

BLUE FOLDER ITEM

Blue folder items are additional back up material to administrative reports and/or public comments received after the printing and distribution of the agenda packet for receive and file.

CITY COUNCIL MEETING FEBRUARY 17, 2026

- L.1 PUBLIC HEARING FOR CONSIDERATION OF AN APPEAL OF A DENIAL BY THE PLANNING COMMISSION OF AN EXEMPTION DECLARATION, CONCESSIONS REQUESTED UNDER STATE DENSITY BONUS LAW, AND A COASTAL DEVELOPMENT PERMIT, TO PERMIT THE CONSTRUCTION OF A MIXED-USE RESIDENTIAL CONDOMINIUM PROJECT WITH 49 UNITS, 5 OF WHICH ARE AFFORDABLE TO VERY LOW INCOME AND 3 OF WHICH ARE AFFORDABLE TO MODERATE-INCOME HOUSEHOLDS, 4 STORIES AND 45 FEET IN HEIGHT, WITH 17,000 SQUARE FEET OF COMMERCIAL USES ON THE GROUND FLOOR, AND 2 FLOORS OF SUBTERRANEAN PARKING WITH 129 PARKING SPACES AND SPACE FOR AN ADDITIONAL 14 VALET PARKING SPACES, LOCATED ON FIVE PARCELS (7508012013, 7508012012, 7508012011, 7508012010, 7508012009) WITHIN A COMMERCIAL ZONE (C-2) AT 401-417 S. PACIFIC COAST HIGHWAY

PROPERTY OWNER: Redondo Seaside Living, LLC

APPLICANT: Redondo Seaside Living, LLC

LOCATION: 401 - 417 S. Pacific Coast Highway

CASE NO: 2025-0074

PROCEDURES:

1. Open the public hearing and take testimony;
2. Close the public hearing and deliberate;
3. Adopt the attached resolution by title only, waiving further reading.

ADOPT BY TITLE ONLY RESOLUTION CC-2602-010 OF THE CITY COUNCIL OF THE CITY OF REDONDO BEACH ADOPTING A CEQA EXEMPTION DECLARATION AND GRANTING THE APPEAL OF THE PLANNING COMMISSION'S DENIAL, THEREBY APPROVING THE REQUEST FOR A COASTAL DEVELOPMENT PERMIT PURSUANT TO GOVERNMENT CODE § 65912.124(E) BASED UPON A DETERMINATION THAT THE PROJECT -- CONSTRUCTION OF A MIXED-USE RESIDENTIAL CONDOMINIUM PROJECT WITH 49 UNITS, 5 OF WHICH ARE AFFORDABLE TO VERY LOW INCOME & 3 OF WHICH ARE AFFORDABLE TO MODERATE-INCOME HOUSEHOLDS, 4 STORIES AND 45 FEET IN HEIGHT, WITH 17,000 SQUARE FEET OF COMMERCIAL USES ON THE GROUND

FLOOR, AND 2 FLOORS OF SUBTERRANEAN PARKING WITH 129 PARKING SPACES AND SPACE FOR AN ADDITIONAL 14 VALET PARKING SPACES, LOCATED ON FIVE PARCELS (7508012013, 7508012012, 7508012011, 7508012010, 7508012009) WITHIN A COMMERCIAL ZONE (C-2) AT 401-417 S. PACIFIC COAST HIGHWAY (CASE NO. 2025-0074) -- IS "CONSISTENT WITH ALL OBJECTIVE STANDARDS" IN THE CERTIFIED LCP WITH THE APPLICATION OF ALLOWABLE CONCESSIONS AND WAIVERS PERMITTED BY AND HEREBY APPROVED UNDER STATE DENSITY BONUS LAW

CONTACT: MARC WIENER, COMMUNITY DEVELOPMENT DIRECTOR

- **POWERPOINT PRESENTATION**

NIVASA LIVING



401-417 Pacific Coast Highway
Proposed 49-unit Mixed-Use Project



AVIATION VILLAS



CATALINA AT FRANCISCA



CATALINA AT ELENA

NIVASA LIVING



PROJECT MODIFICATIONS

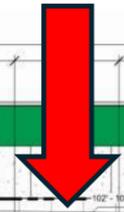
- Expansion of the two-level parking garage to increase the number of parking spaces from 105 to 129 total parking spaces, consisting of 61 parking spaces for residential uses and 68 parking spaces for commercial uses.
- Modification of the driveway slope to accommodate a grade of 5% for the first 20 feet from the edge of the property line to increase visibility for pedestrians and drivers.
- Addition of secure bike parking on the ground level for bicycles, including cargo bikes.
- Increased the valet queuing space to accommodate at least 14 cars.
- Addition of short-term bike racks on Pearl Street and Pacific Coast Highway.
- Addition of “KEEP CLEAR” pavement markings at the Project access driveway.

PROPOSED PROJECT

- MIXED INCOME/MIXED USE MULTIFAMILY BUILDING WITH GROUND FLOOR COMMERCIAL AND AMENITY SPACES AND TWO LEVELS OF SUBERRANEAN PARKING
- 49 UNITS (8 AFFORDABLE)
 - 26 – 1 BR
 - 15 – 2BR
 - 8 – 3BR
- 129 PARKING SPACES
 - 61 Residential
 - 68 Commercial
- 4 STORIES/45' HEIGHT
- 9,800 SF USABLE OPEN SPACE



PEDESTRIAN
ENTRY/EXIT



PACIFIC COAST HIGHWAY

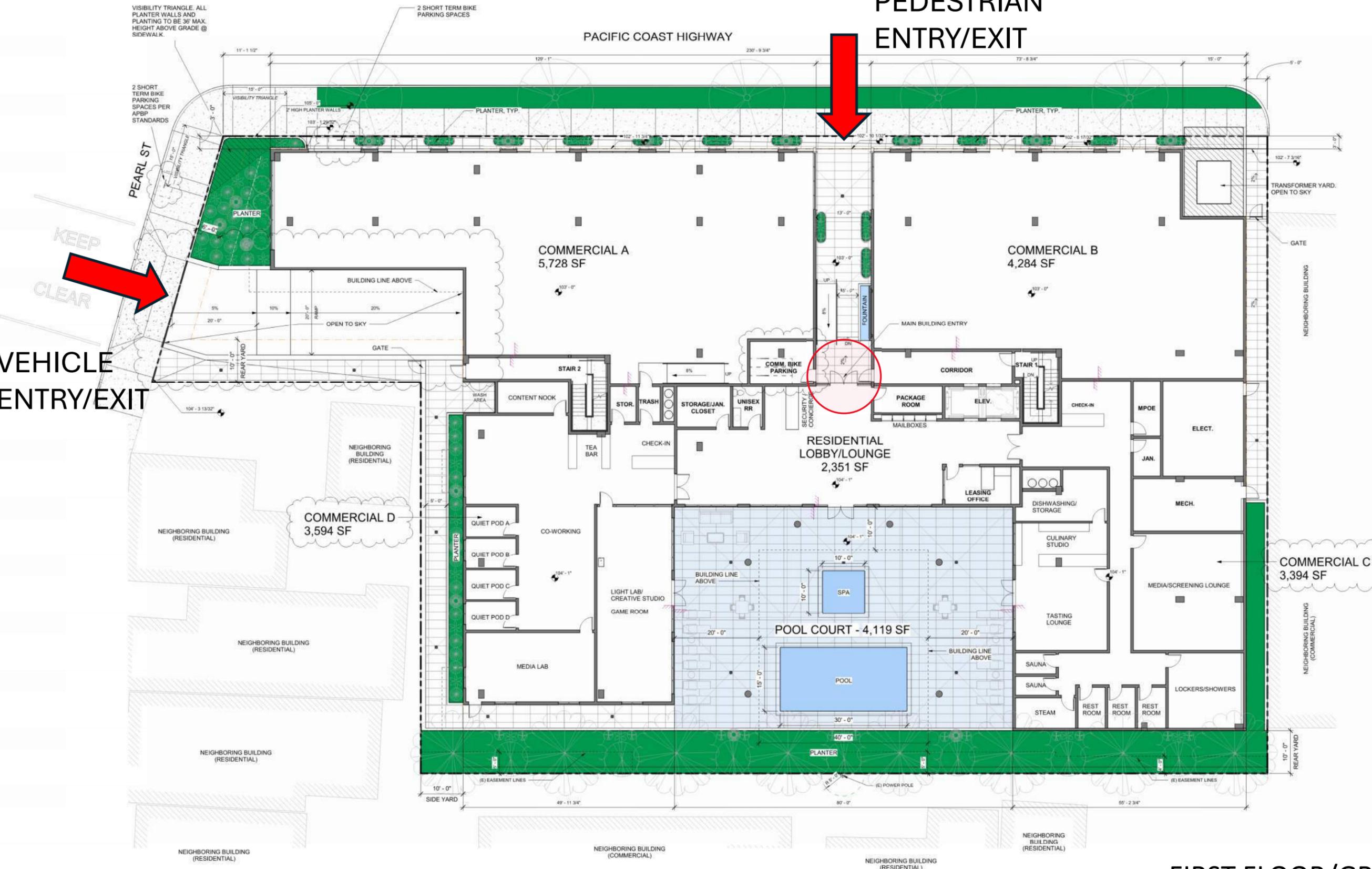
VISIBILITY TRIANGLE. ALL
PLANTER WALLS AND
PLANTING TO BE 36" MAX.
HEIGHT ABOVE GRADE @
SIDEWALK.

2 SHORT TERM BIKE
PARKING SPACES

PEARL ST

KEEP
CLEAR

VEHICLE
ENTRY/EXIT



FIRST FLOOR/GROUND LEVEL PLAN

FRONT
3'-0"

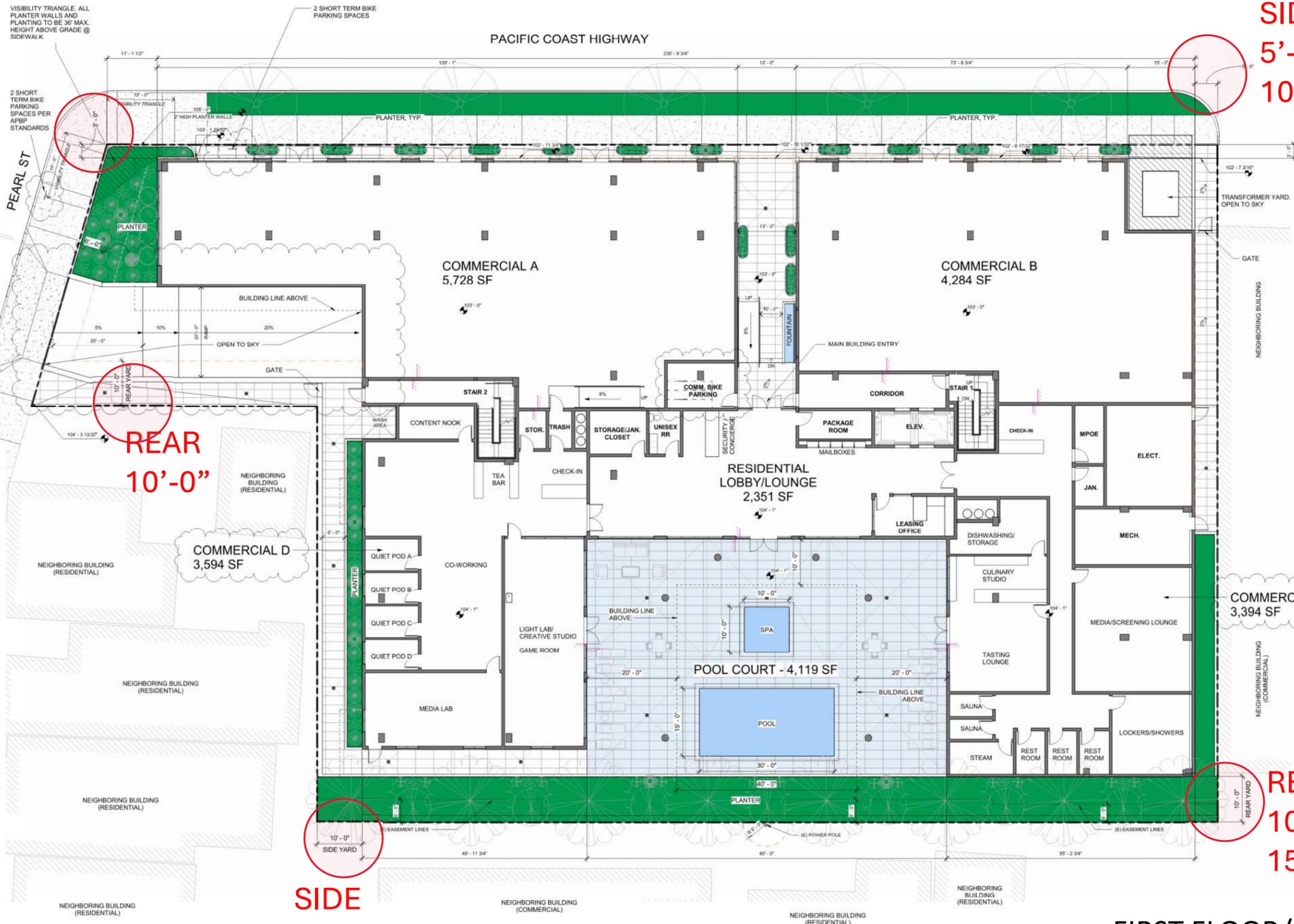
SIDE
5'-0" @ GROUND
10'-0" AT FL 2-4

REAR
10'-0"

REAR
10'-0" @ GROUND
15'-0" AT FL 2-4

SIDE
10'-0"

FIRST FLOOR/GROUND LEVEL PLAN



VISIBILITY TRIANGLE. ALL PLANTER WALLS AND PLANTING TO BE 36" MAX. HEIGHT ABOVE GRADE @ SIDEWALK.

