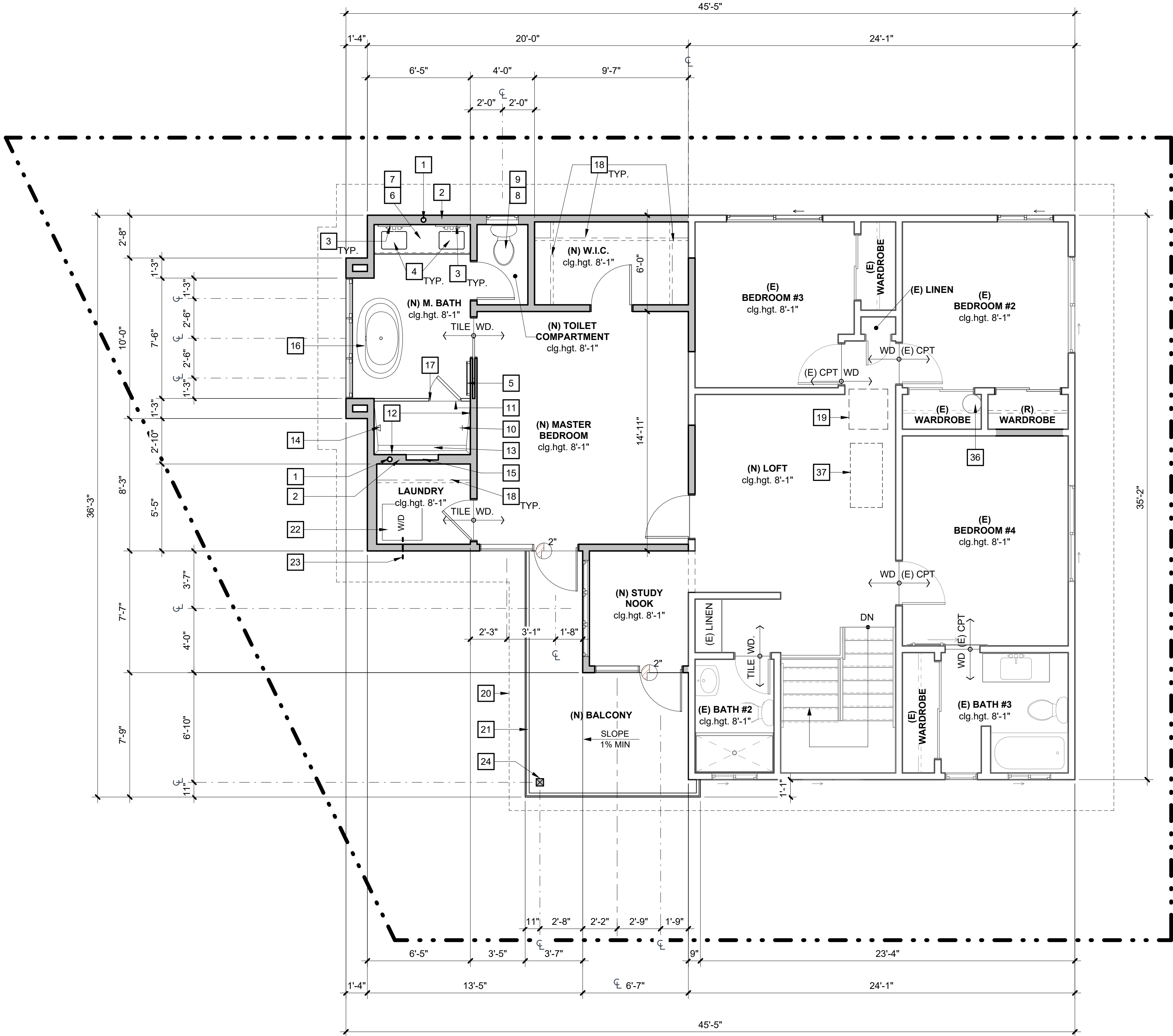
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THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

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- (E) DUCT CHASE
- (E) FAU IN ATTIC ABV.

DETAIL TITLE

6

DETAIL TITLE

11

FLOOR PLAN NOTES

12

DETAIL TITLE

17

DETAIL TITLE

18

1

FLOOR PLAN NOTE

101

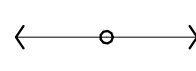
WINDOW CALL-OUT

101

DOOR CALL-OUT

GY. BD. OVER WOOD STUD WALLS - 2X4 INTERIOR 2X6 EXTERIOR - @ 16" O.C. U.N.O. (REFER TO STRUCTURAL PLANS) ALL EXTERIOR STUD WALLS INSULATED PER ENERGY EFF. CALCS.

EXISTING WALL TO REMAIN



FLOOR MATERIAL CHANGE. REFER TO INTERIORS FOR MATERIALS

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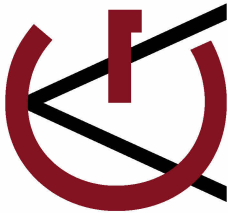
DETAIL

1"

THRESHOLD HEIGHT INDICATOR

REVISION

GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

Second Floor Plan

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5/29/2025
10:02:16 AM
job no.
202322

