

CONSTRUCTION

1. PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, MILLWORK FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.
2. PROVIDE ALL DOORS WITH PROVISIONS WHICH MEET O.S.H.A. STANDARDS: EFFORT TO OPEN ALL DOORS SHALL BE NO GREATER THAN FIVE (5) POUNDS OF PRESSURE FOR INTERIOR DOORS AND NO GREATER THAN EIGHT AND ONE HALF (8.5) POUNDS OF PRESSURE FOR EXTERIOR DOORS.

GENERAL REQUIREMENTS

1. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE CURRENTLY ADOPTED BY THE APPLICABLE MUNICIPALITY. THE CALIFORNIA ADMINISTRATIVE CODE TITLES-#8, 19 & 24 AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STATUTES. CBC 2022, CMC, CEC, CPC, 2022 TITLE 24
2. ALL CONSULTANT & SUBCONTRACTOR DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL/DESIGN DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/ FABRICATOR/INSTALLER TO CHECK WITH THE ARCHITECTURAL/DESIGN DRAWINGS BEFORE INSTALLATION AND/OR FABRICATION OF ALL WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER SHOULD ANY DISCREPANCIES DEVELOP BETWEEN THE CONSULTANT'S OR SUBCONTRACTOR'S INTERPRETATION OF THE DRAWNGS AND THE ORIGINAL INTENT OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE AND TO NO EXPENSE TO THE TENANT/OWNER OR ARCHITECT/DESIGNER FOR ALL WORK FABRICATED/ INSTALLED IN CONFLICT WITH THE ARCHITECTURAL/DESIGN DRAWINGS.
3. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF ANY WORK INCLUDING BID CALCULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSULTING WITH THE ARCHITECT/DESIGNER WHERE DISCREPANCIES EXIST OR WHEN CLARIFICATIONS ARE REQUIRED. THERE SHALL BE NO ALLOWANCE MADE FOR ANY EXTRA EXPENSES OR SCHEDULE EXTENSIONS DUE TO THE CONTRACTOR'S FAILURE/NEGLECT OF A THOROUGH JOB SITE SURVEY. IN NO CASE SHALL WORKING DRAWING/CONSTRUCTION DOCUMENT DIMENSIONS BE SCALED FROM THE PLANS, ELEVATIONS OR DETAILS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ALL UNAUTHORIZED WORK INSTALLED PRIOR TO THE ARCHITECT'S/DESIGNER'S WRITTEN APPROVAL. AT HIS EXPENSE AND AT NO EXPENSE TO THE TENANT/OWNER OR THE ARCHITECT/DESIGNER.
5. THE CONTRACTOR SHALL COMPLY WITH THE REGULATIONS REGARDING SAFE DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE. ANSI A10.6 "SAFETY REQUIREMENTS FOR DEMOLITION."
7. THE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL PUBLIC AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION IN ACCORDANCE WITH DIVISION 44 OF THE CURRENTLY ADOPTED EDITION OF THE UNIFORM BUILDING CODE. ANY DAMAGE TO NEW AND EXISTING CONSTRUCTION, STRUCTURE OR EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEANS FOR PROTECTING EXISTING EXPOSED INTERIOR FINISHES AND NEW CONSTRUCTION AND MATERIALS FROM DAMAGE BY VANDALS OR ENVIRONMENTAL ELEMENTS FOR THE COURSE OF THE PROJECT.
8. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE TENANT/OWNER AND THE ARCHITECT/DESIGNER HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGE FOR PERSONAL OR BODILY INJURY, OR DEATH OR PROPERTY DAMAGE DURING THE COURSE OF THE CONTRACT.
9. ALL CONTRACTORS/SUBCONTRACTORS/AND OTHER CONSULTANTS ARE TO CERTIFY THAT ALL MATERIALS OR EQUIPMENT INSTALLED OR PROCESS USED ARE FREE OF TOXIC CHEMICALS, FUMES (IE ASBESTOS, PCBs, ETC.) AND OF DEFECTS UNLESS OTHERWISE ADVISED. THE CONTRACTOR SHALL FOLLOW GENERAL CONSTRUCTION INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS FOR ALL PRODUCTS AND PROCESSES.
10. ALL DIMENSIONS ON THE DRAWINGS ARE SHOWN TO COLUMN CENTERLINES AND TO THE FINISH FACE OF PARTITIONS UNLESS OTHERWISE NOTED. ALL CEILING HEIGHTS AS SHOWN ON PLAN ARE FROM THE FINISH FLOOR SURFACE TO FINISH CEILINGS. IN NO CASE SHALL WORKING DRAWINGS/CONSTRUCTION DOCUMENTS DIMENSIONS BE SCALED FROM THE PLANS, ELEVATIONS OR DETAILS.

EXITS & OCCUPANCIES

1. AISLES LEADING TO REQUIRED EXITS SHALL HAVE A MINIMUM WIDTH OF 44".
2. ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN 50 OCCUPANTS.
3. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OF EFFORT. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
4. ALL EXITS SHALL HAVE EXIT SIGNS AND ALL BLIND CORRIDOR TURNS SHALL HAVE DIRECTIONAL EXIT SIGNS. PROVIDE ALL EXIT SIGNS AND DIRECTIONAL EXIT SIGNS WITH MINIMUM 6" HIGH BY 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. EXIT LIGHTING SHALL COMPLY WITH DIV.-10 OF THE CURRENTLY ADOPTED EDITION OF THE UNIFORM BUILDING CODE.
5. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
6. EXIT SIGNS SHALL BE ELECTRICALLY ILLUMINATED AND THE TWO LAMPS SHALL BE ENERGIZED FROM SEPARATE CIRCUITS. ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISE'S WIRING SYSTEM. IN THE EVENT OF FAILURE OF THIS SYSTEM, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM.
7. EMERGENCY LIGHTING SHALL GIVE A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
8. EXIT PATH LIGHTING SHALL BE PROVIDED FOR STAIRWELLS, HALLWAY, EXIT PASSAGEWAY AND EGRESS TO A PUBLIC WAY ANYTIME THE BUILDING IS OCCUPIED.