2 SHORT TERM BIKE PARKING SPACES

PACIFIC COAST HIGHWAY

OUTDOOR BIKE RACKS

PEARL S

CARGO BIKES & REPAIR STATION

COMMERCIAL A
5,728 SF

COMMERCIAL B
4,284 SF

COMMERCIAL D
3,594 SF

RESIDENTIAL LOBBY/LOUNGE
2,351 SF

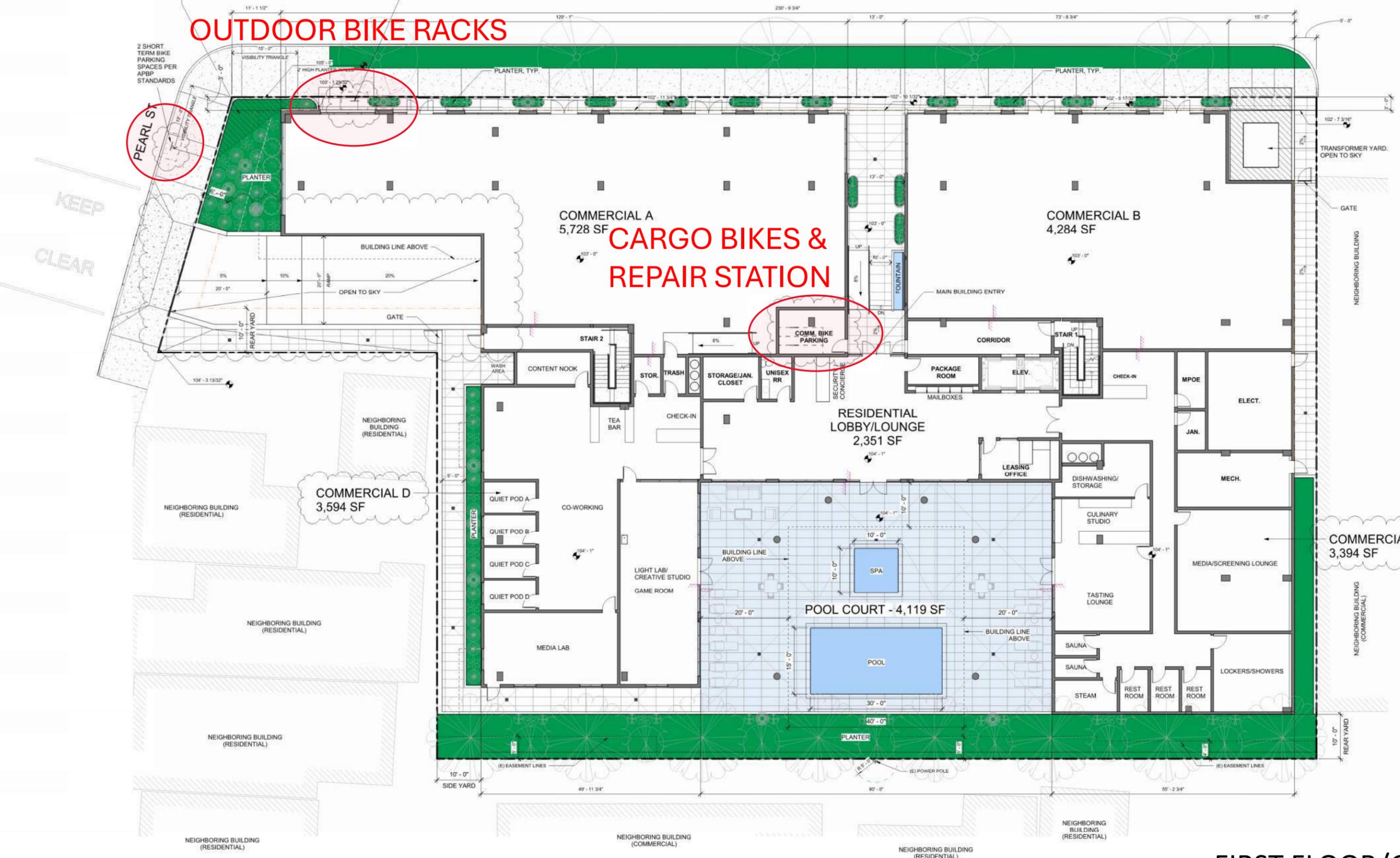
COMMERCIAL C
3,394 SF

POOL COURT - 4,119 SF

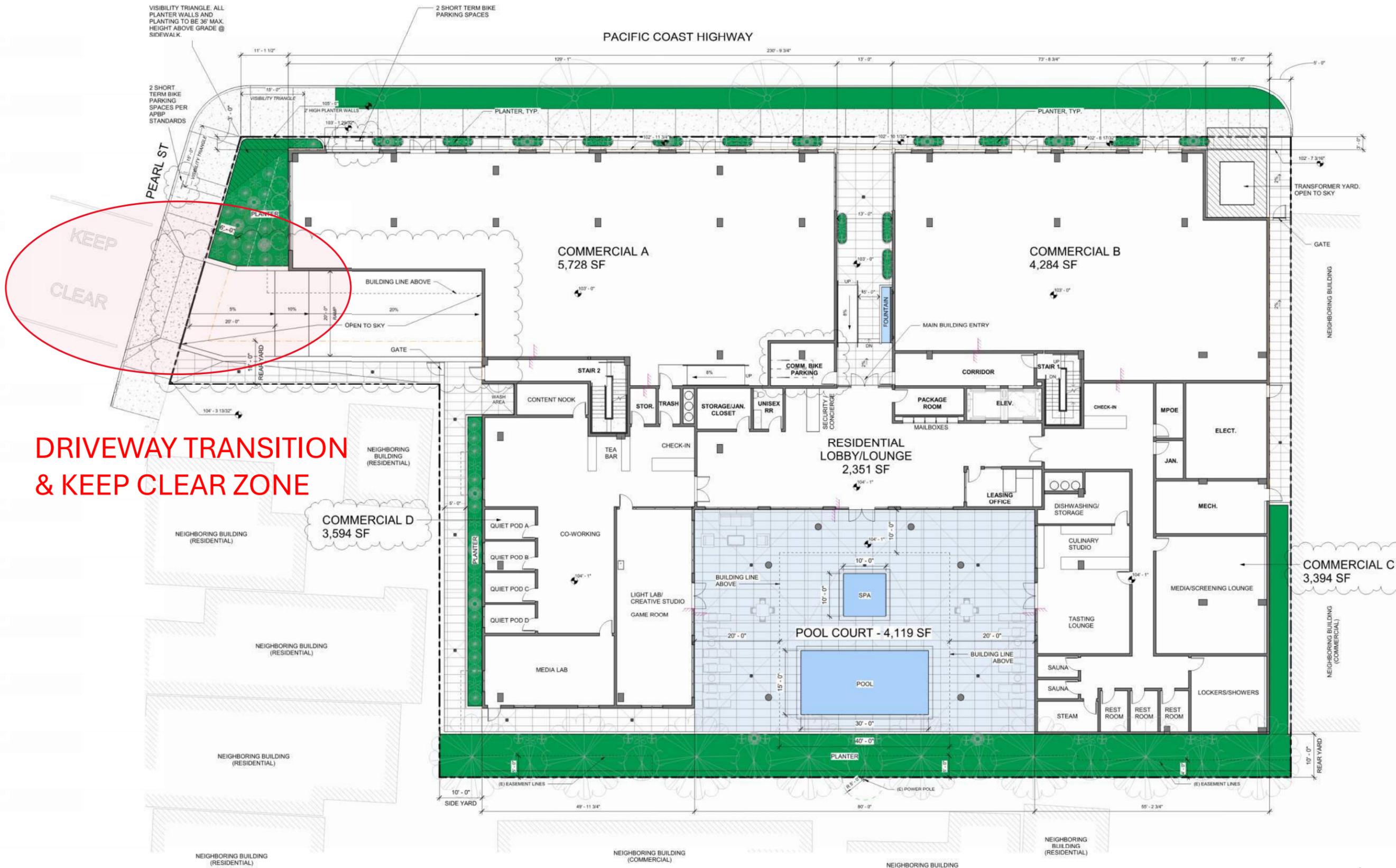
POOL

SPA

KEEP CLEAR



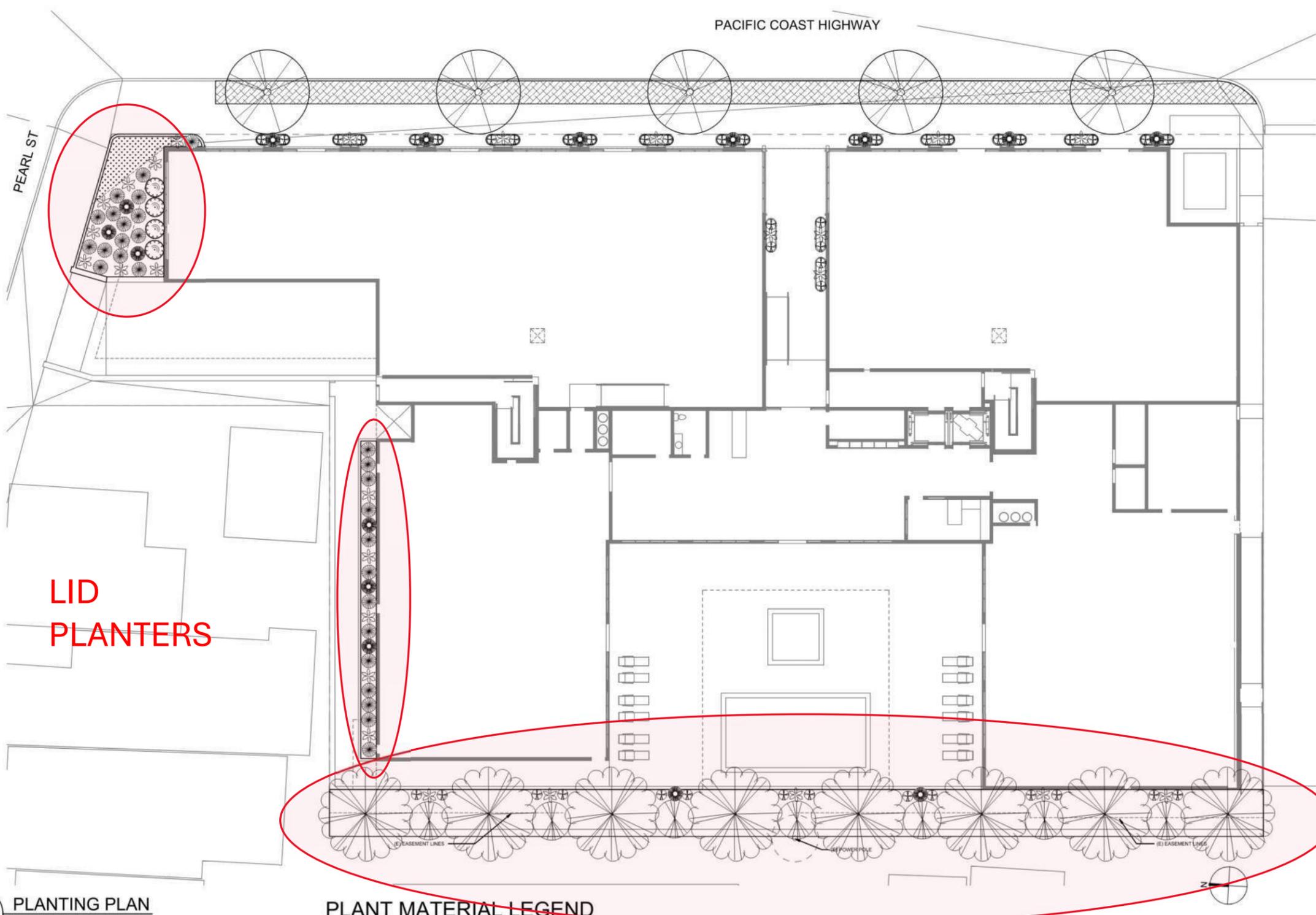
FIRST FLOOR/GROUND LEVEL PLAN



**DRIVEWAY TRANSITION
& KEEP CLEAR ZONE**

FIRST FLOOR/GROUND LEVEL PLAN





ARBUTUS UNEDO



DRAGON TREE



MEXICAN BUSH SAGE



LAVENDER



YUCCA



FOXTAIL AGAVE



BOUGAINVILLEA



BUTTERFLY BUSH



WESTERN REDBUD



PLUMBAGO

LID
PLANTERS

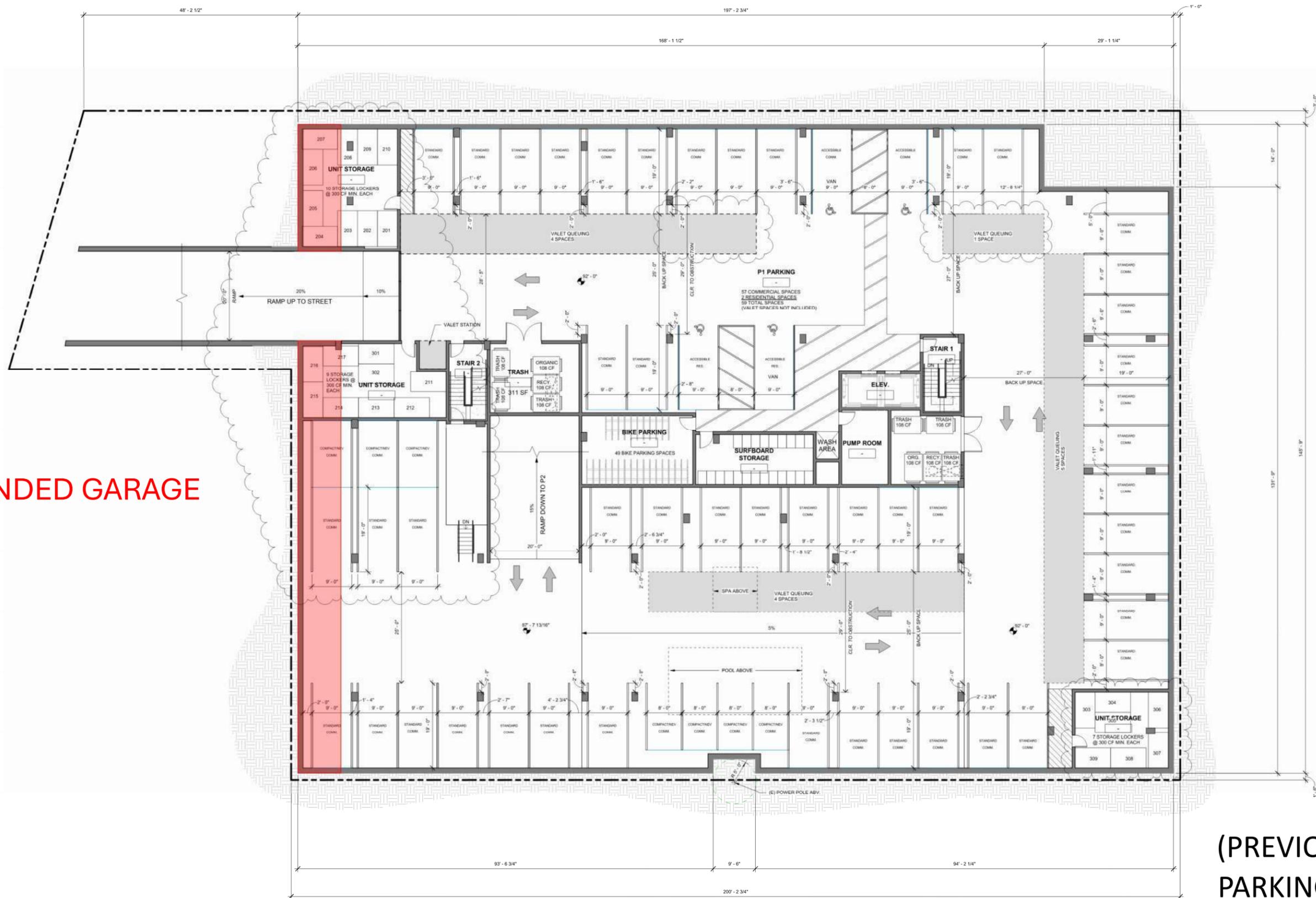
1 PLANTING PLAN
SCALE: 3/32" = 1' - 0"