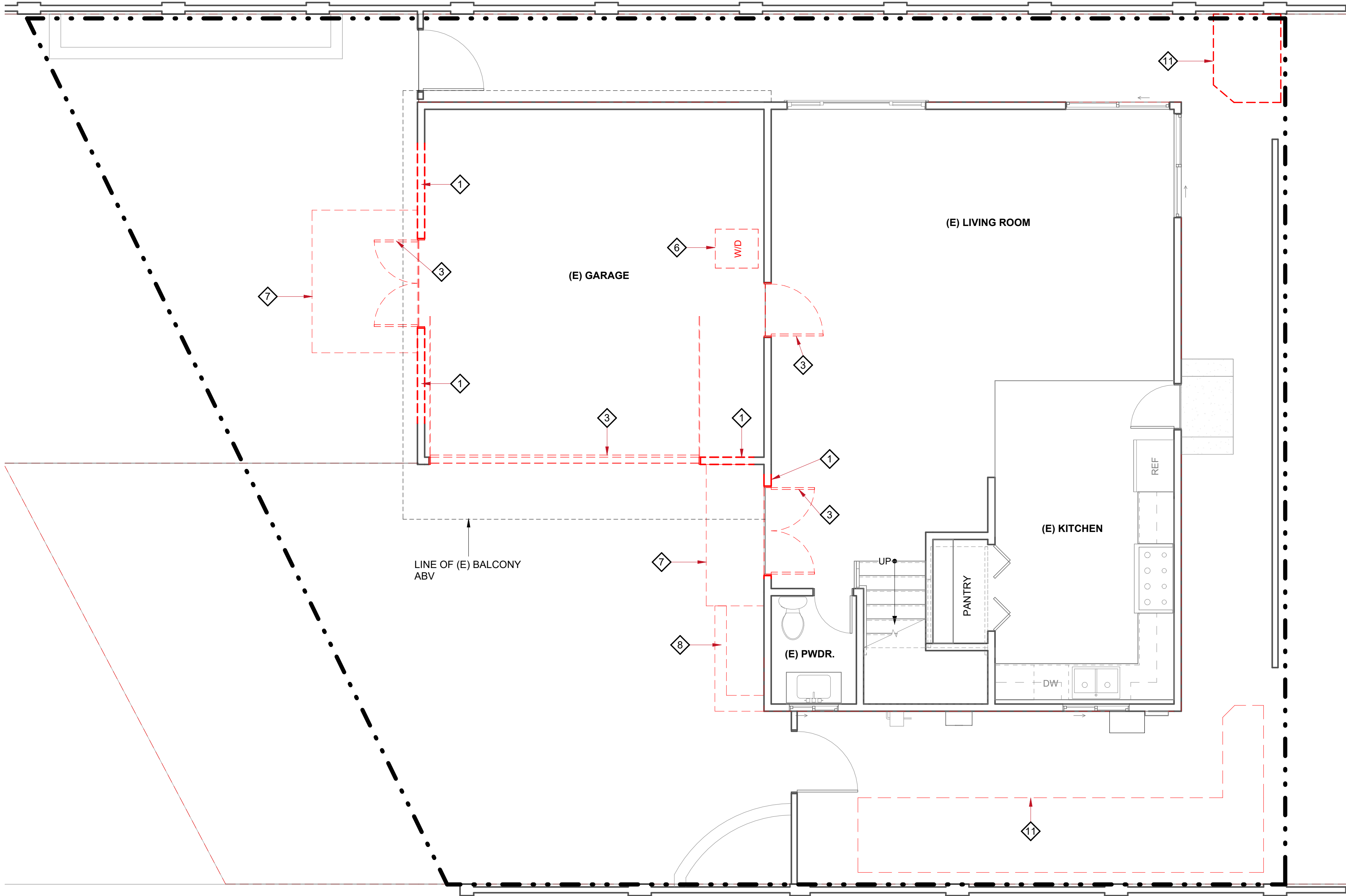
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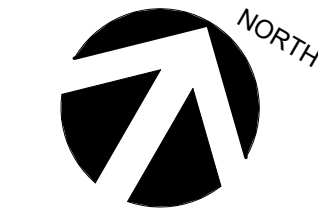
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FIRST FLOOR DEMOLITION PLAN



Scale: 1/4" = 1'-0"

22

DETAIL TITLE

5

DETAIL TITLE

11

DEMOLITION NOTES

- 1. REMOVE PORTION OF WALL
- 2. REMOVE GUARDRAIL
- 3. REMOVE DOOR
- 4. REMOVE SHELF AND POLE
- 5. REMOVE FIN. FLOORING MATERIAL AS INDICATED BY OWNER
- 6. REMOVE AND RELOCATE APPLIANCE, SAVE FOR REINSTALLATION - CAP OR REMOVE UTILITIES AS REQUIRED
- 7. REMOVE (E) CONCRETE LANDING
- 8. REMOVE (E) PLANTER
- 9. HATCH INDICATES REMOVAL OF BALCONY FINISHES & RELATED FRAMING AS REQUIRED TO ACCOMMODATE ADDITION
- 10. SHADING INDICATES LOCATION OF 182 S.F ROOF REMOVAL OR REVISION, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION. PROVIDE ATTIC VENTING AS INDICATED ON ROOF PLAN
- 11. REMOVE (E) UNPERMITTED SHED ABOVE

DEMOLITION SCHEDULE

17

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- AREA OF ROOF TO BE DEMOLISHED/REVISED, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION

DEMOLITION LEGEND

DEMOLITION NOTES

1. IN COMPANY WITH OWNER AND ARCHITECT, VISIT SITE AND VERIFY EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. VERIFY WHAT ITEMS ARE TO BE KEPT AND PROVIDE PROPER AND SAFE STORAGE OF THESE ITEMS.
2. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHAT KIND, HOW MANY, AND HOW LONG TEMPORARY BRACING IS TO BE PLACED. ANY AREAS OF THE BUILDING DAMAGED THROUGH NEGLIGENCE BY THE GENERAL CONTRACTOR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.
3. PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS:
 - A. SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH REQUIREMENTS OF PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
 - B. COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS.
 - C. NOTIFY OWNER'S SECURITY COMPANY AND COORDINATE AS REQUIRED.
4. DEMOLISHED MATERIAL IS PROPERTY OF CONTRACTOR: COMPLETELY REMOVE FROM JOB SITE AND DISPOSE OF IN A LAWFUL MANNER.
5. PREVENT DUST BECOMING A NUISANCE TO PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR JOB SITE.

JOB CONDITIONS

 - A. DO NOT INTERFERE WITH USE OF ADJACENT PROPERTIES OR CONTINUING OPERATION OF BUILDING DURING WORKING HOURS. MAINTAIN FREE AND SAFE PASSAGE FOR WORKERS AND PUBLIC ON PRIVATE AND PUBLIC PROPERTIES AND EASEMENTS.
 - B. PREVENT MOVEMENT AND SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, COLLAPSE, DAMAGES, OR INJURY.
 - C. CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED AND ASSURED. BE SOLELY RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK.
 - D. CAREFULLY REMOVE, STORE, AND PROTECT FOR RE-INSTALLATION, MATERIALS AND EQUIPMENT IDENTIFIED ON DRAWING OR DESIGNATED BY THE ENGINEER OR OWNER IN FIELD. MAINTAIN POSSESSION OF ALL OTHER MATERIALS AND EQUIPMENT BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE IN A LAWFUL MANNER.
 - E. DURING REMOVAL OF OVERHEAD ELEMENTS, PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
 - F. PROTECTION:
 1. ERECT BARRIERS, FENCES, GUARD RAILS, ENCLOSURES, CHUTES, AND SHORING TO PROTECT PERSONNEL, STRUCTURES, AND UTILITIES REMAINING INTACT.
 2. PROTECT EXISTING MATERIALS FROM DAMAGE.
 - G. MAINTAINING TRAFFIC:
 1. ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, SIDEWALKS, AND ADJACENT FACILITIES.
 2. DO NOT CLOSE OR OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 3. IF REQUIRED BY GOVERNING AUTHORITIES, PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.