PROJECT STATISTICS

BUILDING INFORMATION		
CONTACT:	JEANNA RUBY 310-525-0202	Number of Stories: 2 Construction Type: V N Auto Sprinklers: NO Occupancy: B Occupant Load: 43 Tenant Space Area: 1,452 SQ. FT.
DESIGN FIRM:	JR DESIGN 2706 ARTESIA BLVD. SUITE D REDONDO BEACH CA, 90278	
CONTACT:	JEANNA RUBY (310) 310-525-0202	PARKING: 11 PARKING SPACES TO REMAIN NO CHANGE

SHEET INDEX

ARCHITECTURAL	
A0	SITE PLAN/ GENERAL NOTES/ PROJECT INFORMATION
A01	ACCESSIBILITY REQUIREMENTS/ DETAILS/ FLOOR PLAN
A1	EXISTING FLOOR / RCP PLAN
A2	EXISTING FLOOR PLANS
A3	PROPOSED FLOOR PLAN
A4	EXISTING EXTERIOR ELEVATIONS

PROJECT DATA

TENANT:	G K SINGH ENTERPRISES INC c/o Gurjit Singh
PROJECT ADDRESS:	2706 ARTESIA BLVD. REDONDO BEACH, CA 90278
LEGAL DESCRIPTION:	
APPLICABLE CODES:	CBC 2022, CMC, CPC, CEC, CFC GREEN BUILDING CODE 2022
AREA BREAKDOWN:	
USE:	FIRST FLOOR- FLOWER SHOP: 1,452 SQ. FT. SECOND FLOOR - OFFICES 1,223 SQ. FT.
ZONE:	FIRST FLOOR- FLOWER SHOP: 1,452 SQ. FT.
APN:	

SCOPE OF WORK

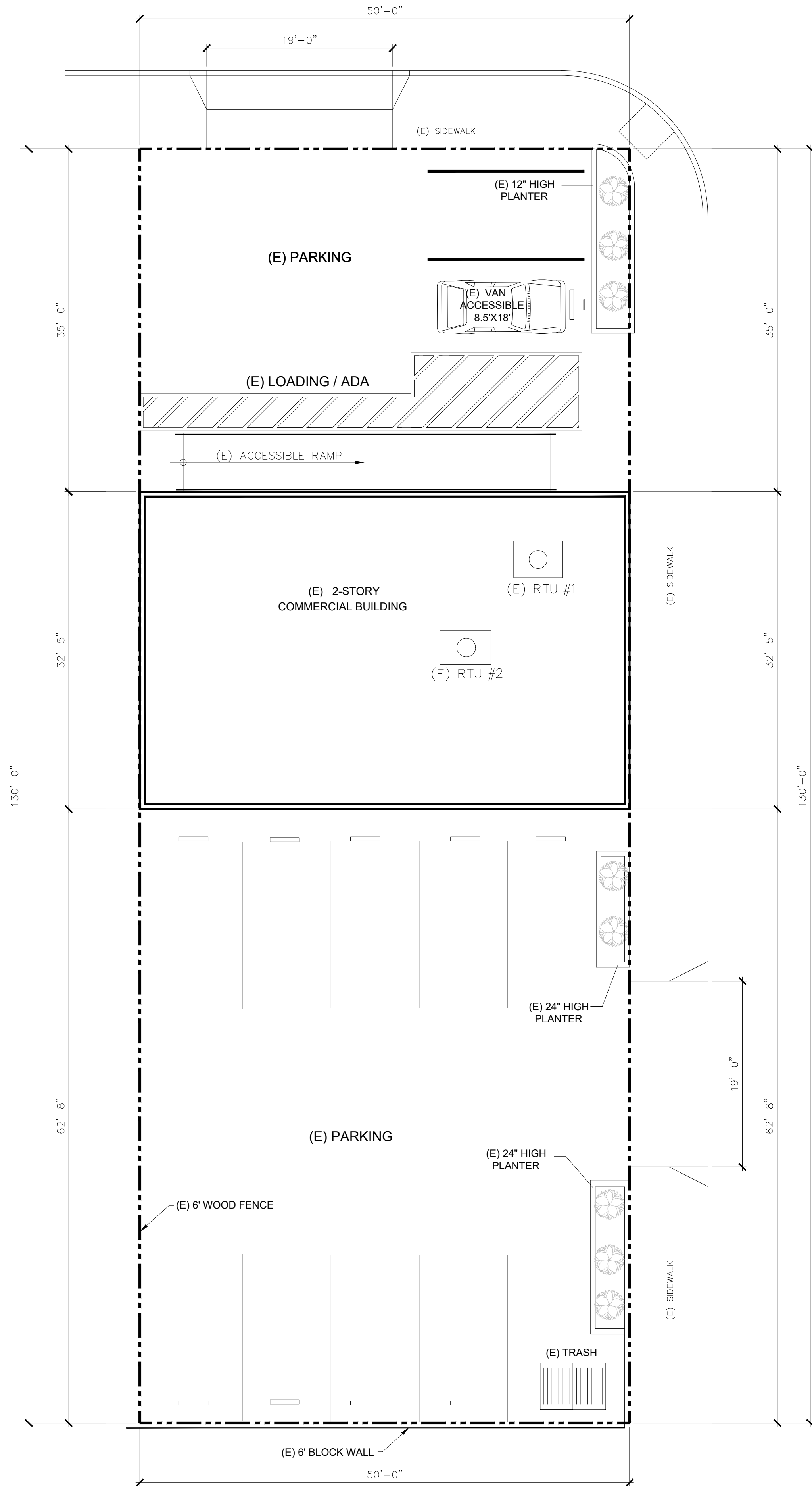
CHANGE OF USE FROM EXISTING FLOWER SHOP TO LIQUOR STORE

AREA BREAKDOWN

FIRST FLOOR :	1,425 SQ. FT.
SECOND FLOOR :	1,835 SQ. FT.
SECOND FLOOR OFFICE SPACE:	226 SQ. FT. 228 SQ. FT. 175 SQ. FT. 175 SQ. FT. 419 SQ. FT. 1,223 TOTAL OFFICE SQ. FT.

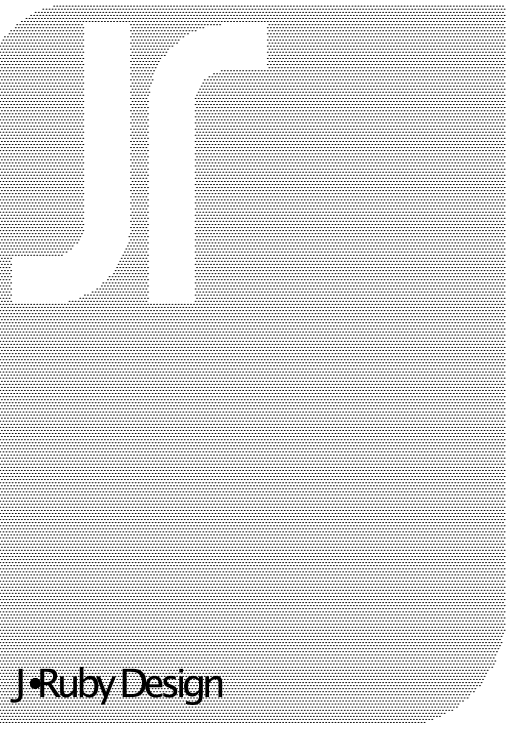
OCCUPANT LOAD

SEPARATE PERMITS SHALL BE OBTAINED FOR THE FOLLOWING:
MECHANICAL, ELECTRICAL, PLUMBING, SIGNAGE, FIRE SPRINKLERS



SITE PLAN

SCALE: 3/16"=1'-0"



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PROPERTY ADDRESS:

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c/o Gurjit Singh
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REDONDO BEACH CA, 90278

ENERGY CONSULTANT:

JR COMPLIANCE
2706 ARTESIA BLVD. Suite D
REDONDO BEACH CA, 90278

STRUCTURAL ENGINEERING:

NO.	DATE	REVISIONS

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DRAWN BY: JRUBY Jeanna Ruby

SITE PLAN

A.0

DATE : 04-22-2025 SCALE : 1/8"=1'-0"

SANITARY FACILITIES (GENERAL)

- NOTE:** See also section 3105A(e) for additional signage requirements applicable to sanitary facilities.