PLANT MATERIAL LEGEND

TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	TYPE	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREE		ARBUTUS UNEDO	STRAWBERRY TREE	10-30FT	5	SHRUB		BUDDLEIA DAVIDII	BUTTERFLY BUSH	10-15FT	7
TREE		DRACAENA DRACO	DRAGON TREE	5-25FT	15	SHRUB		YUCCA ROSTRATA	YUCCA	3-5FT	4
TREE		CERCIS OCCIDENTALIS	WESTERN REDBUD	15-25FT	8	SHRUB		AGAVE ATTENUATA	FOXTAIL AGAVE	4-5FT	22
SHRUB		SALVIA LEUCANTHA	MEXICAN BUSH SAGE	2-3FT	28	GROUND COVER		BOUGAINVILLEA	BOUGAINVILLEA	6-10FT	28
SHRUB		LAVANDULA DENTATA	LAVENDER	3-5FT	44	GROUND COVER		PLUMBAGO CAPENSIS	PLUMBAGO	3-6FT	10

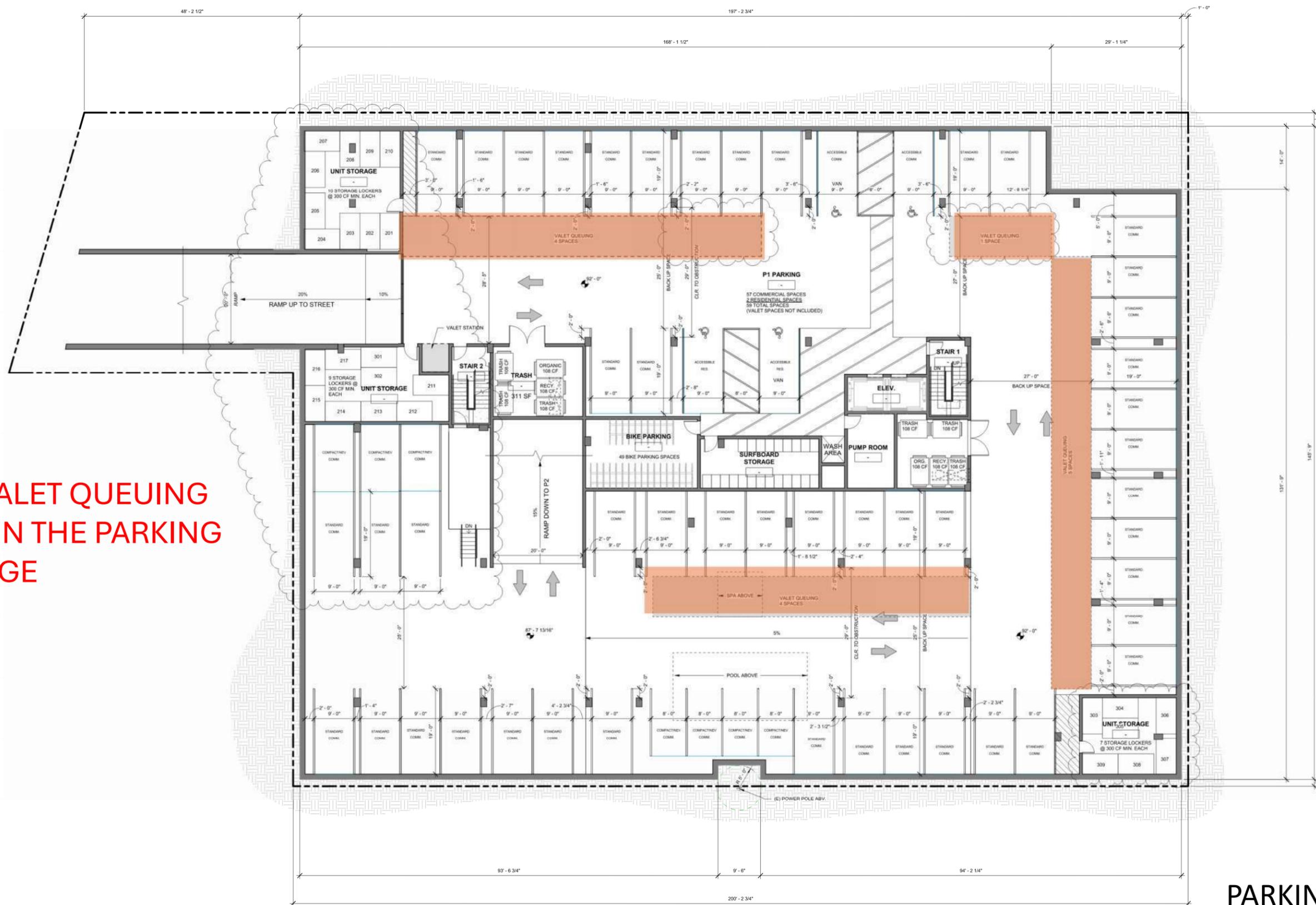
GROUND FLOOR
LANDSCAPE PLAN

EXPANDED GARAGE

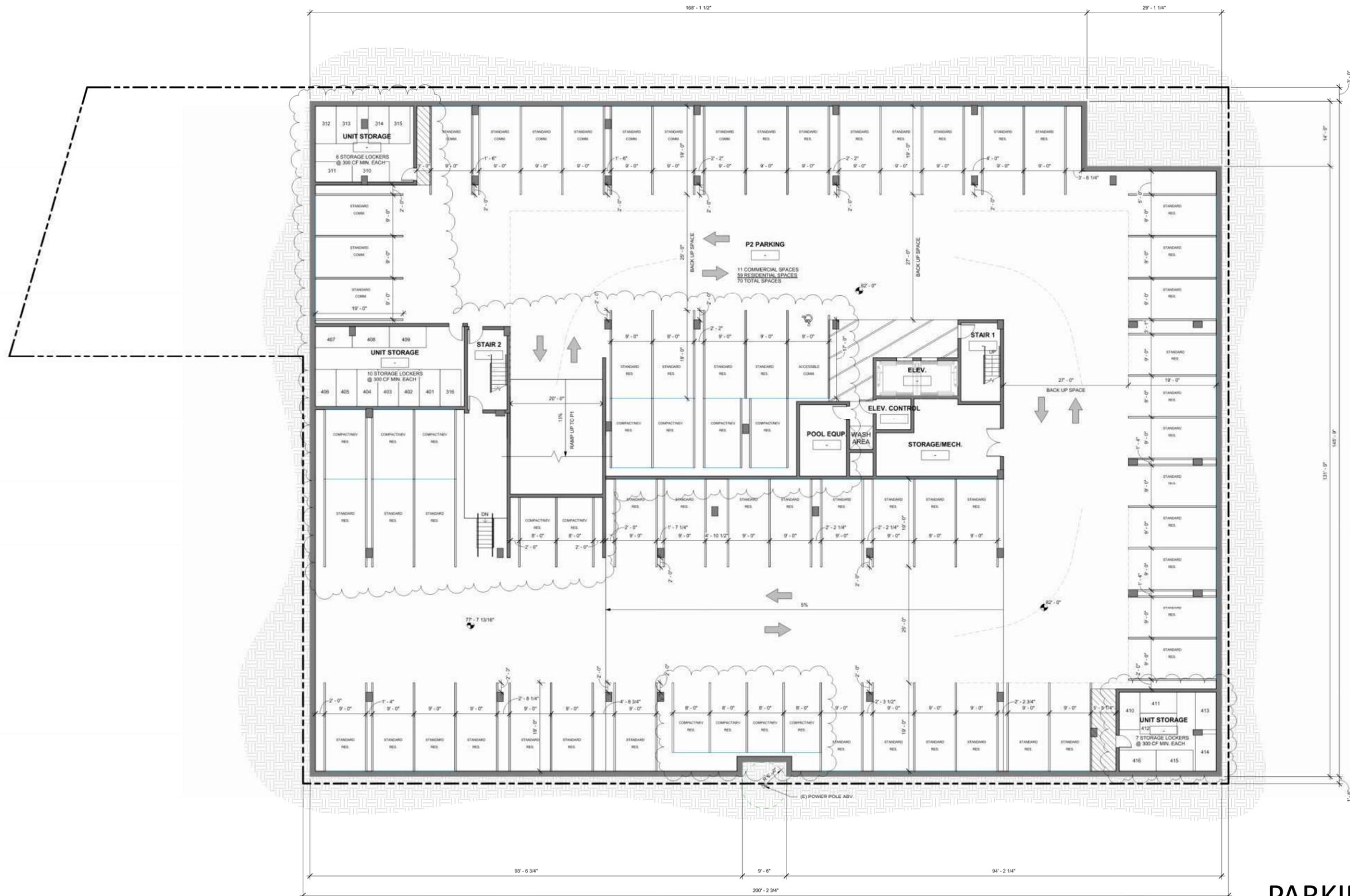


(PREVIOUS)
PARKING LEVEL P1 PLAN

ALL VALET QUEUING
WITHIN THE PARKING
GARAGE

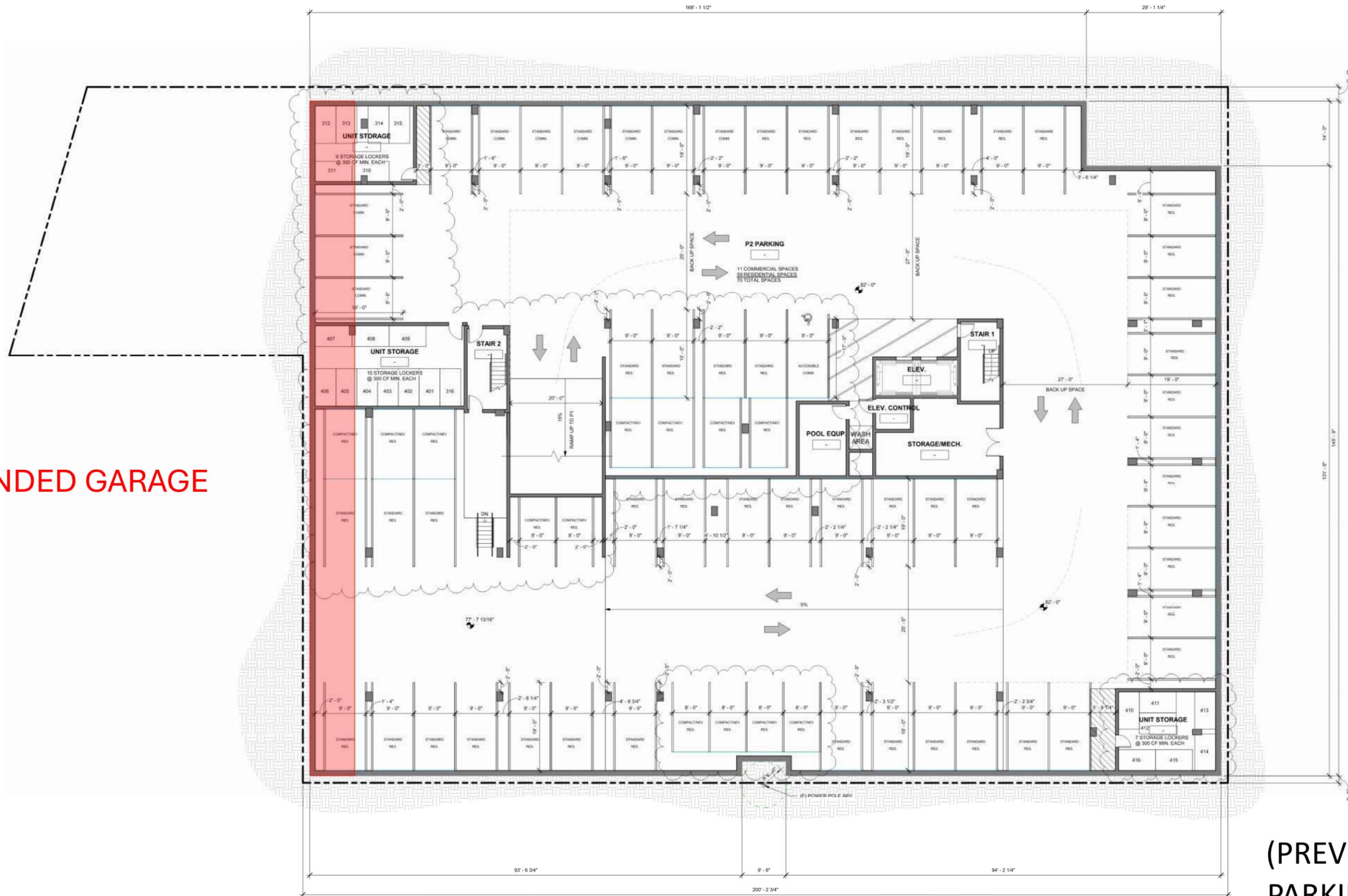


PARKING LEVEL P1 PLAN

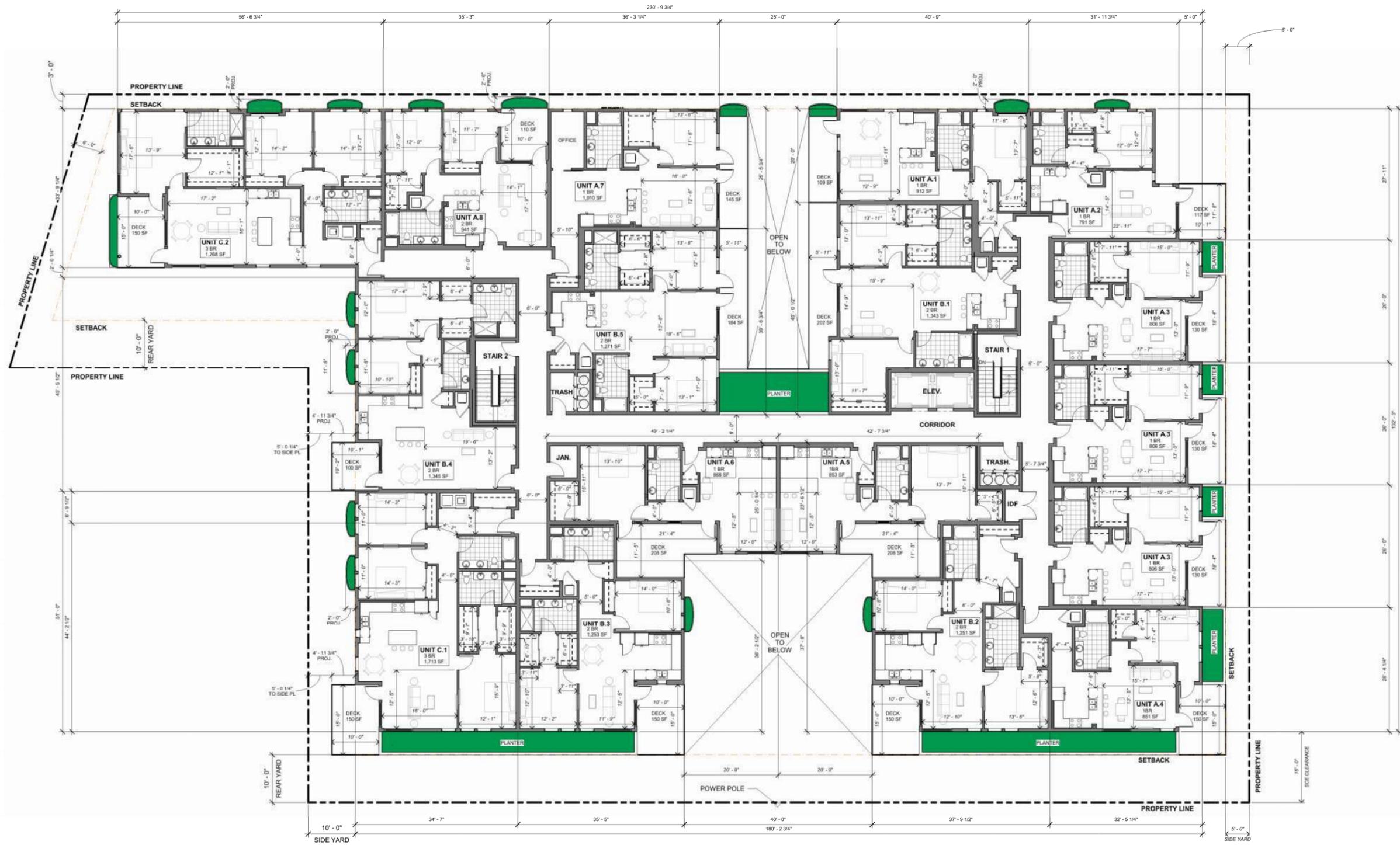


PARKING LEVEL P2 PLAN

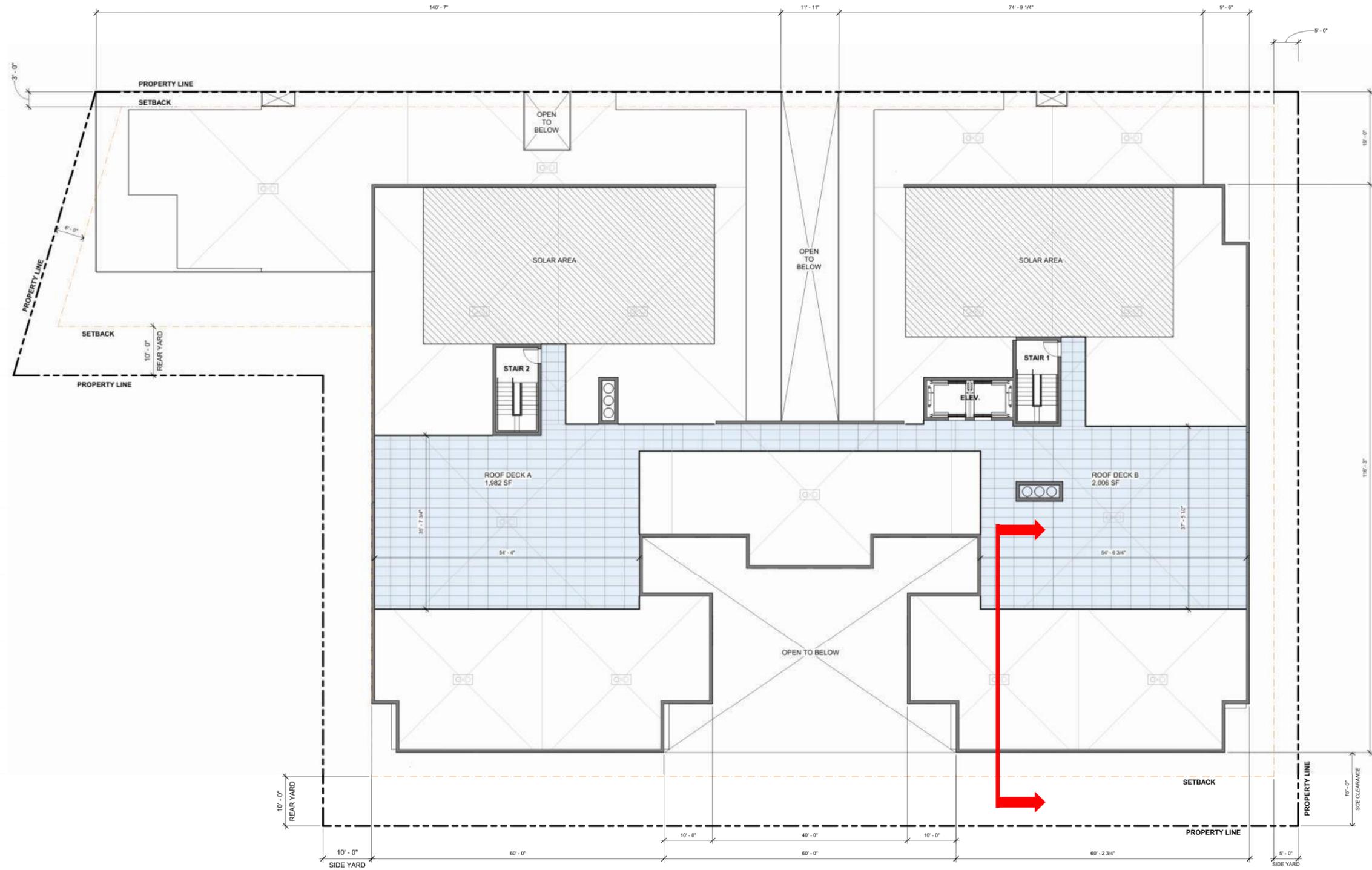
EXPANDED GARAGE



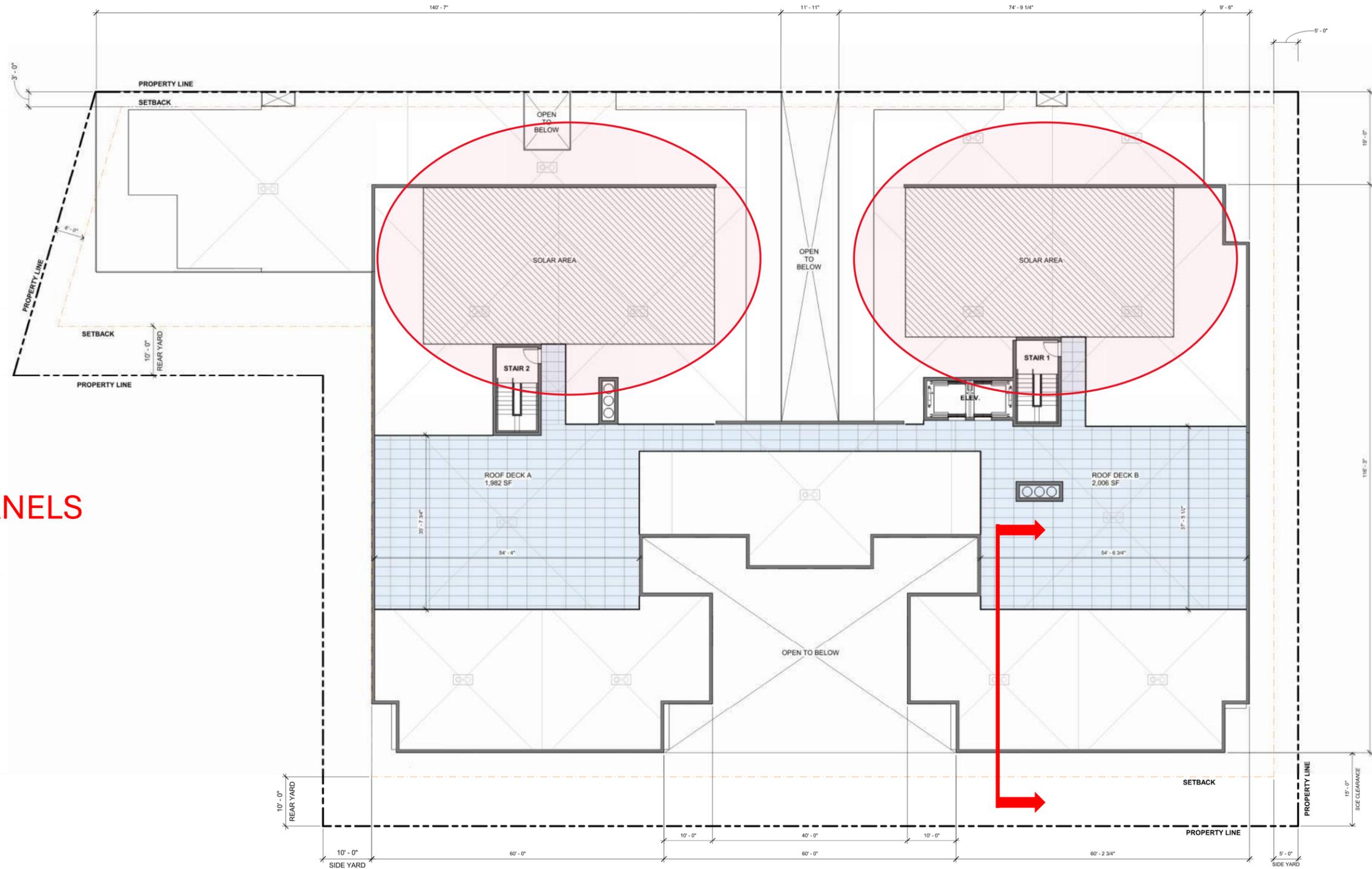
(PREVIOUS)
PARKING LEVEL P2 PLAN

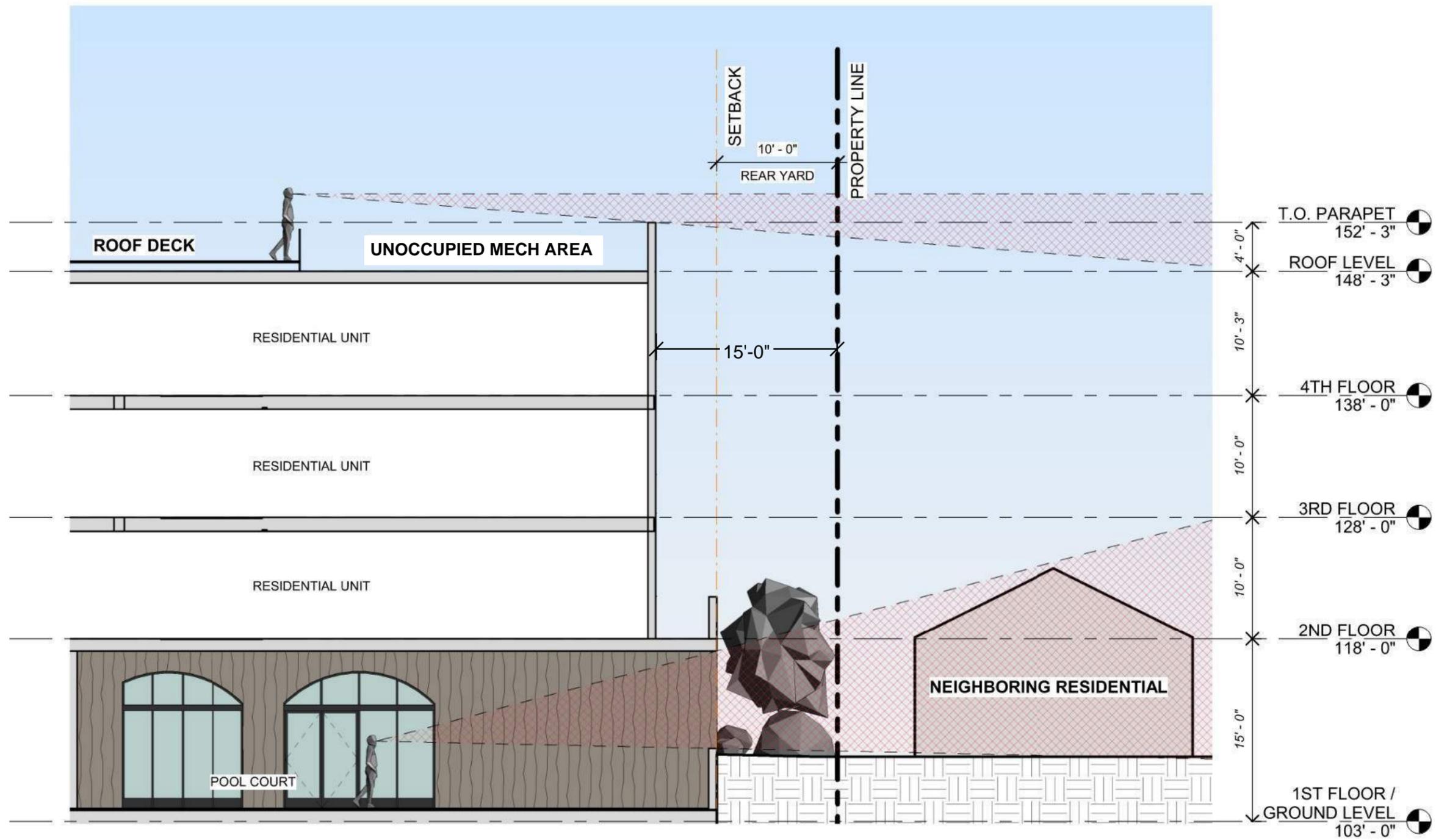


TYPICAL RESIDENTIAL FLOOR PLAN

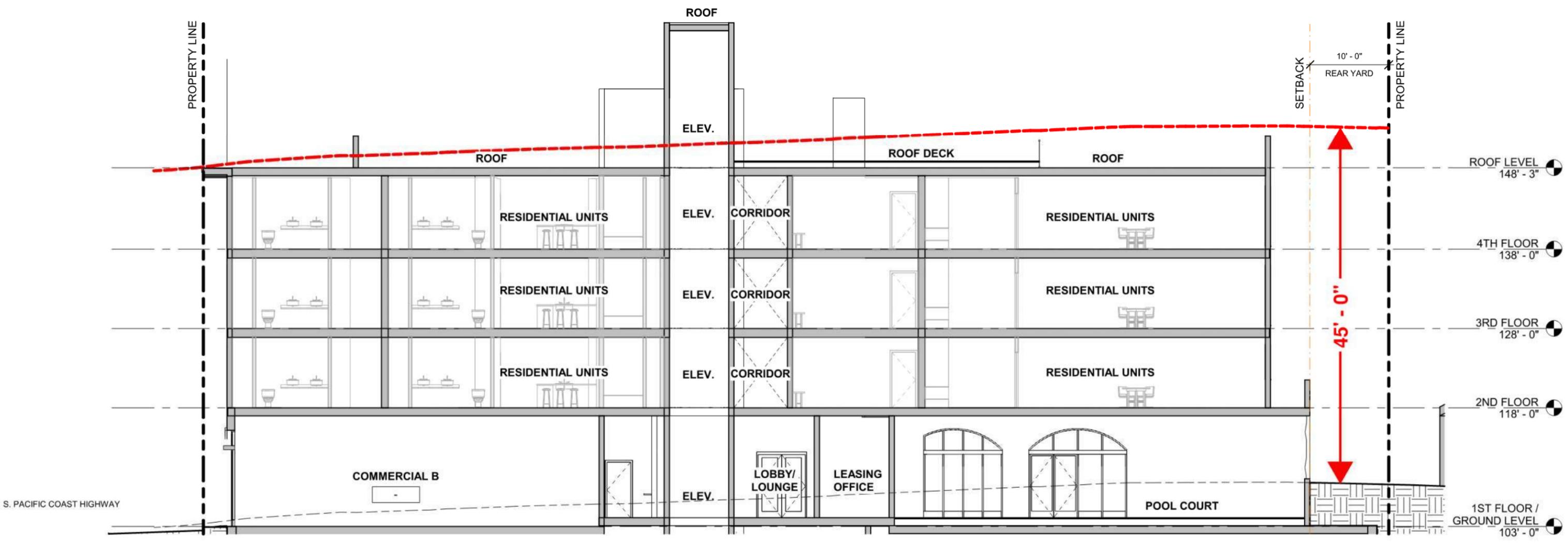


PV PANELS





NEIGHBORING PROPERTY LINE OF SIGHT



BUILDING HEIGHT DIAGRAM

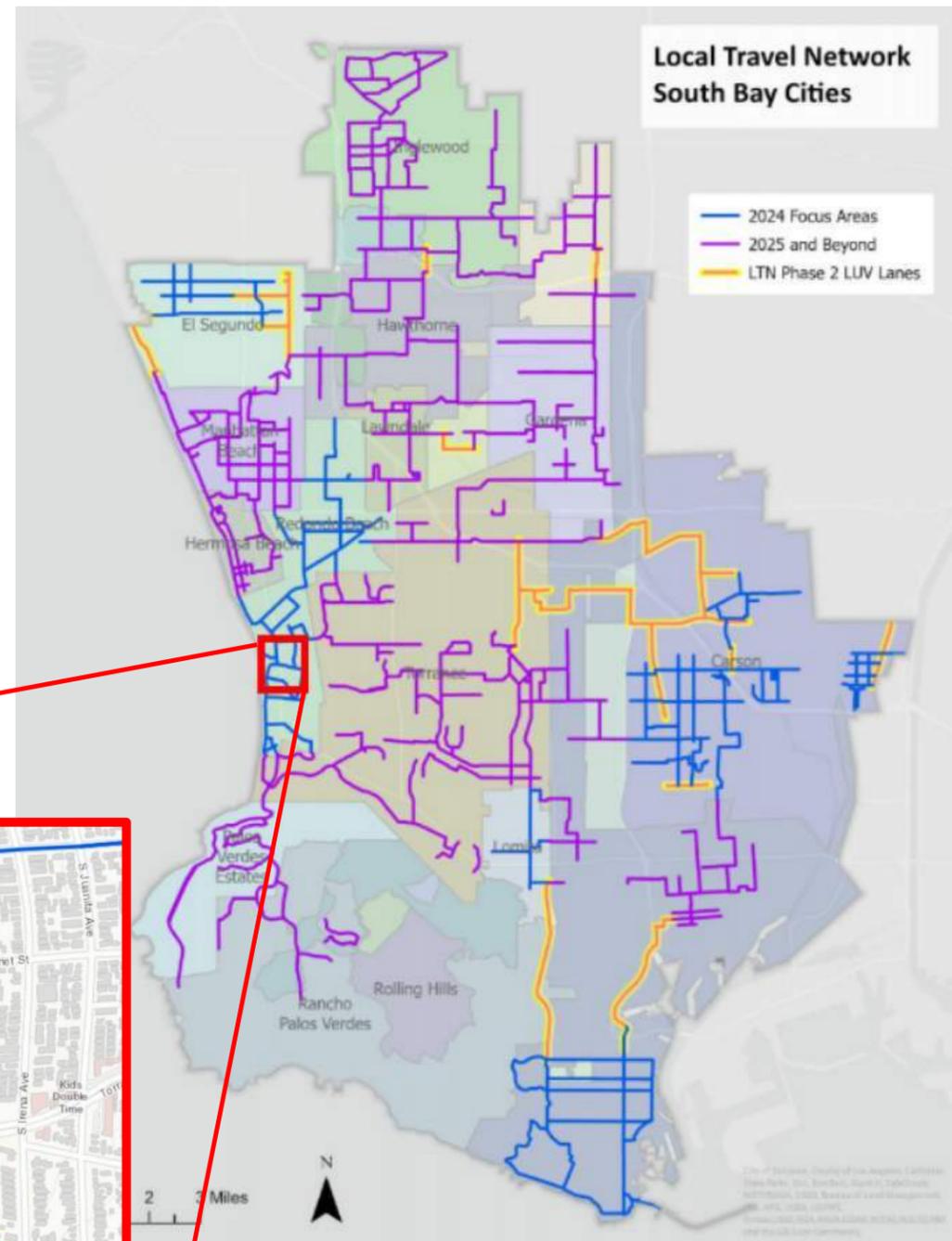


● TRANSIT STOP

PROJECT SITE

1/2 MILE

PROJECT SITE



Local Travel Network
South Bay Cities

- 2024 Focus Areas
- 2025 and Beyond
- LTN Phase 2 LUV Lanes

2 Miles

TRANSIT ACCESSIBILITY