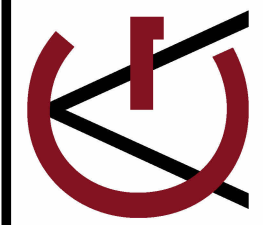
PREPARATION

 - A. VERIFY CONTINUATION OF UTILITY SERVICES TO THE STRUCTURE.
 - B. PROVIDE ADEQUATE BARRIERS BETWEEN THE ADDITION/REMODEL AREAS AND THE EXISTING AREAS THAT WILL BE OCCUPIED SO THAT NOISE AND DUST WILL NOT BE TRANSFERRED INTO HABITABLE AREAS.
 - C. REMOVE ITEMS SCHEDULED TO BE SALVAGED FOR OWNER, AND PLACE IN DESIGNATED STORAGE AREA.
 - D. IF REQUIRED, PRIOR TO CONSTRUCTION, THE OWNER WILL HAVE HAD ALL FRIABLE AND TOXIC MATERIALS REMOVED AND THE BUILDING CERTIFIED. IF ANY ADDITIONAL EVIDENCE OF THE POTENTIAL OF AIRBORNE ASBESTOS, OR TOXIC WASTES BECOMES APPARENT - STOP WORK IMMEDIATELY AND NOTIFY THE OWNER. THE OWNER'S ASBESTOS INSPECTION OR ABATEMENT SHALL COMPLY WITH THE REGULATIONS CONTAINED IN 40 CFR PART 763 ALSO KNOWN AS THE ASBESTOS HAZARD EMERGENCY RESPONSE ACT (AHERA). DEMOLITION
 - E. COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. REMOVE AND UNDERTAKE DEMOLITION IN A DELIBERATE AND SYSTEMATIC MANNER, TAKING NOTE OF ALL MATERIALS AND SYSTEMS ENCOUNTERED. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED. DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ITS REMOVAL OR DEMOLITION MAY HAVE ON EXISTING CONSTRUCTION, STRUCTURE AND BUILDING SERVICES. IF THERE ARE ANY QUESTIONS CONCERNING THE DISPOSITION OF EXISTING CONSTRUCTION ENCOUNTERED NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING. ASSUME ALL RESPONSIBILITY AND LIABILITY, INCLUDING CONSEQUENTIAL DAMAGES RESULTANT OF FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.
 - F. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO OWNER MATCH EXISTING TO REMAIN OR NEW WORK.

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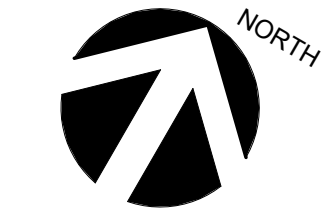
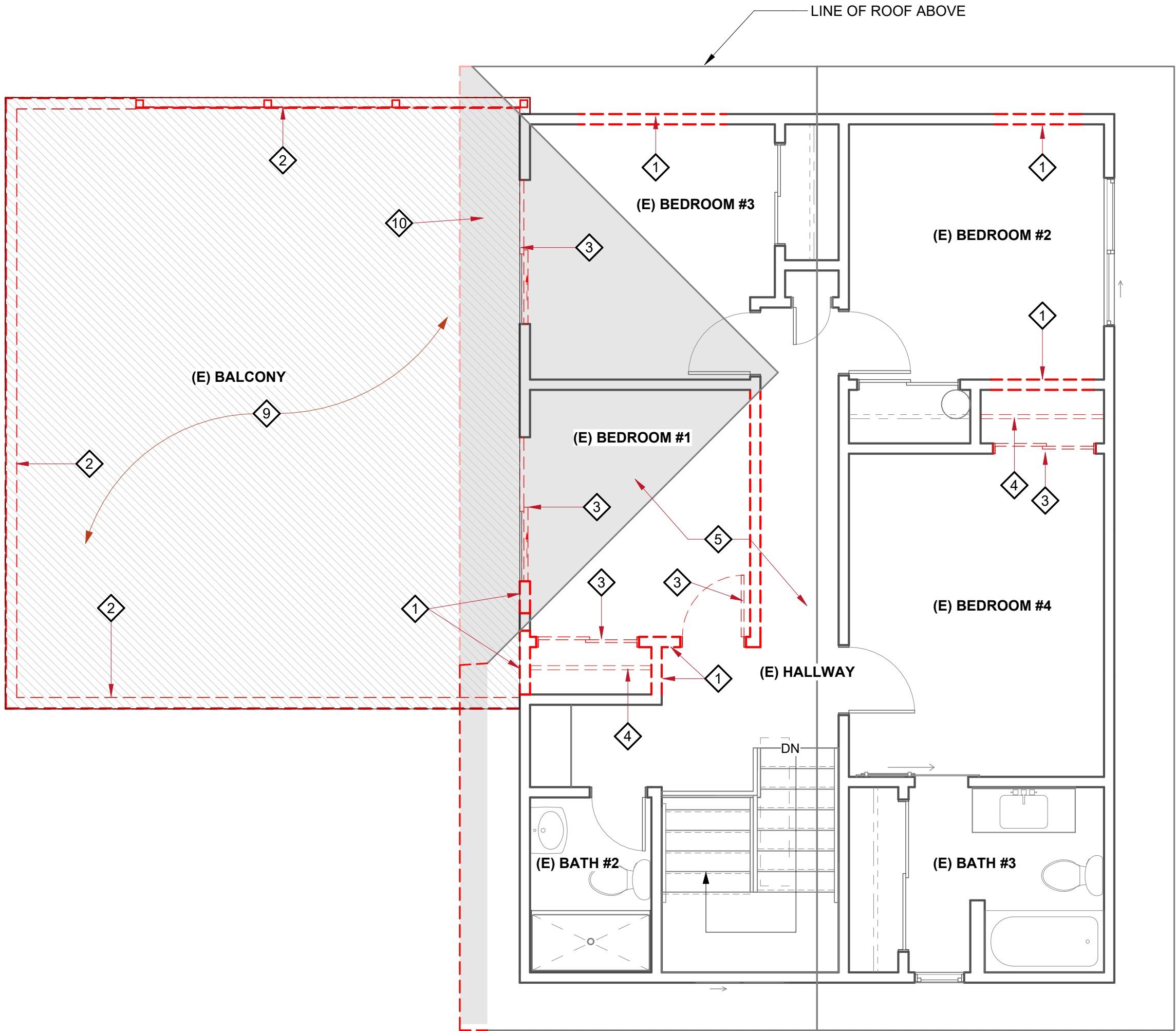
First Floor Demolition Plan