NOTE: Single Accommodation Sanitary Facility is defined as "a room that has not more than one of each type of sanitary fixture, is intended for use by only one person at a time, has no partition around the toilet, and has a door that can be locked on the inside by the room occupant". Sec 420(j).

1. There shall be sufficient space in the toilet room for a wheelchair measuring 30" wide by 48" long to enter the room and permit the door to close. Sec 3105 A(b)3B.
2. There shall be in the room, a clear floor space of at least 60" in diameter, or a T-shaped space complying with Figures 31-12(a) or (b). No door shall encroach into this space. Sec 3105 A(b)3B. Fig 31-1A.
3. The water closet shall be located in a space which provides a minimum 28" wide clear space from a wall at one side. The other side shall provide 18" from the centerline of the water closet to the wall. A minimum 48" clear space shall be provided in front of the water closet. Sec 3105A(b)3B. Fig 31-1A.
4. All doors, fixtures, and controls shall be on an accessible route with a minimum clear width of 36" except at doors. If a person in a wheelchair must make a turn around an obstruction, the minimum clear width of the accessible route shall be as shown in Figure 31-5E. Sec 3105A(b)3B.

1. The height of accessible water closets shall be a minimum of 17" and a maximum of 19" measured to the top of a maximum 2" high toilet seat, except that 3" seats shall be permitted only in alterations where the existing fixture is less than 15" high. Sec 5-1502.
2. A clear floor space 30" by 48" shall be provided in front of a lavatory to allow a forward approach. Such clear floor space shall adjoin or overlap an accessible route and shall extend into knee and toe space underneath the lavatory. A door swing shall not encroach into this clear space. Sec 3105A(b)(4A)(i). Fig 31-B.
3. Lavatories adjacent to a wall shall be mounted with a minimum distance of 18" to the center line of the fixture. A door swing shall not encroach into this clear space. Sec 5-1504(a). Fig 31-1A.
4. Lavatories shall be mounted with the rim or counter surface no higher than 34" above the finished floor and with a clearance of at least 29" from the floor to the bottom of the apron with knee clearance under the front lip extending a minimum of 30" in width and 8" minimum depth at the top. Toe clearance shall be the same width and shall be a minimum of 9" high from the floor and a minimum of 17" deep from the front of the lavatory. Sec 5-1504(a).
5. Hot water and drain pipes under accessible lavatories shall be insulated or otherwise covered. There shall be no sharp or abrasive surfaces under lavatories. Sec 5-1504(b).
6. Faucet controls and operating mechanisms etc. shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist. The force required to activate controls shall be no greater than 5 lbf. Lever-operated, push-type and electronically controlled mechanisms are examples of acceptable design. Self-closing valves are allowed if the faucet remains open for at least 10 seconds. Sec 5-1504(c).
7. Where urinals are provided, at least one shall have a clear floor space 30" by 48" in front of the urinal to allow forward approach. Sec 3105A(b)4D.
8. Where one or more urinals are provided, at least one with a rim projecting a minimum of 14" from the wall and at a maximum of 17" above the floor shall be provided. Sec 5-1503(a).
9. Controls for water closet flush valves shall be mounted on wide side of toilet areas. Sec 5-1503(b)(4).
10. Water closet and urinal flush valve controls, and faucet and operating mechanism controls, shall be operable with one hand, shall not require tight grasping, pinching, or twisting of the wrist, and shall be mounted no more than 44" above the floor. Sec 5-1502, 5-1503(b), & 5-1504(c).
11. The force required to activate water closet and urinal flush valve controls, and faucet and operating mechanism controls, shall be no greater than 5 lbf. Sec 5-1502, 5-1503(b) 5-1504(c).
12. Self-closing faucet control valves are allowed in the faucet remains open for at least 10 seconds. Sec 5-1504(c).
13. Mirrors shall be mounted with the bottom edge no higher than 40" from the floor. Sec 3105A(b)4A(ii).