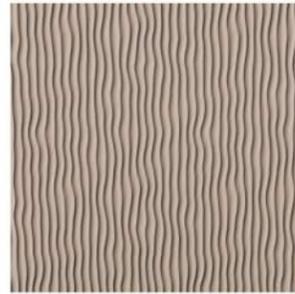
1 COMPOSITE SHINGLE SIDING - LIGHT GRAY



2 COMPOSITE PLANK SIDING - WARM GRAY



3 COMPOSITE SIDING & CLADDING - YELLOW TEAK



4 SCULPTURAL PLASTER - WARM GRAY



5 SHEET METAL FASCIA - STONE GRAY



NIVASA

LIVING

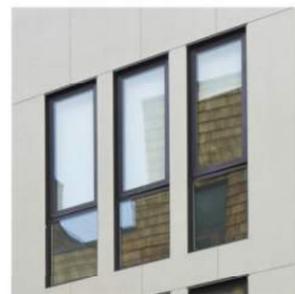
Where You Belong • Where Life Aligns



6 STOREFRONT SYSTEM - DARK BRONZE ANODIZED



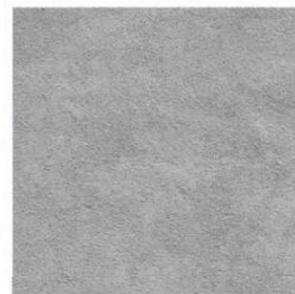
7 GLASS RAILING - DARK BRONZE



8 NAIL-ON WINDOW - VINYL - DARK BRONZE



9 ACCENT TILE - SEA GLASS



10 EXTERIOR CEMENT PLASTER - GRAY



11 EXTERIOR CEMENT PLASTER - WHITE

EXTERIOR DESIGN



EXTERIOR DESIGN



NIVASA
living

401 PCH

CACAO & COFFEE

EXTERIOR DESIGN



EXTERIOR DESIGN



EXTERIOR DESIGN

Reasons to Uphold the Appeal

- Planning Commission decision fails to comply with law
 - No significant effects based on objective standards
 - HCD Letter outlines defects and potential liability
- Project complies with all objective standards
- Project does not result in adverse significant effects to health and safety, does not impact a historic resource, and is consistent with state and federal law
- Applicant has voluntarily made significant changes

THANK YOU!



○ **INCENTIVES**

- 1) Increase FAR for mixed-use projects (commercial and residential) from 1.5 to 2.58 (RBMC § 10-5.915(a)(2))

○ **WAIVERS**

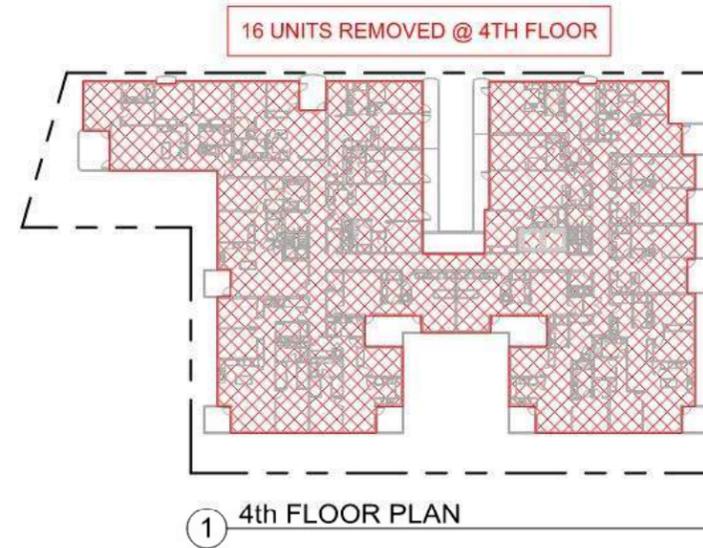
- 1) Increase in number of stories from 3 to 4 (RBMC § 10-5.915(e)(2)).
- 2) Allow stairwell and elevator penthouse projections up to 15' - 7" above the permitted 45' height limit (RBMC § 10-5.1522(b)).