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A-3
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SECOND FLOOR DEMOLITION PLAN

Scale: 1/4" = 1'-0"

22

		<div>DEMOLITION NOTES</div> <div><div>1</div>REMOVE PORTION OF WALL</div> <div><div>2</div>REMOVE GUARDRAIL</div> <div><div>3</div>REMOVE DOOR</div> <div><div>4</div>REMOVE SHELF AND POLE</div> <div><div>5</div>REMOVE FIN. FLOORING MATERIAL AS INDICATED BY OWNER</div> <div><div>6</div>REMOVE AND RELOCATE APPLIANCE, SAVE FOR REINSTALLATION - CAP OR REMOVE UTILITIES AS REQUIRED</div> <div><div>7</div>REMOVE (E) CONCRETE LANDING</div> <div><div>8</div>REMOVE (E) PLANTER</div> <div><div>9</div>HATCH INDICATES REMOVAL OF BALCONY FINISHES & RELATED FRAMING AS REQUIRED TO ACCOMMODATE ADDITION</div> <div><div>10</div>SHADING INDICATES LOCATION OF 182 S.F ROOF REMOVAL OR REVISION, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION. PROVIDE ATTIC VENTING AS INDICATED ON ROOF PLAN</div> <div><div>11</div>REMOVE (E) UNPERMITTED SHED ABOVE</div>
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DETAIL TITLE	5	DEMOLITION SCHEDULE	6
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		<div><div><div></div></div>EXISTING WALL TO REMAIN</div> <div><div><div></div></div>EXISTING WALL TO BE DEMOLISHED</div> <div><div><div></div></div>AREA OF ROOF TO BE DEMOLISHED/REVISED, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION</div>	
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DETAIL TITLE	11	DEMOLITION LEGEND	12
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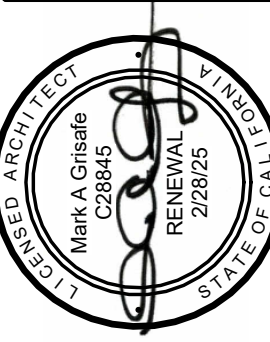
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DETAIL TITLE	17	DETAIL TITLE	18
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DETAIL TITLE	23	DETAIL TITLE	24
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Second Floor Demolition Plan