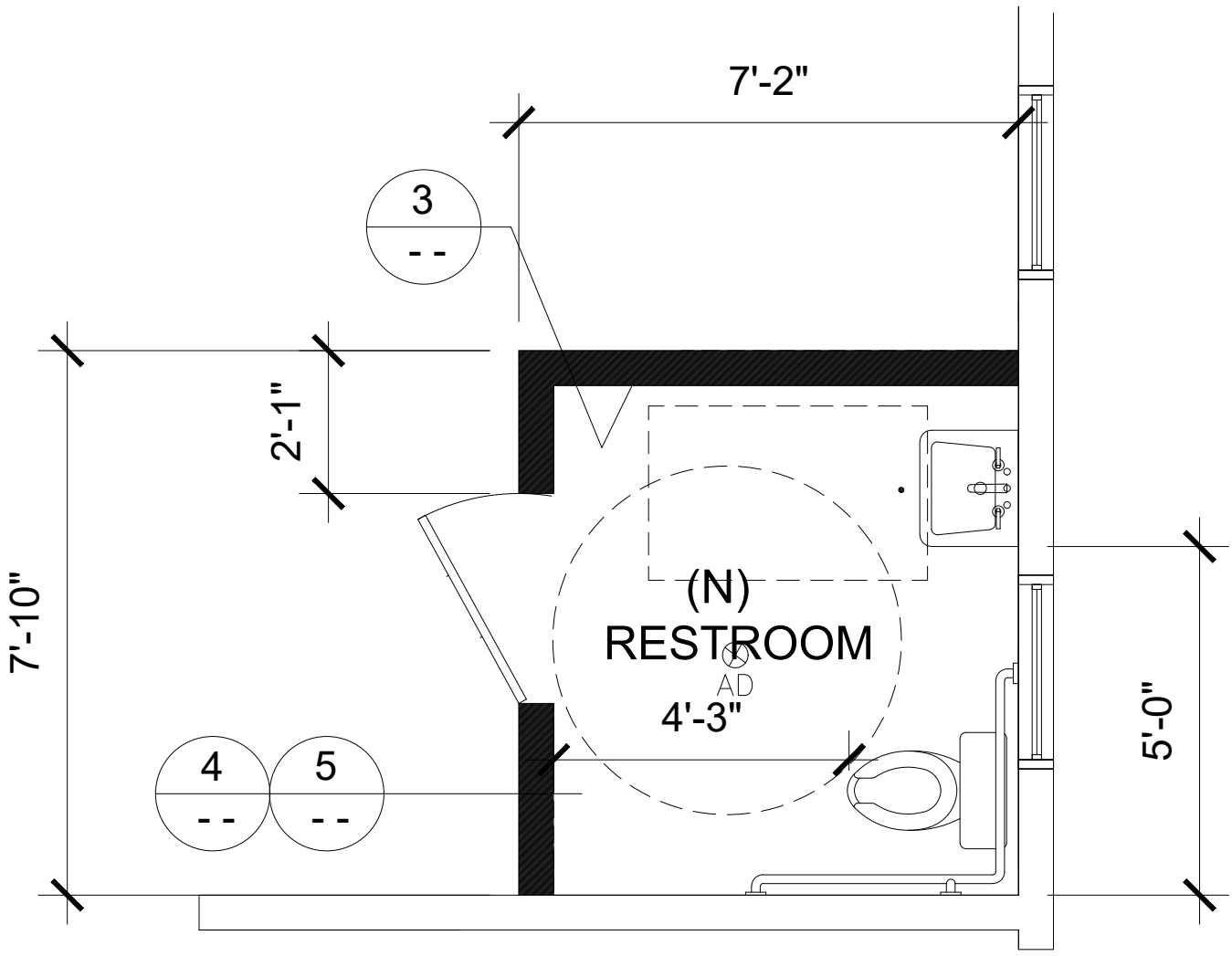
SIGNS SHALL BE 1/4" THICK.
CENTER SIGNS ON THE DOOR.
@ A HEIGHT OF 5'-0" A.F.F.
SIGNS SHALL BE DISTINCTLY DIFFERENT
FROM DOOR IN COLOR AND CONTRAST.
*SEE DETAIL 5 FOR SIGN LOCATION ON DOOR

ADA REQUIRMENTS

1

HC. RESTROOM / REQUIREMENTS

SCALE: 3/8" = 1' = 0"



ADA REQUIRMENTS

1

HC. RESTROOM / REQUIREMENTS

SCALE: 3/8" = 1' = 0"

14. Where towel, sanitary napkins, waste receptacles, and other similar dispensing and disposal fixtures are provided, at least one of each type shall be located with all operable parts, including coin slots, within 40" from the finished floor. Sec 3105 A(b) 4B.
15. Toilet tissue dispensers shall be located on the wall within 12" of the front edge of the toilet seat and no lower than 19" from the floor. Dispensers that control delivery or that do not permit continuous paper flow shall not be used. Sec 3105A(b)4C. Fig 31-1A.
16. Toilet room floors shall have a smooth, hard, non-absorbent surface such as portland cement, concrete, ceramic tile or other approved material which extends upward onto the walls at least 5". Walls within water closet compartments and walls within 24" of the front and sides of urinals shall be similarly finished to a height of 48" and, except for structural elements, the materials used in such walls shall be a type which is not adversely affected by moisture. Sec 3105A(b)5.

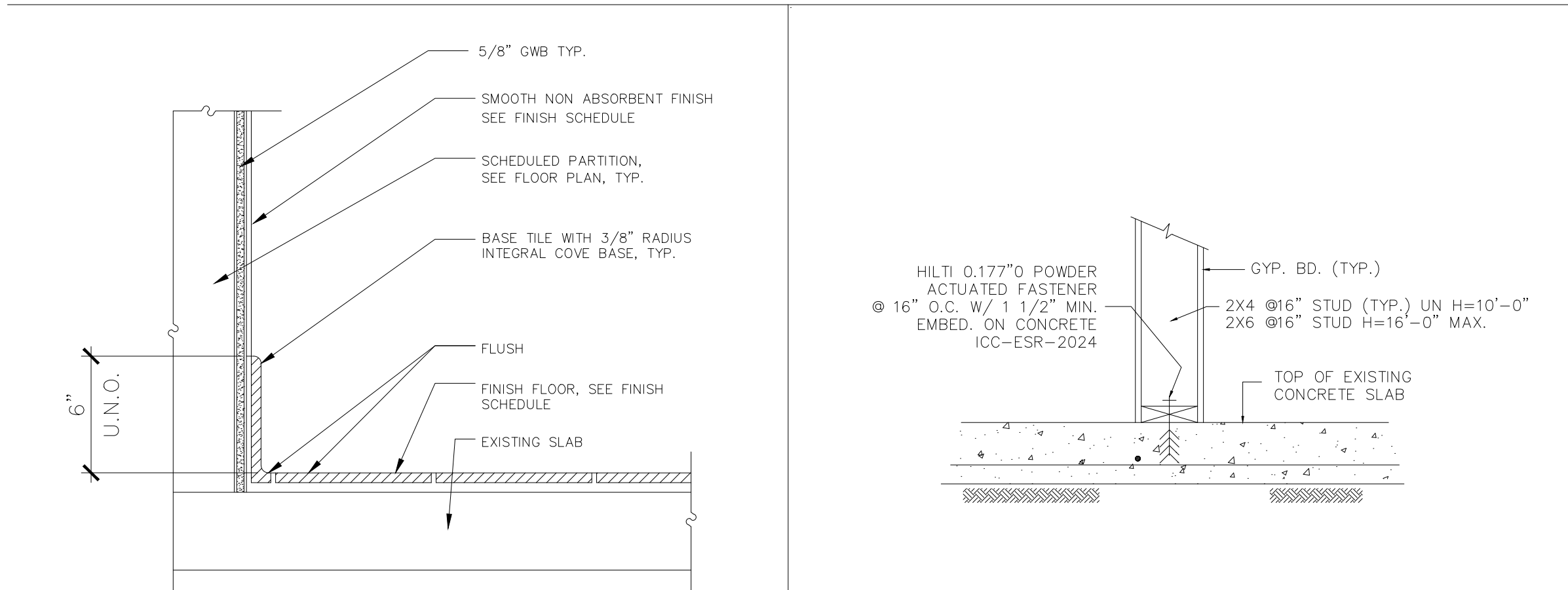
GRAB BARS

1. Grab bars shall be located on each side, or on one side and the back of the accessible toilet stall or compartment. Sec 3105A(b)3C(i). Fig 31-1A,B & C.
2. Grab bars at the side shall be at least 42" long with the front end positioned 24" in front of the water closet stool and with the back end positioned no more than 12" from the rear wall. Grab bars at the back shall be not less than 36" long. Sec 3105A(b)3C(i). Fig 31-1A, B, & C.
3. Grab bars shall be securely attached 33" above and parallel to the floor, except that where a tank-type toilet is used which obstructs placement at 33", the grab bar may be as high as 36". Sec 3105A(b)3C(i). Fig 31-1A.
4. The diameter or width of the gripping surfaces of a grab bar shall be 1 1/4" to 1 1/2" nominal or the shape shall provide an equivalent surface. If grab bars are mounted adjacent to a wall, the space between the wall and the grab bars shall be 1 1/2". Sec 3105A(b)3C(ii). Fig 31-1C.