- 3) Reduce street side yard setback (Pearl Street) for a corner/reverse corner lot from 10'-0" to 6'-0". (RBMC § 10-5.915(f)(2)(a)).
- 4) Reduce setback along property lines abutting residential uses (starting at 2nd floor and above) from 7'-0" x floor number to same setbacks as ground floor for all floors (Govt Code § 65912.123(d)(3)(A)(ii)).
- 5) Reduce setback along property lines abutting non-residential uses from 15'-0" to 10'-0" (Govt Code § 65912.123(d)(3)(B)).
- 6) Waiver to RBMC § 10-5.1514(b) to reduce the required private storage space to 49, 400 cubic foot lockers to 49, 300 cubic foot lockers (a total of 14,700 cubic feet.)
- 7) Waiver to allow (10) tandem parking spaces for commercial and residential use.
- 8) Waiver to allow (13) compact parking spaces for residential use.
- 9) Waiver to allow use of valet parking at the discretion of Applicant.

INCENTIVES/WAIVERS

WAIVER #1 - STORIES

1. WAIVER TO RBMC 10-5.915(e)(2) TO INCREASE THE NUMBER OF STORIES FROM THREE (3) TO FOUR (4).

RBMC § 10-5.915(e)(2) LIMITS THE NUMBER OF STORIES TO THREE STORIES. THE PROJECT PROPOSES 4 STORIES WITHIN THE OVERALL MAIN BUILDING HEIGHT LIMIT OF 45 FEET. AS EXHIBIT B DEMONSTRATES, IMPOSING A THREE-STORY LIMIT WOULD PRECLUDE CONSTRUCTION OF 16 UNITS AND 20,650 SF. ACCORDINGLY, THE REQUESTED WAIVER IS NECESSARY BECAUSE WITHOUT THE INCREASE IN NUMBER OF STORIES THE PROJECT WOULD BE PHYSICALLY PRECLUDED FROM BEING CONSTRUCTED AS PROPOSED.