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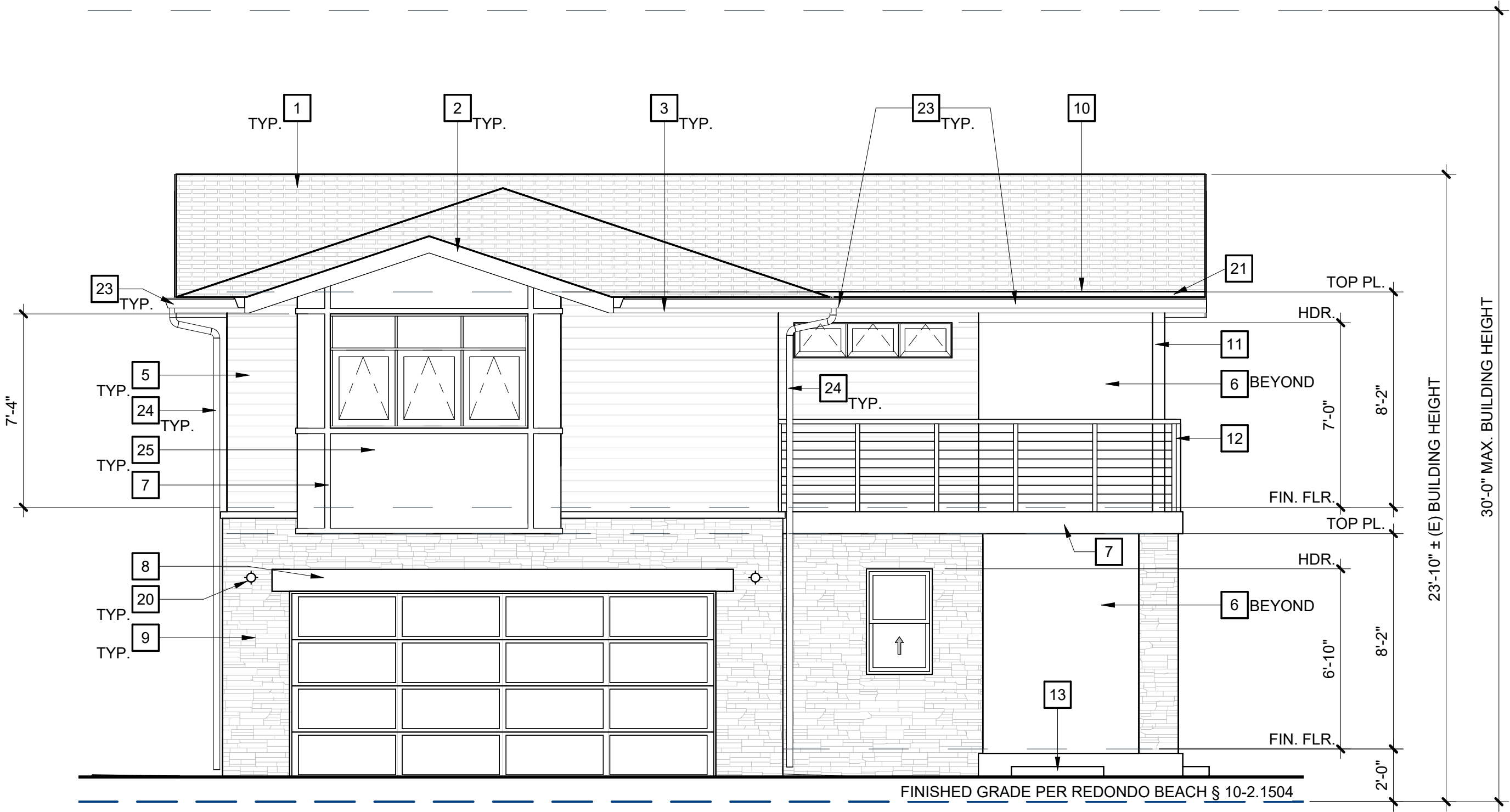
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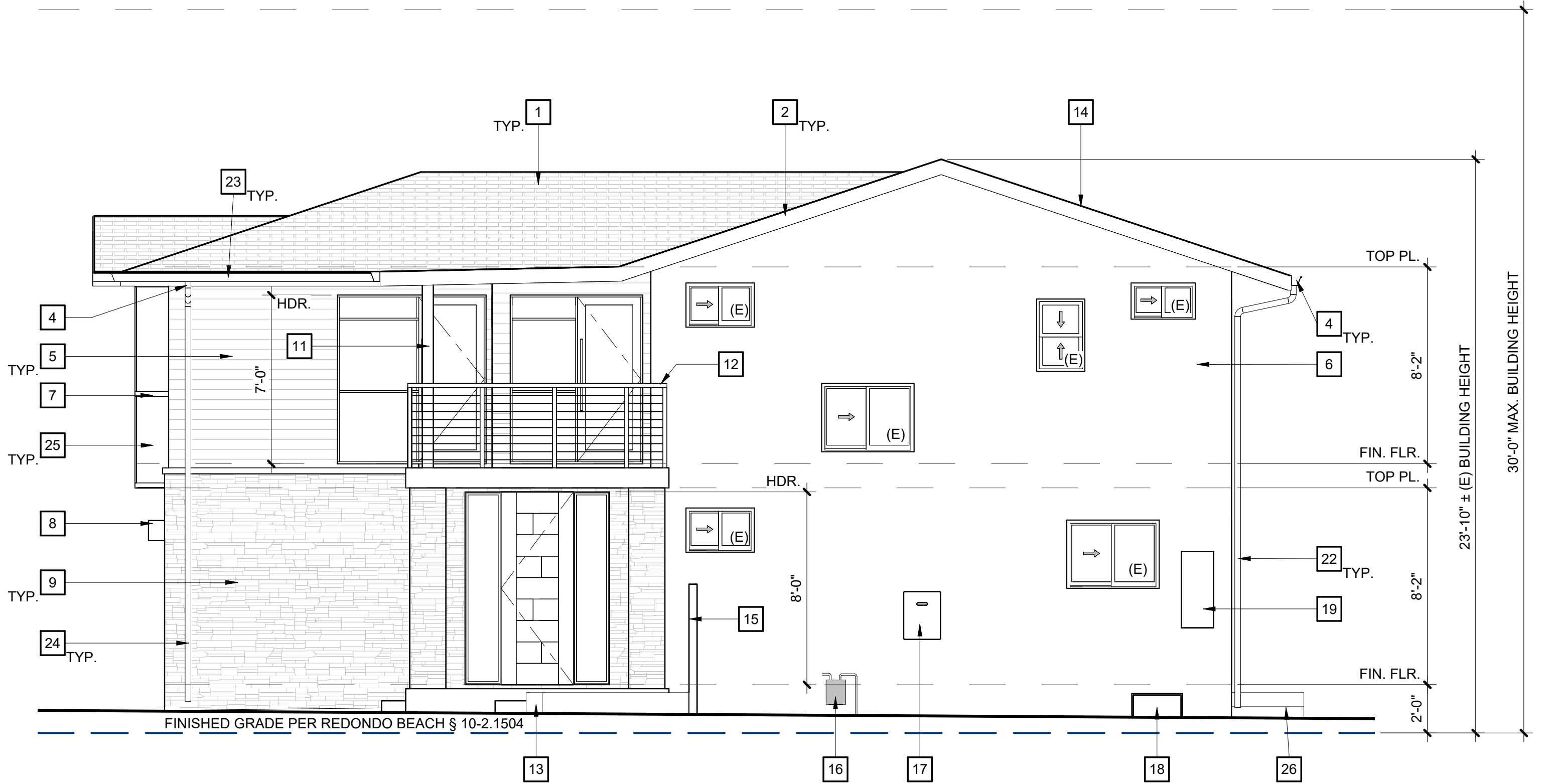
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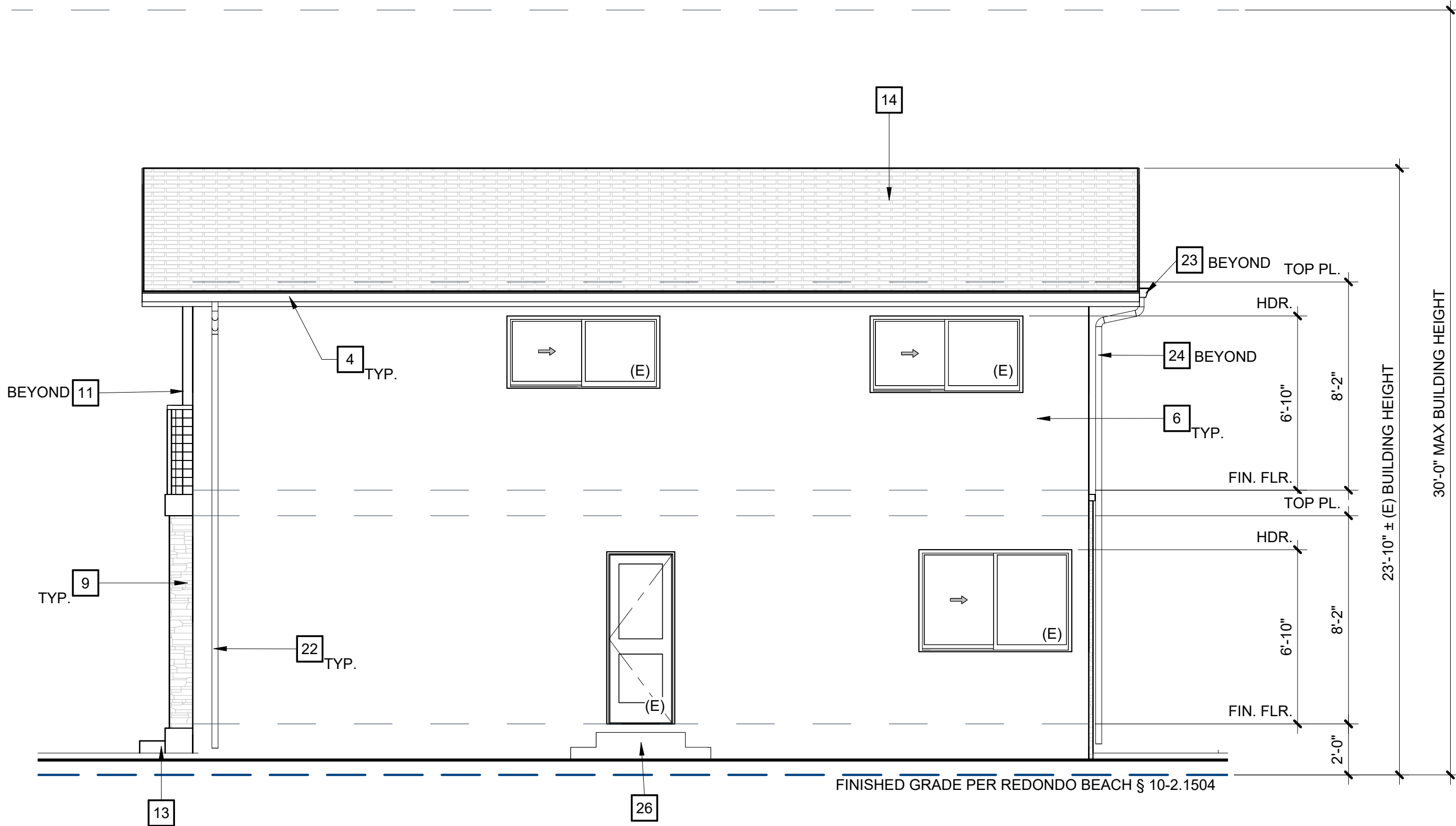
WEST ELEVATION