TOILET ACCESSORIES SPECIFICATIONS

- | | |
|------------------------------------|--|
| 1. <u>TOWEL DISPENSER:</u> | BOBRICK DISPENSER/RECEPTACLE-WALL MOUNTED, #B-3944 (1 PER TOILET ROOM) |
| 2. <u>SEAT COVER DISPENSER:</u> | BOBRICK #B-301 (1 PER TOILET) |
| 3. <u>GRAB BAR:</u> | BOBRICK #B-6806 x 42
42" LONG, HORIZONTAL |
| 4. <u>GRAB BAR:</u> | BOBRICK #B-6806 x 36
36" LONG, HORIZONTAL |
| 5. <u>TOILET ROOM SIGNS:</u> | A. MEN'S TOILET (SEE DETAIL)
B. WOMEN'S TOILET (SEE DETAIL) |
| 6. <u>SOAP DISPENSER:</u> | BOBRICK #B-4112, STAINLESS STEEL
WITH SATIN FINISH (1 PER SINK) |
| 7. <u>TOILET TISSUE DISPENSER:</u> | BOBRICK #B-6699, BRIGHT POLISHED
STAINLESS STEEL (1 PER TOILET) |
| 8. <u>MIRROR:</u> | BOBRICK #B-292-2436, WITH SHELF |

ALL TOILETS & SINKS TO BE WHITE VITREOUS CHINA, SEE PLUMBING DRAWINGS FOR SPEC'S.



COVE BASE DETAIL

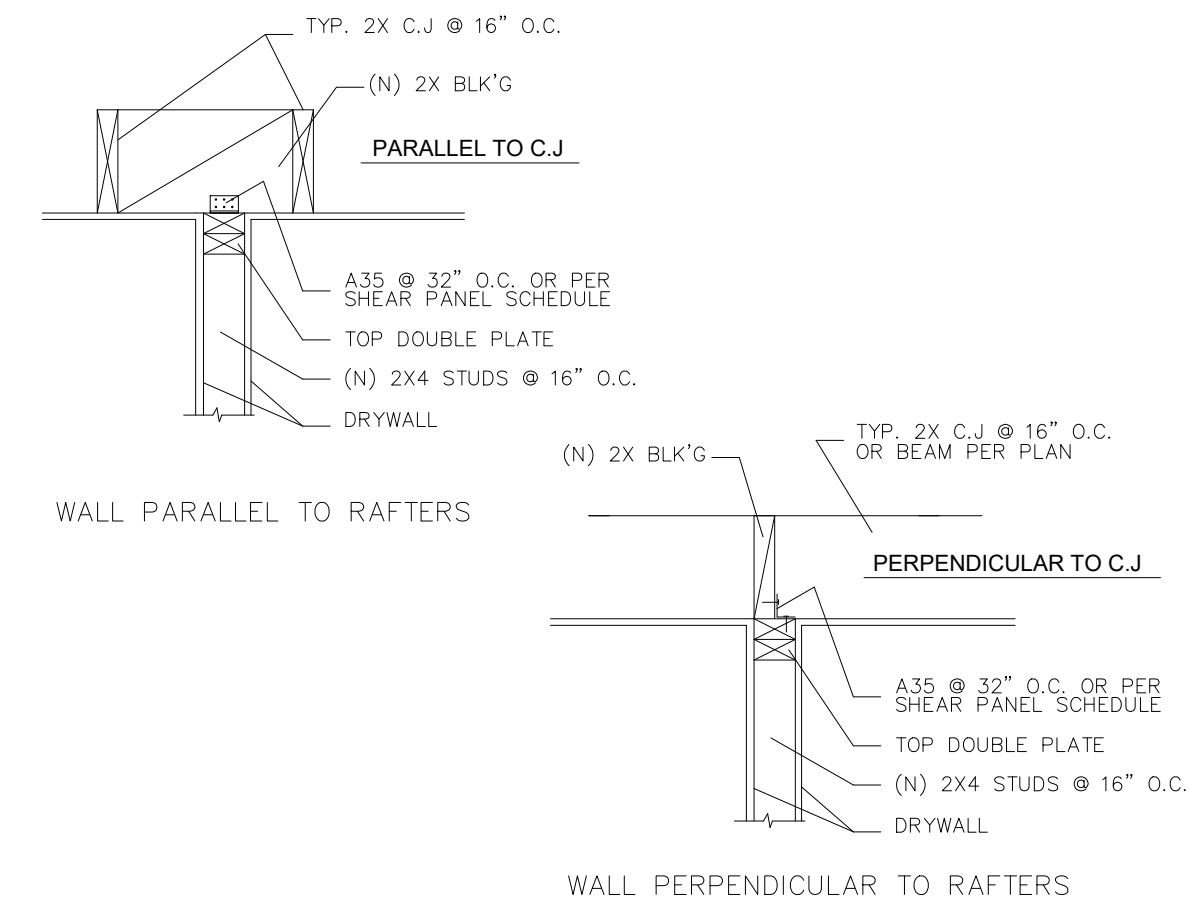
N.T.S

3

NON BEARING WALL BOTTOM

N.T.S

4

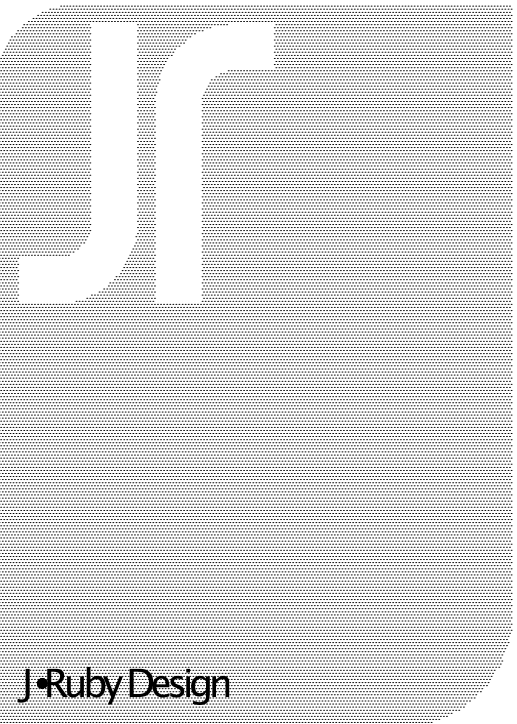


TYP. NON-BEARING WALL

N.T.S

5

RESTROOMS NOTES & SPECS.