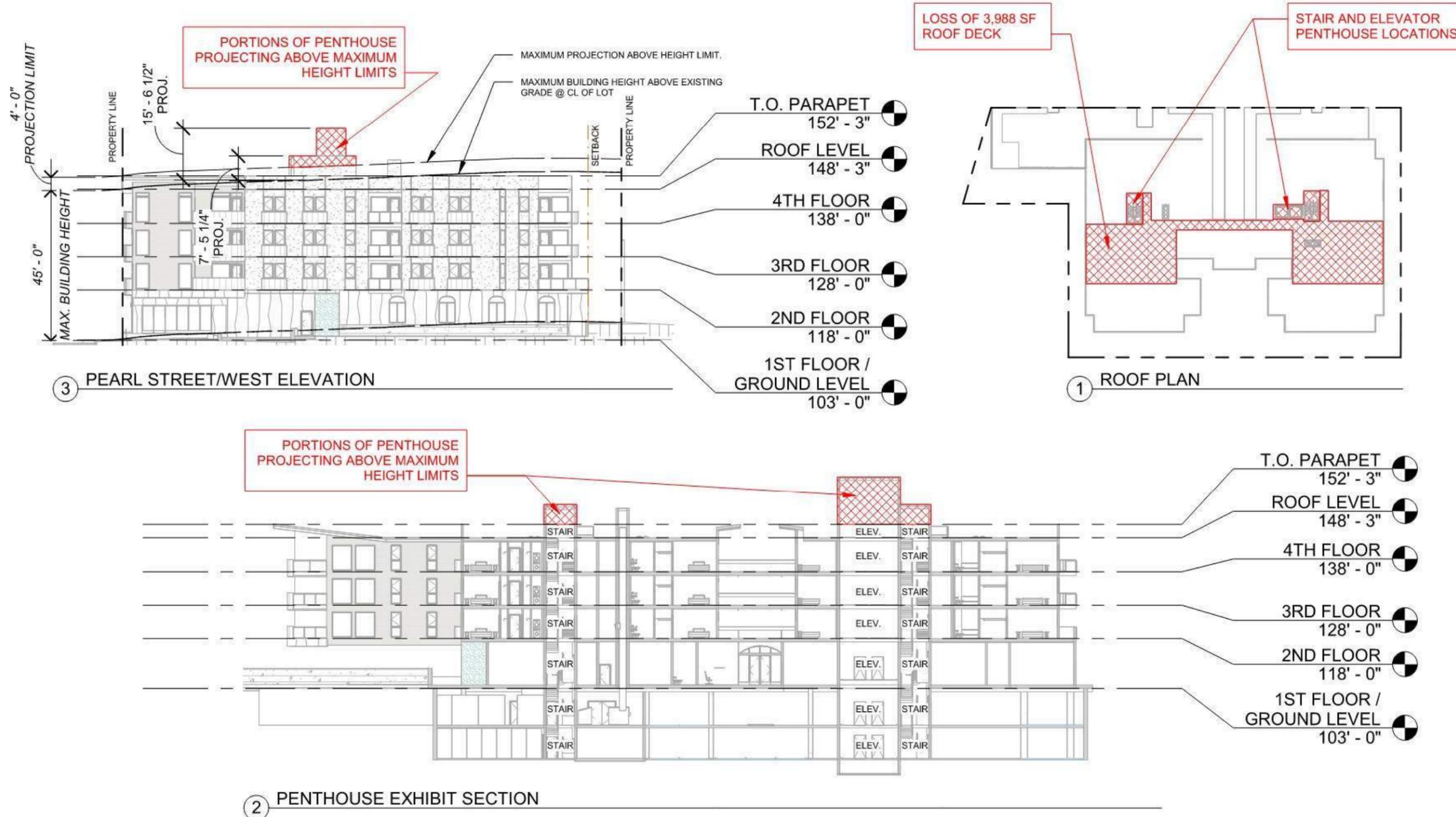


WAIVER #2 - STAIR & ELEVATOR PROJECTION

2. WAIVER TO RBMC 10-5.1522(b) TO ALLOW FOR PROJECTIONS ABOVE THE PERMITTED HEIGHT (STAIRWELL AND ELEVATOR PENTHOUSE) BY A MAXIMUM OF 15'-7" ABOVE THE PERMITTED 45' HEIGHT LIMIT.

THIS EXHIBIT SHOWS THAT COMPLIANCE WITH THE 4' PROJECTION LIMIT, WOULD RESULT IN NEITHER THE ELEVATORS NOR THE STAIRS BEING ABLE TO PROVIDE ACCESS TO THE ROOF LEVEL. THE FIRE DEPARTMENT REQUIRES THE ROOF LEVEL TO BE ACCESSIBLE BY STAIR AND THE ACCESSIBILITY LAWS REQUIRE THE OCCUPIED ROOF DECK TO BE ACCESSED BY ELEVATOR. THE WAIVER IS REQUIRED DUE TO THE INABILITY TO LOWER THE MINIMUM OVERRUN HEIGHT FOR THE ELEVATOR SHAFT AND STAIR TOWER. LOWERING THE HEIGHT WOULD RESULT IN PHYSICALLY PRECLUDING ACCESS TO THE ROOFTOP AND OTHER AMENITIES REQUIRED FOR DWELLING UNITS AND LOSS OF DENSITY BONUS UNITS BY LOWERING FLOOR-TO-FLOOR HEIGHTS OR ELIMINATING A LEVEL.

THEREFORE, REQUEST WAIVER TO ALLOW PROJECTIONS UP TO 15' 7" ABOVE THE PERMITTED HEIGHT LIMIT IN ORDER TO PROVIDE ADEQUATE ROOF ACCESS.



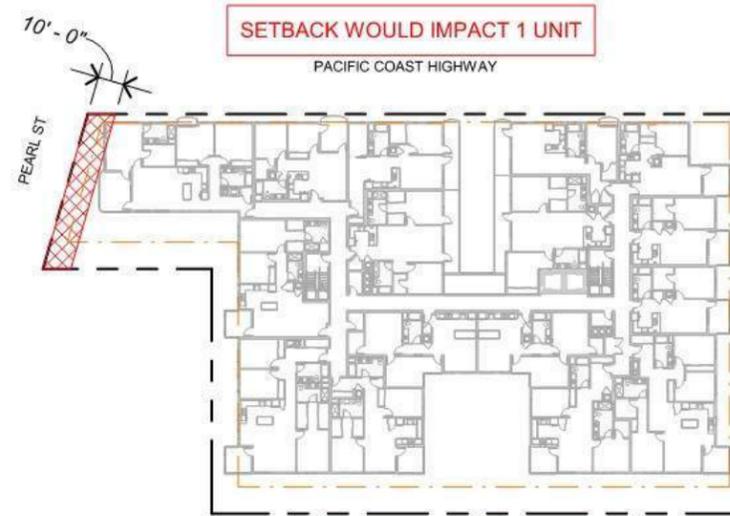
WAIVER #3 - STREET SIDE YARD SETBACK

3. WAIVER TO RBMC 10-5.915(f)(2)(a) TO REDUCE THE SIDE YARD SETBACK-STREET SIDE (PEARL STREET) OF A CORNER OR REVERSE CORNER LOT FROM 10 FEET TO 6 FEET.

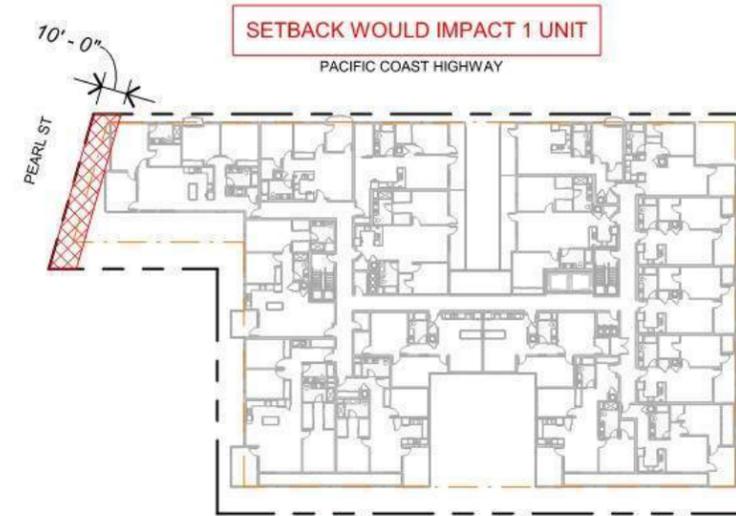
THE BUILDING REQUIRES A PORTION OF THE BUILDING TO EXTEND TO WITHIN 6'-0" OF THE STREET SIDE YARD ALONG PEARL STREET IN ORDER TO PROVIDE THE UNIT FLOOR AREA.

THIS EXHIBIT SHOWS THAT COMPLIANCE WITH THE SETBACK REQUIREMENT WOULD RESULT IN A LOSS OF A BEDROOM FOR 3 UNITS. THIS EXHIBIT ALSO SHOWS THAT APPROXIMATELY 74% OF THE BUILDING FRONTAGE STILL COMPLIES WITH THE 10' - 0" SETBACK REQUIREMENT.

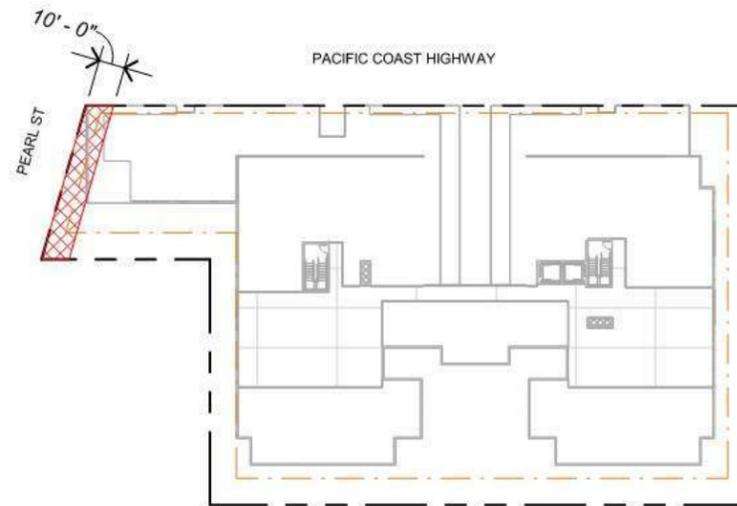
THEREFORE, REQUEST WAIVER OF BUILDING SETBACK TO ALLOW A STREET SIDE YARD SETBACK OF 6' - 0" FOR 16% OF BUILDING FRONTAGE ALONG PEARL STREET.



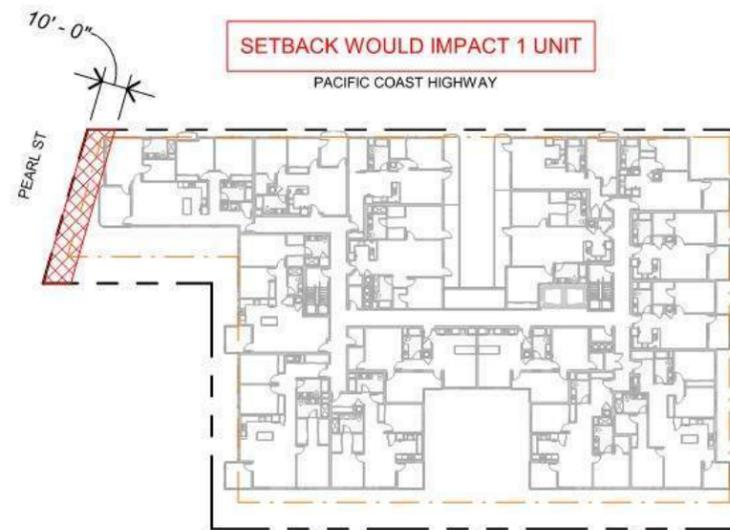
④ 4TH FLOOR PLAN



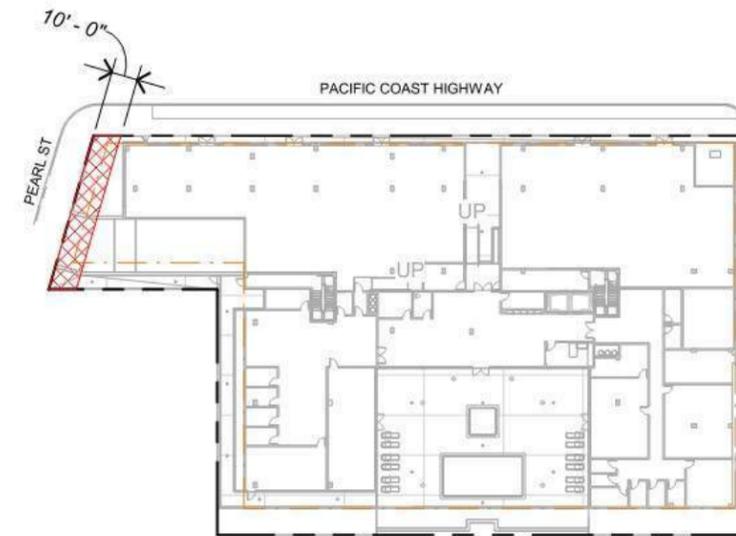
② 2ND FLOOR PLAN



⑤ ROOF PLAN



③ 3RD FLOOR PLAN



① 1ST FLOOR/ GROUND LEVEL

WAIVER #4 - SETBACK ABUTTING RESIDENTIAL USES

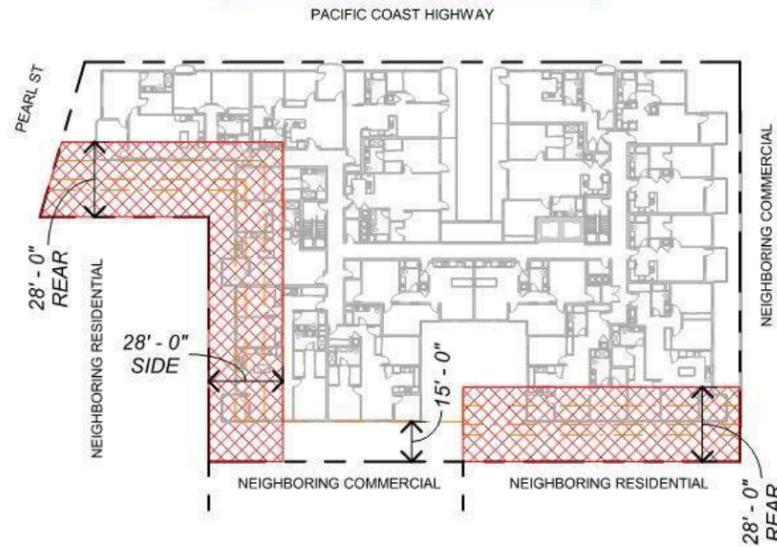
4. WAIVER TO GOVERNMENT CODE SECTION 65912.123(d)(3)(A)(ii) TO REDUCE THE SETBACK ALONG PROPERTY LINES (PORTION OF REAR & SIDE YARD) THAT ABUT A PROPERTY THAT CONTAINS A RESIDENTIAL USE STARTING AT THE SECOND FLOOR AND EACH SUBSEQUENT FLOOR IN AN AMOUNT EQUAL TO SEVEN FEET MULTIPLIED BY THE FLOOR NUMBER.

IN ORDER TO PROVIDE THE SQUARE FOOTAGE NEEDED TO ACCOMMODATE THE DENSITY BONUS UNITS AND THEIR PRIVATE OPEN SPACE REQUIREMENTS, THE BUILDING REQUIRES A REDUCED SETBACK ALONG AREAS ABUTTING RESIDENTIAL USES.

THIS EXHIBIT SHOWS THAT COMPLIANCE WITH THE SETBACK REQUIREMENT WOULD RESULT IN A LOSS OF 13 UNITS AND THEIR ADJACENT PRIVATE OPEN SPACE FOR A TOTAL OF ONLY 36 UNITS. THIS EXHIBIT ALSO SHOWS THAT AT LEVELS 2 AND ABOVE, THE BUILDING MAINTAINS A 15' SETBACK ALONG THE ENTIRE REAR YARD.