Sca



SOUTH ELEVATION

Scale



EXTERIOR ELEVATION NOTES

- 1 (N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO
MATCH EXISTING ADJACENT
- 2 BARGE BOARD
- 3 FASCIA BOARD
- 4 (E) GUTTER
- 5 EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED
HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED
EQUAL
- 6 EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND
PAINT AS REQUIRED
- 7 PAINTED WOOD TRIM OR EQ.
- 8 CONCRETE OR STONE LINTEL AS SELECTED BY OWNER
- 9 EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY
OWNER
- 10 LINE OF CHANGE OF ROOF PITCH
- 11 (N) PAINTED WOOD COLUMN
- 12 (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS
BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"
- 13 (N) CONC. STEP
- 14 (E) ASPHALT SHINGLE ROOF TO REMAIN
- 15 (E) FENCE AND GATE
- 16 (E) GAS METER
- 17 (E) TANKLESS WATER HEATER
- 18 (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
- 19 (E) ELECTRICAL PANEL, UPGRADE AS REQUIRED
- 20 (N) EXTERIOR LIGHT FIXTURE
- 21 (N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS
SELECTED BY OWNER TO MATCH ADJACENT
- 22 (E) DOWNSPOUT
- 23 (N) GUTTER, MATERIAL & COLOR BY OWNER
- 24 (N) DOWNSPOUT, MATERIAL & COLOR BY OWNER
- 25 EXTERIOR WALL FINISH: HARDIPANEL SIDING, COLOR & FINISH
AS SELECTED BY OWNER TO COMPLEMENT ADJACENT
MATERIALS
- 26 (E) CONC. LANDING & STEPS

DETAIL TITLE

13

DETAIL TITLE

14

DETAIL TITLE

19

DETAIL TITLE

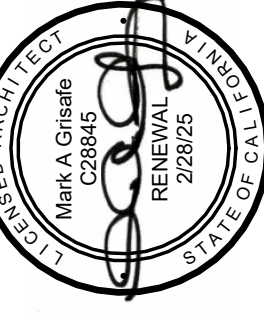
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EAST ELEVATION

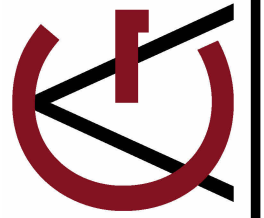
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23 | EXTERIOR ELEVATION NOTES

24

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Exterior Elevations

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Scale: 1/4" = 1'-0"

12

EXTERIOR ELEVATION NOTES

- 1 (N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO
2 MATCH EXISTING ADJACENT
3 BARGE BOARD
4 FASCIA BOARD
5 (E) GUTTER
6 EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED
7 HORIZONTAL FINISH WITH MITERED CORNERS OR APPROVED
8 EQUAL
9 EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND
10 PAINT AS REQUIRED
11 PAINTED WOOD TRIM OR EQ.
12 CONCRETE OR STONE LINTEL AS SELECTED BY OWNER
13 EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY
14 OWNER
15 LINE OF CHANGE OF ROOF PITCH
16 (N) PAINTED WOOD COLUMN
17 (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS
18 BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"
19 (N) CONC. STEP
20 (E) ASPHALT SHINGLE ROOF TO REMAIN
21 (E) FENCE AND GATE
22 (E) GAS METER
23 (E) TANKLESS WATER HEATER
24 (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
25 (E) ELECTRICAL PANEL, UPGRADE AS REQUIRED
26 (N) EXTERIOR LIGHT FIXTURE
27 (N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS
28 SELECTED BY OWNER TO MATCH ADJACENT
29 (E) DOWNSPOUT
30 (N) GUTTER, MATERIAL & COLOR BY OWNER
31 (N) DOWNSPOUT, MATERIAL & COLOR BY OWNER
32 EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH
33 AS SELECTED BY OWNER TO COMPLEMENT ADJACENT
34 MATERIALS
35 (E) CONC. LANDING & STEPS