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ENERGY CONSULTANT:

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STRUCTURAL ENGINEERING

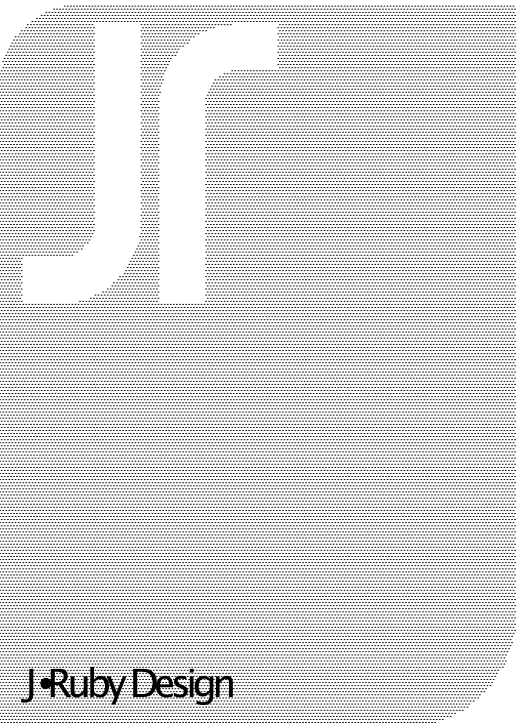
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DRAWN BY: J.RUBY *Jeanna Ruby*

ACCESSIBILITY REQUIREMENTS/ DETAILS/ FLOOR PLAN

A01



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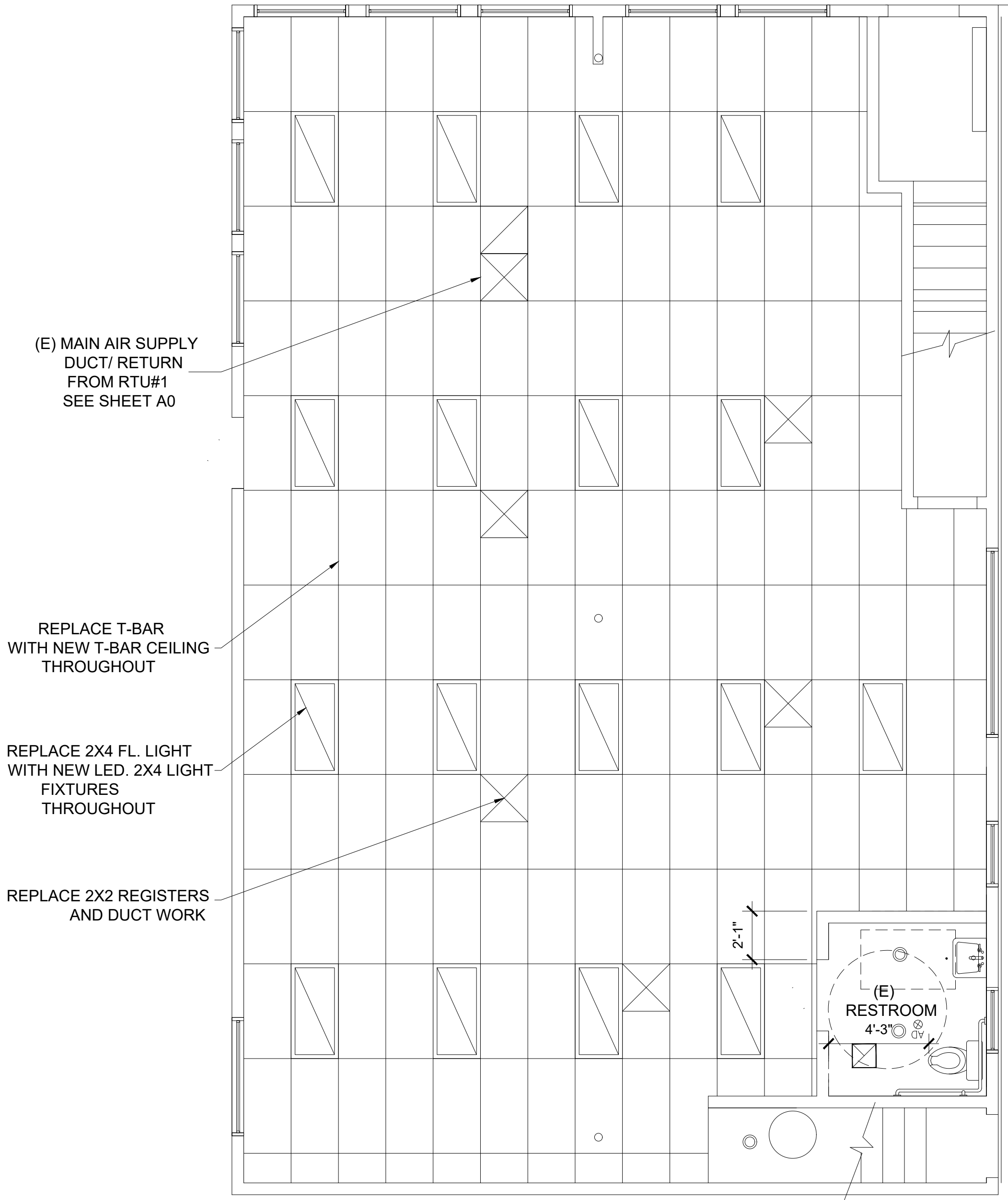
EXISTING FLOOR / RCP
PLAN

A.1

DATE : 04-22-2025 SCALE : 1/4"=1'-0"