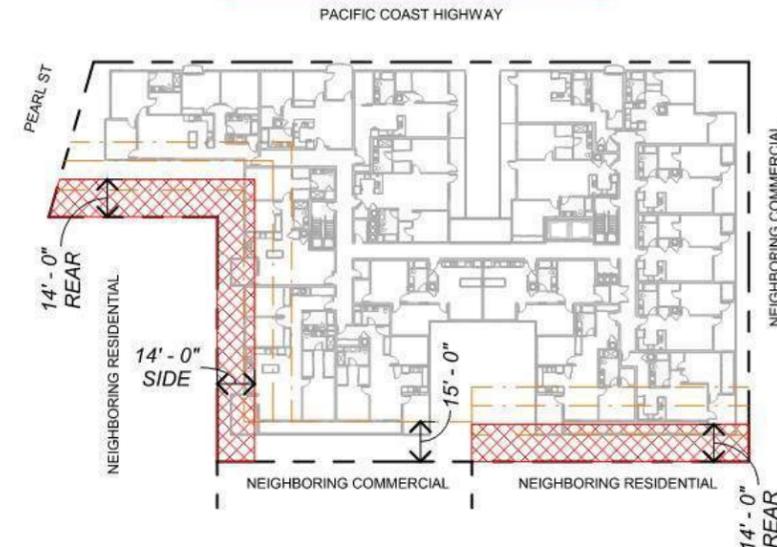
THEREFORE, REQUEST WAIVER OF BUILDING SETBACK TO ALLOW 10' -0" MIN. ALONG NEIGHBORING RESIDENTIAL PROPERTIES IN ORDER TO CONSTRUCT 49 UNITS AS PERMITTED UNDER AB2011 AND AB1287 DENSITY BONUS.

SETBACK WOULD IMPACT 5 UNITS



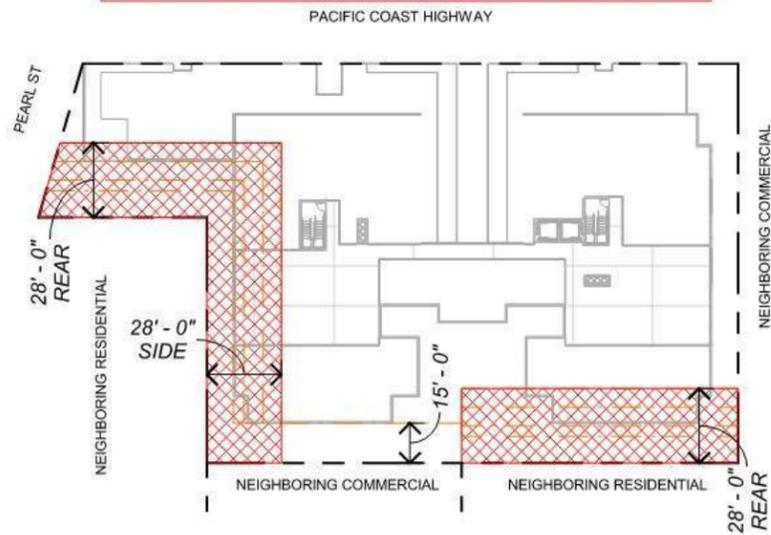
④ 4TH FLOOR PLAN

SETBACK WOULD IMPACT 4 UNITS



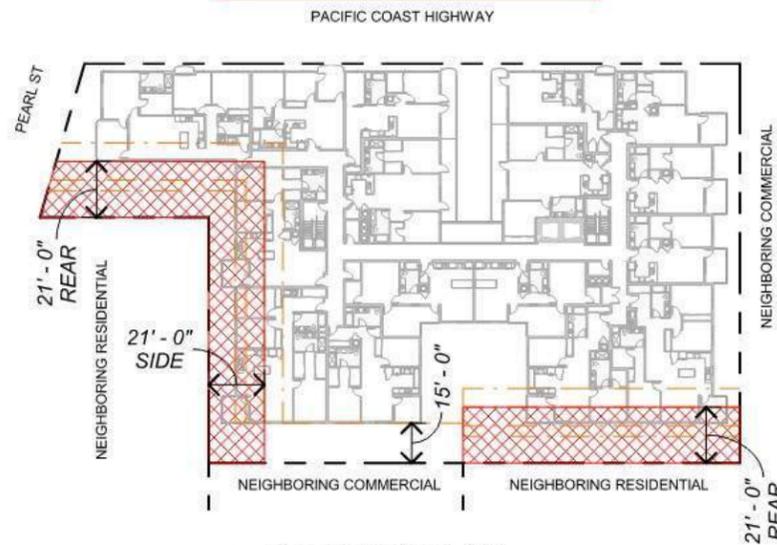
② 2ND FLOOR PLAN

SETBACK WOULD IMPACT ROOF DECK COMMON SPACE



⑤ ROOF PLAN

SETBACK WOULD IMPACT 4 UNITS



③ 3RD FLOOR PLAN

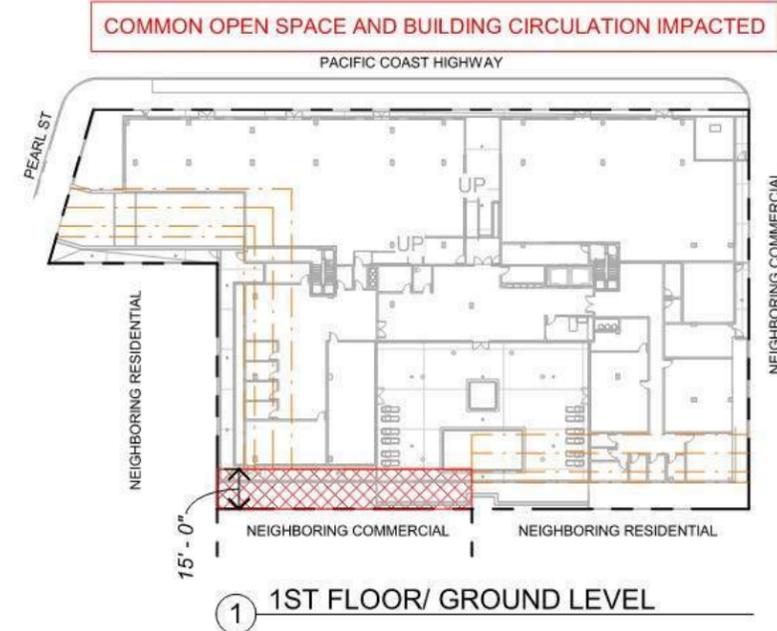
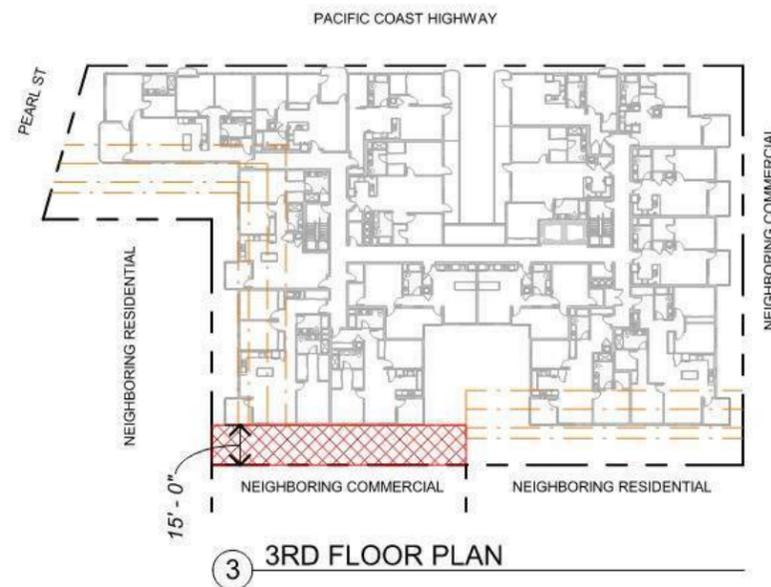
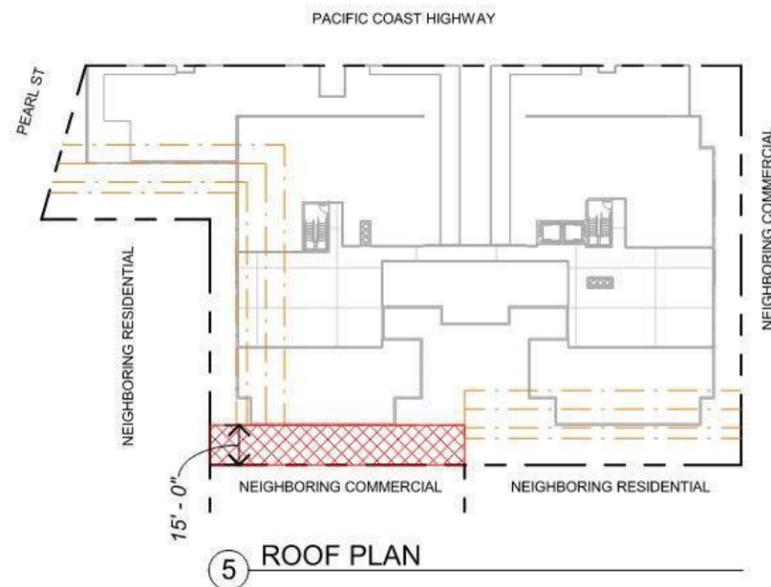
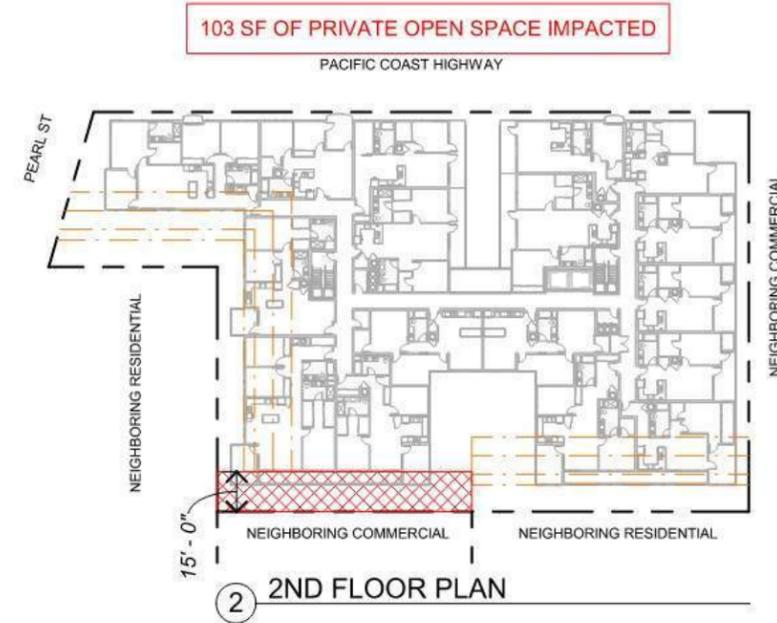
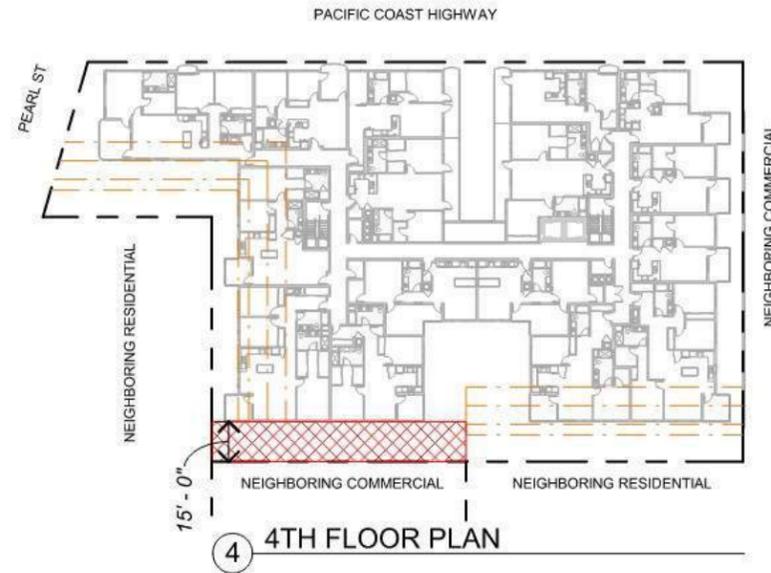
WAIVER #5 - SETBACK ABUTTING NON-RESIDENTIAL USES

5. WAIVER TO GOVERNMENT CODE SECTION 65912.123(d)(3)(B) TO REDUCE THE SETBACK ALONG PROPERTY LINES (PORTION OF REAR YARD) THAT ABUT A PROPERTY THAT DOES NOT CONTAIN A RESIDENTIAL USE FROM 15 FEET REQUIRED TO 10 FEET .

IN ORDER TO PROVIDE THE REQUIRED PRIVATE AND COMMON OPEN SPACE AREAS AND THEIR ADJACENT CIRCULATION THE BUILDING REQUIRES A REDUCED SETBACK ALONG AREAS ABUTTING NON-RESIDENTIAL USES.

THIS EXHIBIT SHOWS THAT COMPLIANCE WITH THE SETBACK REQUIREMENT WOULD RESULT IN A LOSS OF 480SF OF COMMON OPEN SPACE AND BUILDING CIRCULATION AS WELL AS 103 SF OF PRIVATE OPEN SPACE.

THEREFORE, REQUEST WAIVER OF BUILDING SETBACK TO ACCOMODATE REQUIRED 9,800 SF OF OPEN SPACE.