DETAIL TITLE

16

DETAIL TITLE

17

DETAIL TITLE

22

DETAIL TITLE

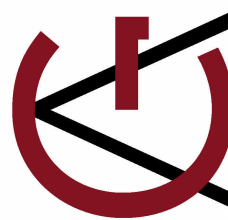
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EXTERIOR ELEVATION NOTES

24

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Exterior Elevations & 3D Views

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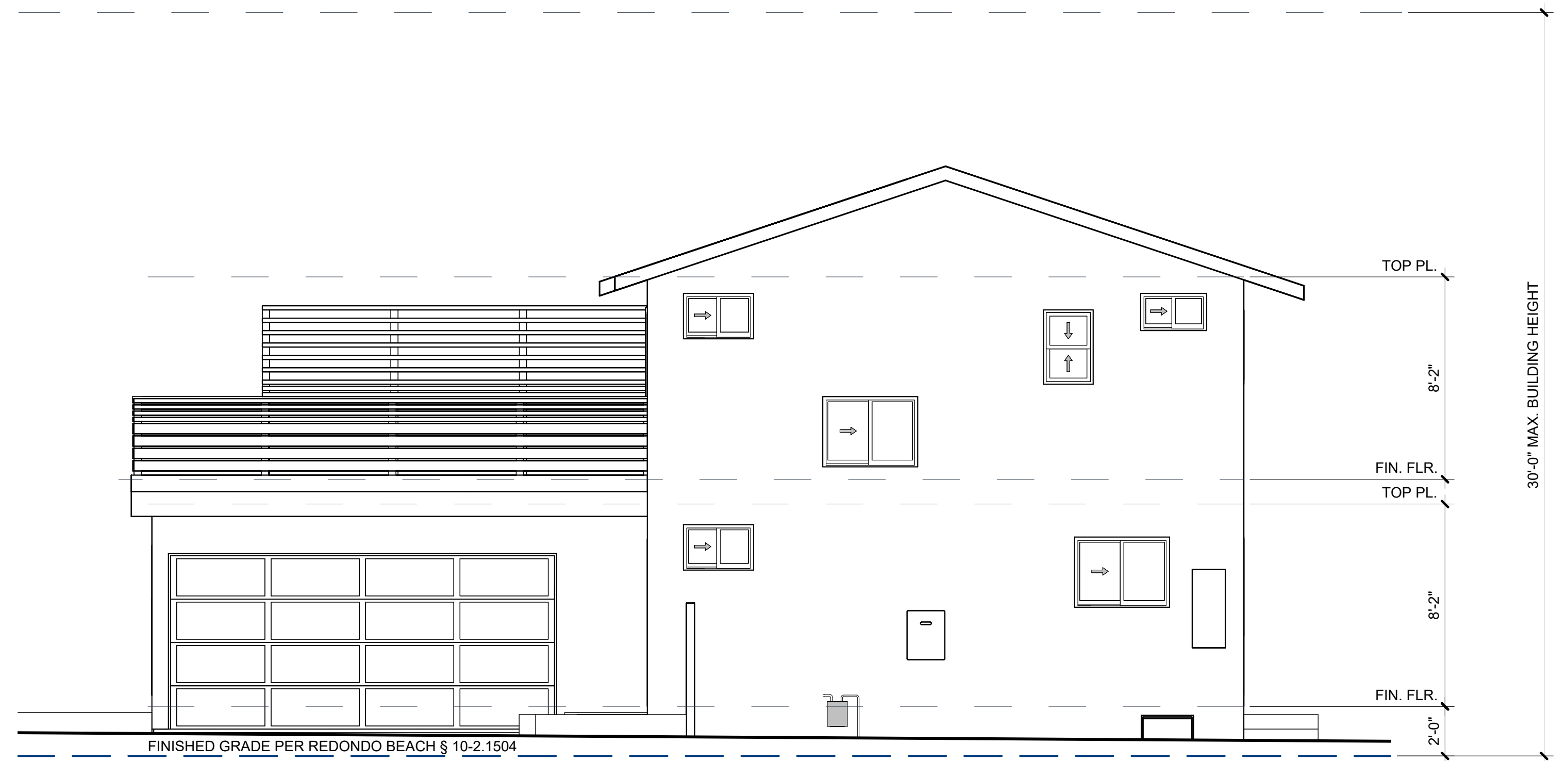
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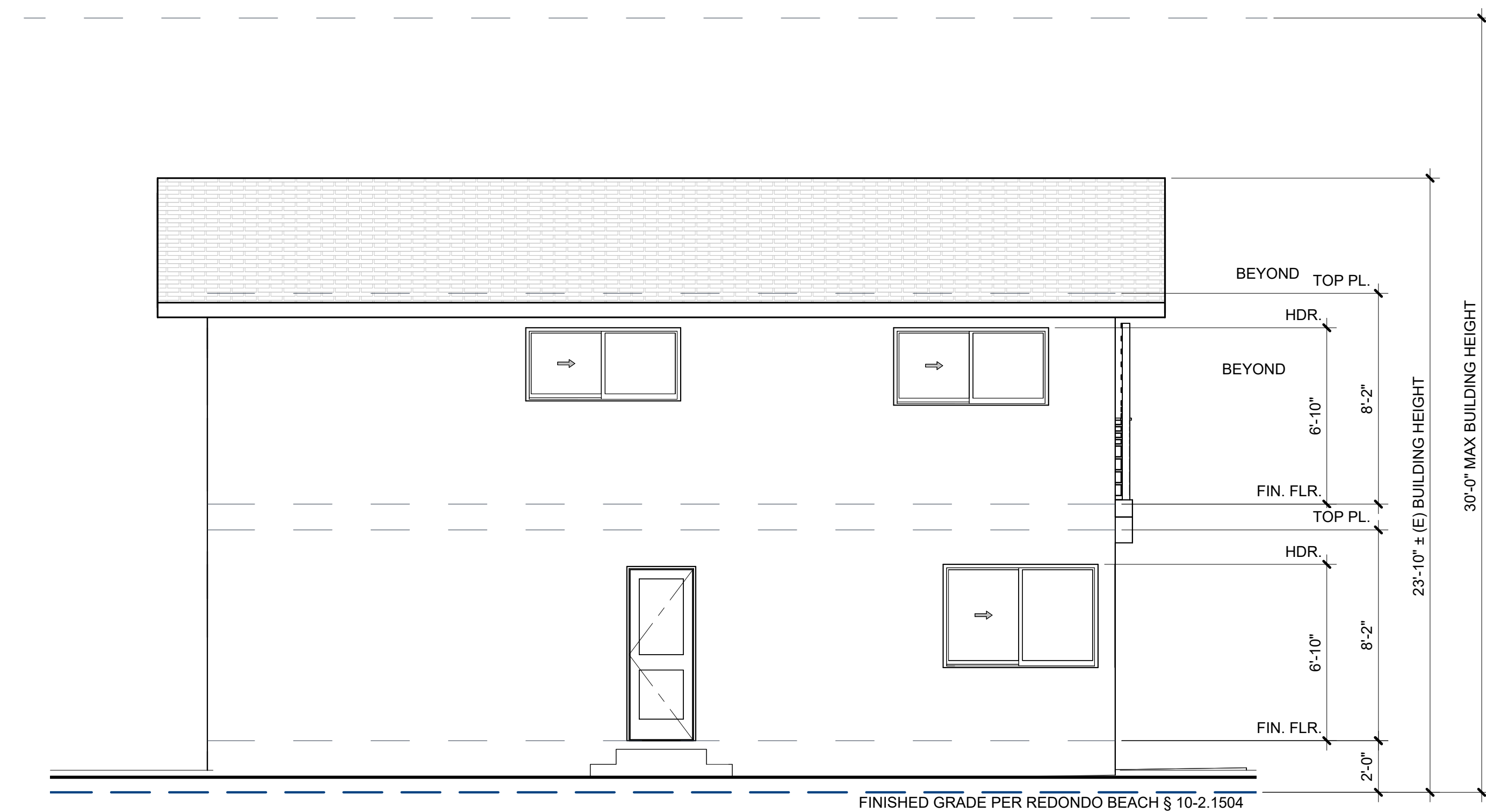