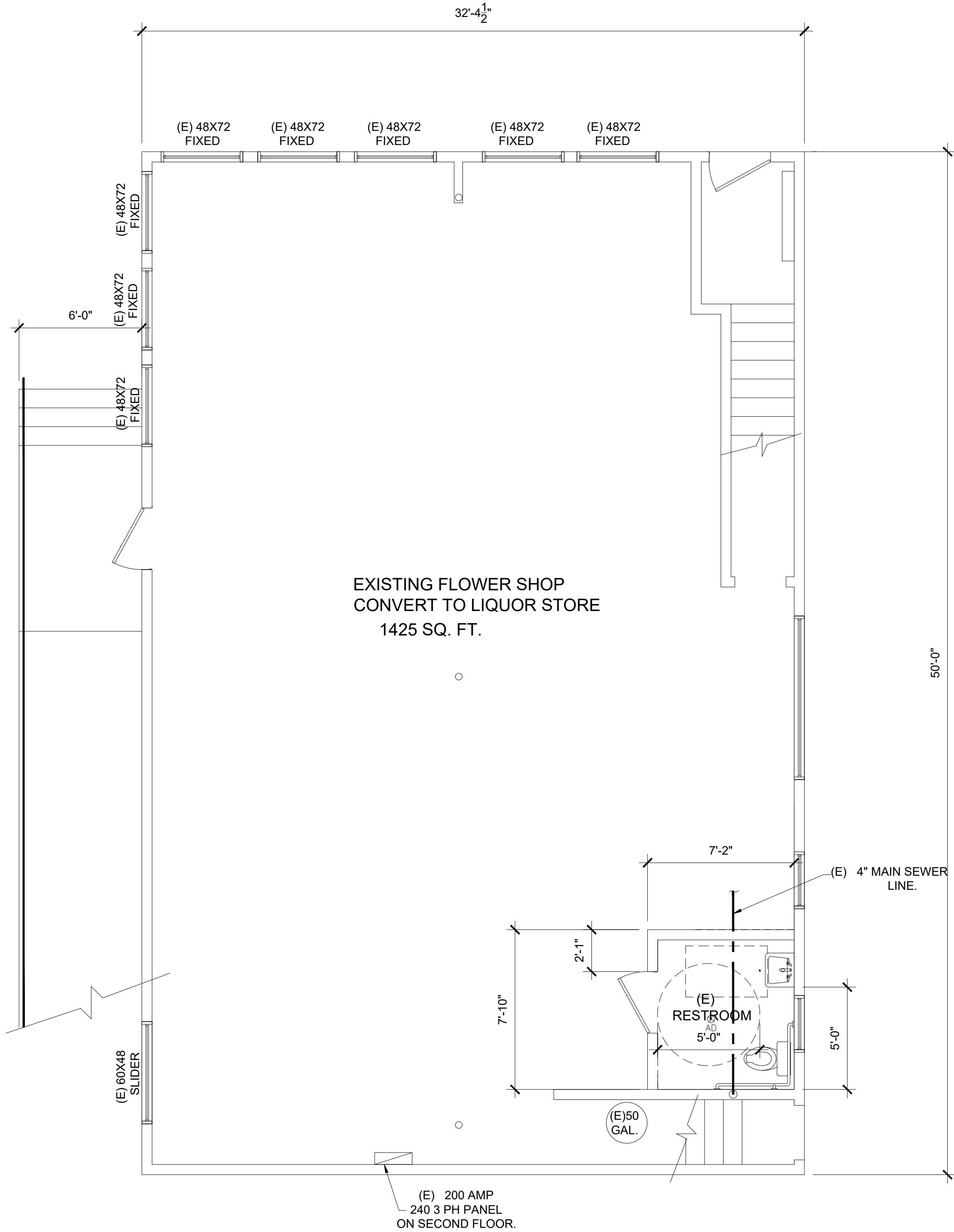
WALL LEGEND

- EXISTING 2X4 STUD WALL
- EXISTING 8" CMU WALL



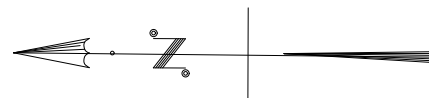
EXISTING RCP PLAN

SCALE: 1/4"=1'-0"



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"





STRUCTURAL ENGINEERING:

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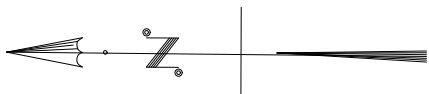
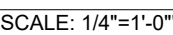
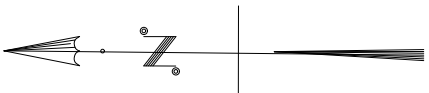
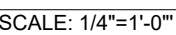
DRAWN BY: J.RUBY *Jeanna Ruby*

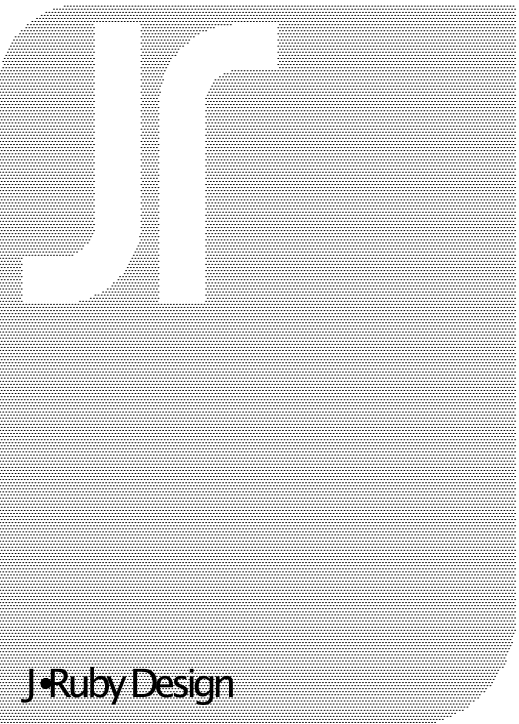
EXISTING FLOOR PLANS

A.2

DATE : 04-22-2025 SCALE : 1/4"=1'-0"