WAIVER #6 - PRIVATE STORAGE

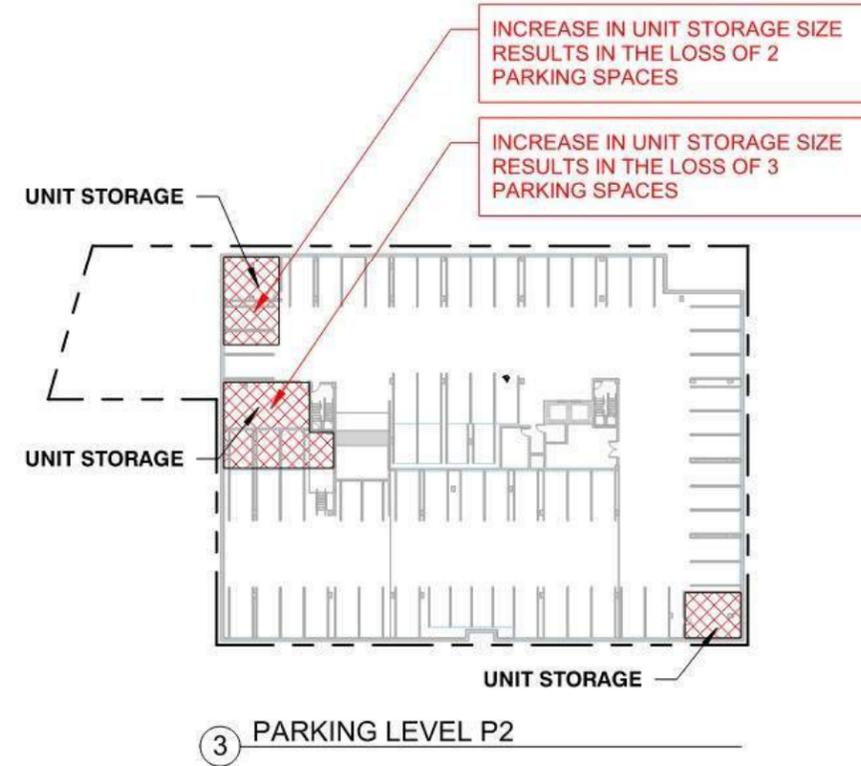
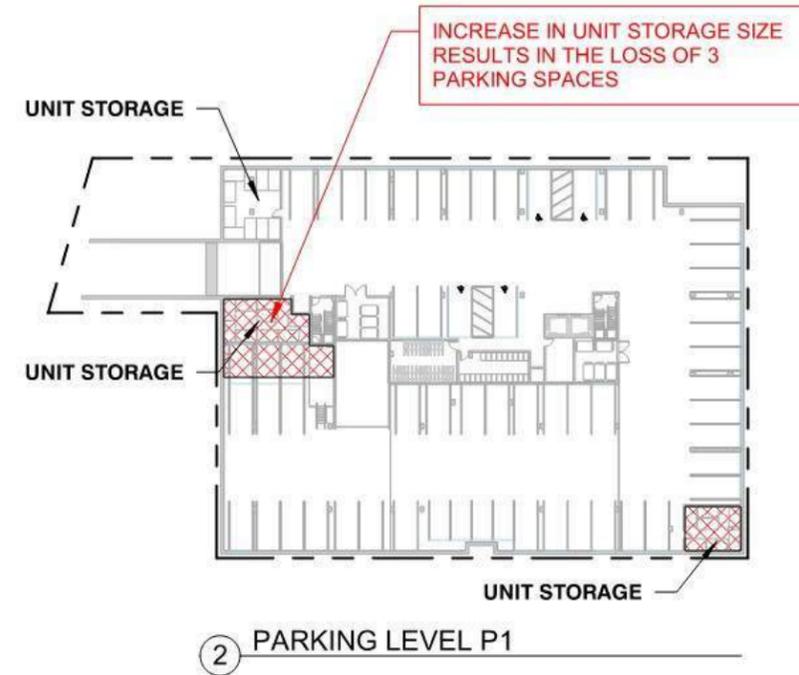
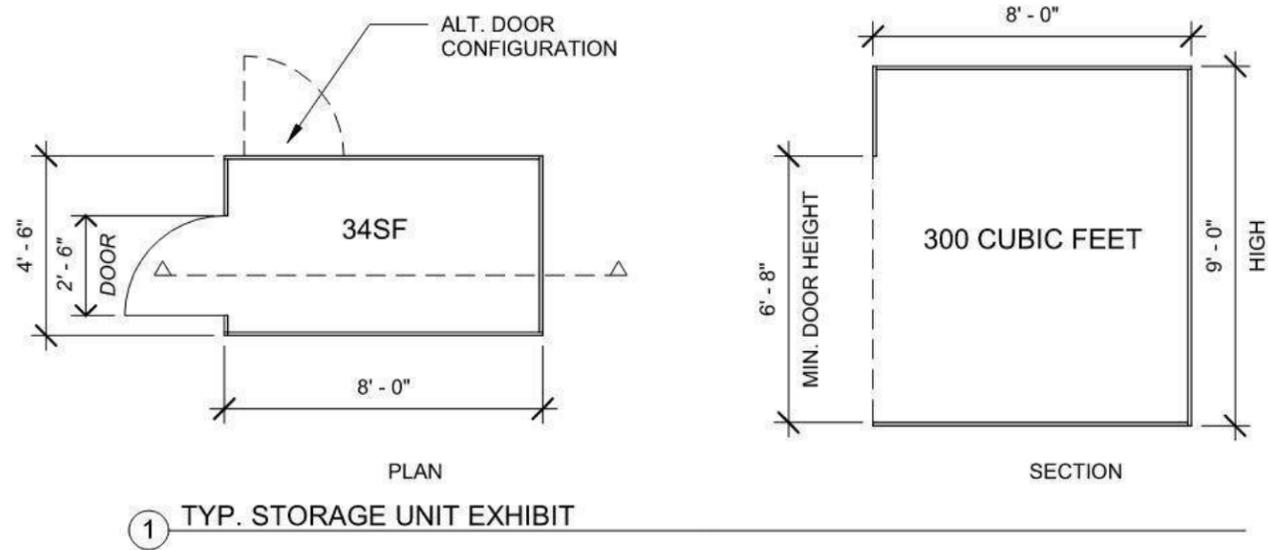
6. WAIVER TO RBMC 10-5.1514(b) TO REDUCE THE REQUIRED PRIVATE STORAGE SPACE TO (49) 300 CF LOCKERS FOR A TOTAL OF 14,700 CF.

IN ORDER TO PROVIDE EACH UNIT WITH EQUAL SIZE STORAGE AREAS AS WELL AS PROVIDE THE MINIMUM NUMBER OF RESIDENTIAL AND COMMERCIAL PARKING SPACES, THE MINIMUM STORAGE SIZE REQUIRES A REDUCTION FROM 400 CF PER UNIT TO 300 CF PER UNIT.

THIS EXHIBIT SHOWS THAT, IN ORDER TO COMPLY WITH THE 61 REQUIRED RESIDENTIAL SPACES, COMPLIANCE WITH THE STORAGE SPACE REQUIREMENT WOULD RESULT IN A LOSS OF 8 COMMERCIAL SPACES FOR A TOTAL OF 121 PARKING SPACES.

THEREFORE, REQUEST WAIVER OF PRIVATE UNIT STORAGE TO ACCOMODATE REQUIRED 129 PARKING SPACES.

TYPICAL STORAGE UNIT SIZE



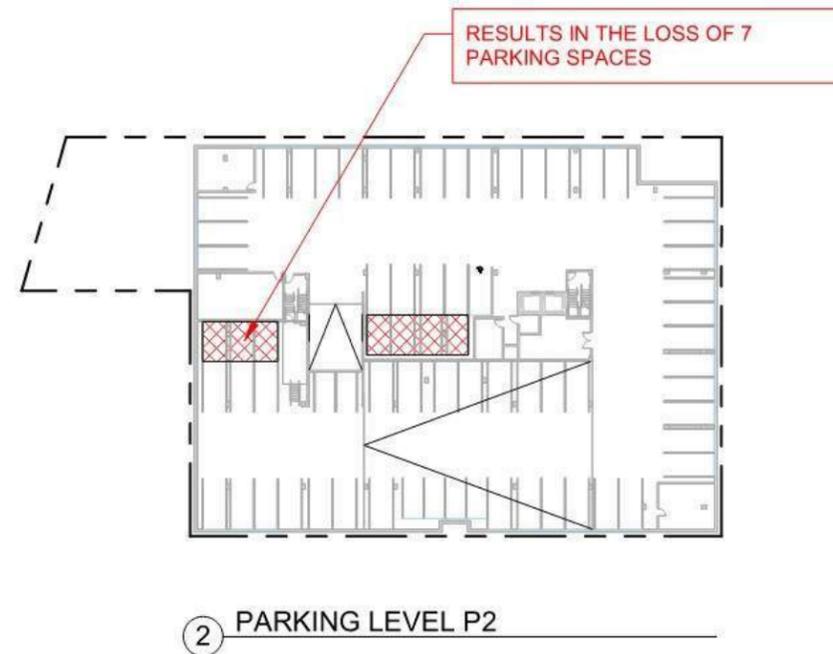
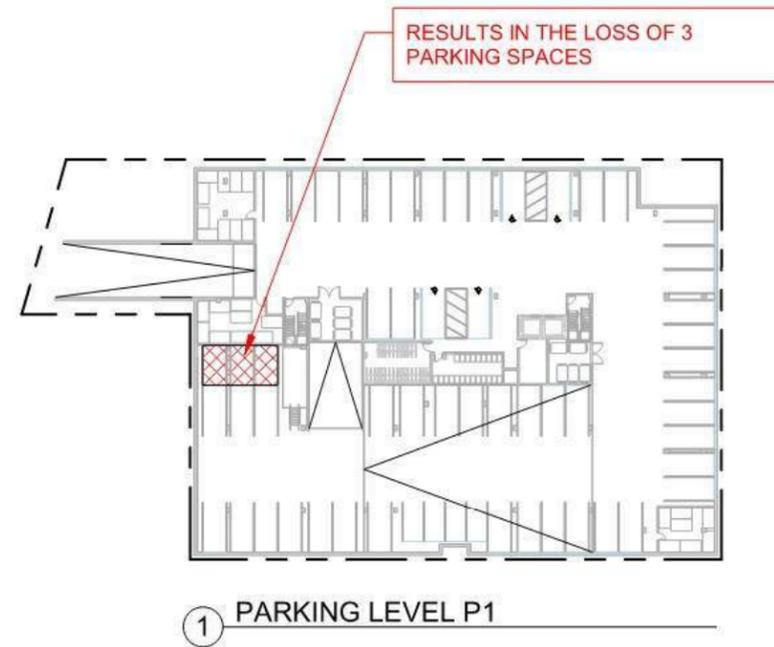
WAIVER #7 - RESIDENTIAL AND COMMERCIAL PARKING

7. WAIVER TO RBMC 10-5.1704(c)(1) TO ALLOW (10) TANDEM PARKING SPACES FOR COMMERCIAL AND RESIDENTIAL USE.

IN ORDER TO PROVIDE THE REQUIRED NUMBER OF RESIDENTIAL AND COMMERCIAL PARKING SPACES THE PROJECT REQUIRES THE USE OF 8'-0" MIN. X 15'-0" MIN. TANDEM PARKING SPACES.

THIS EXHIBIT SHOWS THAT DUE TO BUILDING CONSTRAINTS, IN ORDER TO COMPLY WITH THE 61 REQUIRED RESIDENTIAL SPACES, COMPLIANCE WITH THE RESIDENTIAL AND COMMERCIAL PARKING STALL SIZE REQUIREMENT WOULD RESULT IN A LOSS OF 10 COMMERCIAL PARKING SPACES FOR A TOTAL OF 119 SPACES.

THEREFORE, REQUEST WAIVER OF RESIDENTIAL AND COMMERCIAL PARKING STALL SIZE TO ACCOMODATE THE REQUIRED 129 PARKING SPACES.



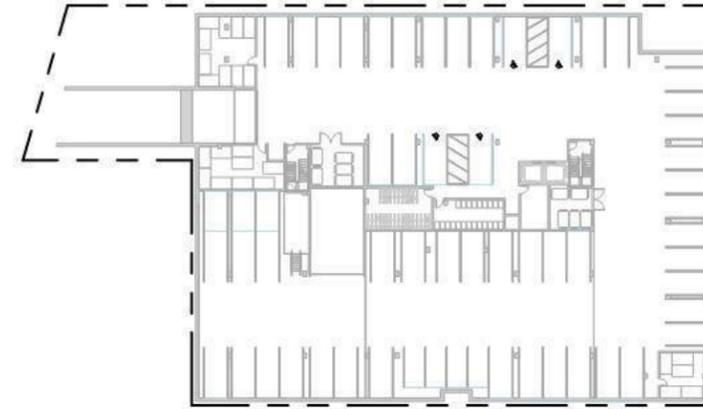
WAIVER #8 - RESIDENTIAL PARKING

8. WAIVER TO RBMC 10-5.1704(c)(1) TO ALLOW (13) COMPACT PARKING SPACES FOR RESIDENTIAL USE.

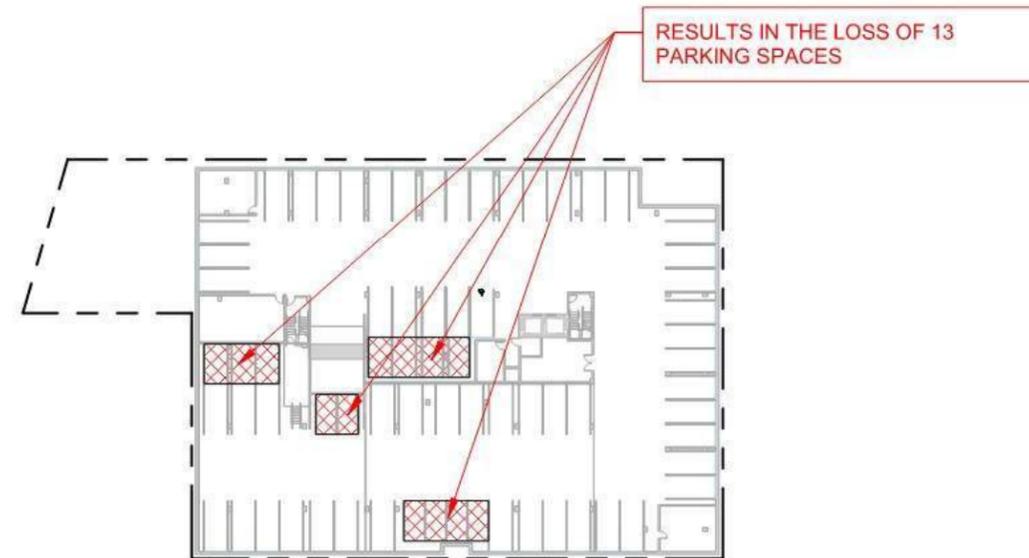
IN ORDER TO PROVIDE THE REQUIRED NUMBER OF RESIDENTIAL AND COMMERCIAL PARKING SPACES THE PROJECT REQUIRES THE USE OF 8'-0" MIN. X 15'-0" MIN. COMPACT PARKING SPACES.

THIS EXHIBIT SHOWS THAT DUE TO BUILDING CONSTRAINTS, IN ORDER TO COMPLY WITH THE 61 REQUIRED RESIDENTIAL SPACES, COMPLIANCE WITH THE RESIDENTIAL PARKING SPACE SIZE REQUIREMENT WOULD RESULT IN A LOSS OF 13 COMMERCIAL SPACES FOR A TOTAL OF 116 PARKING SPACES.

THEREFORE, REQUEST WAIVER OF RESIDENTIAL PARKING STALL SIZE TO ACCOMODATE THE REQUIRED 129 PARKING SPACES.



① PARKING LEVEL P1



② PARKING LEVEL P2