EXISTING WEST ELEVATION

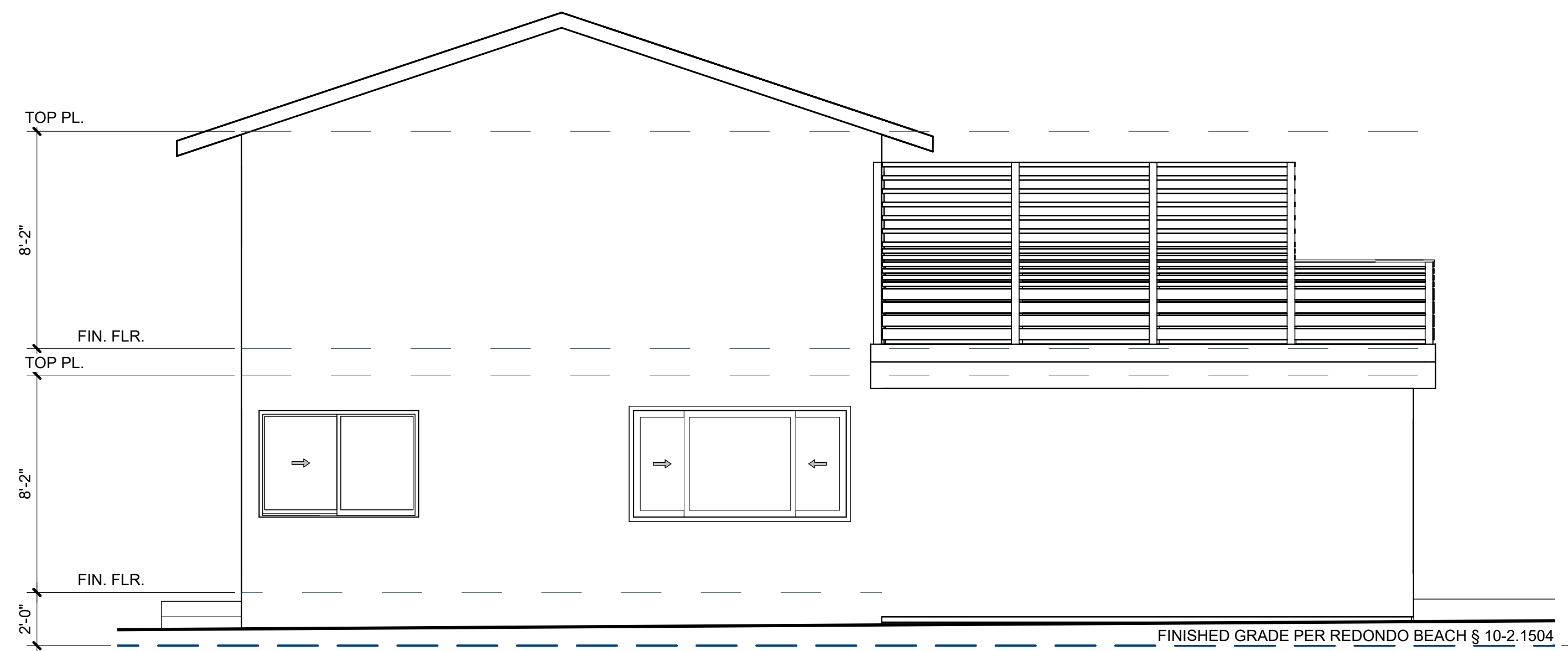
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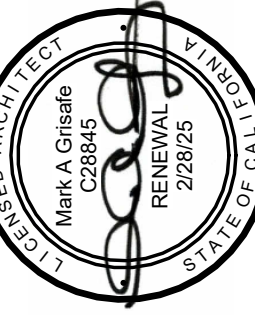
EXISTING SOUTH ELEVATION



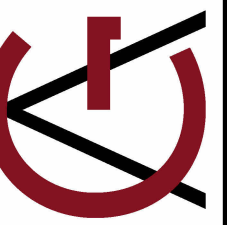
EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION

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Existing Exterior Elevations

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