EXISTING 8" CMU WALL





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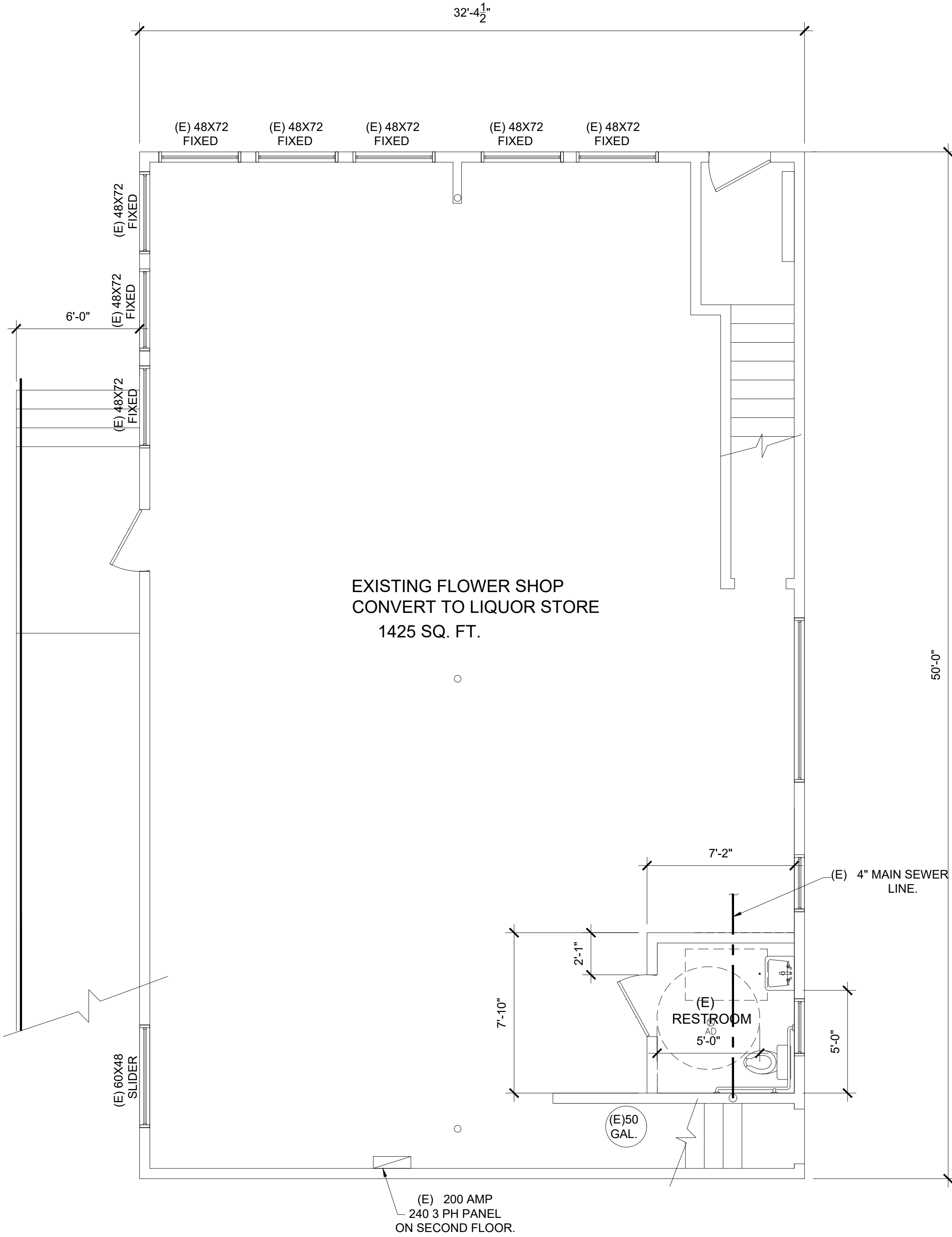
PROPOSED FLOOR PLAN

A.3

DATE : 04-22-2025 SCALE : 1/4"=1'-0"

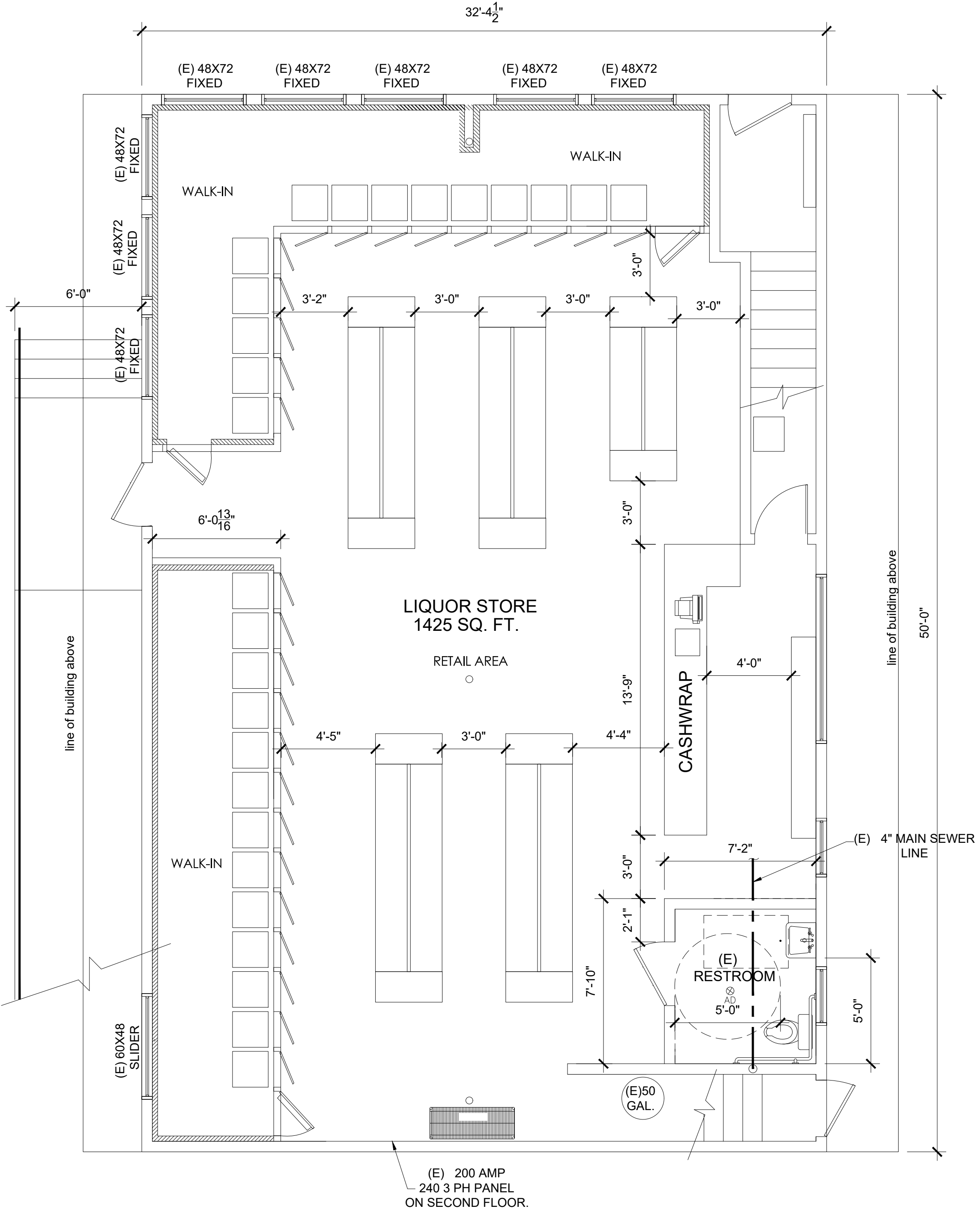
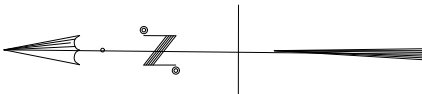
WALL LEGEND

- EXISTING 2X4 STUD WALL
- EXISTING 8" CMU WALL



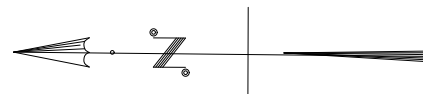
EXISTING 1st FLOOR PLAN

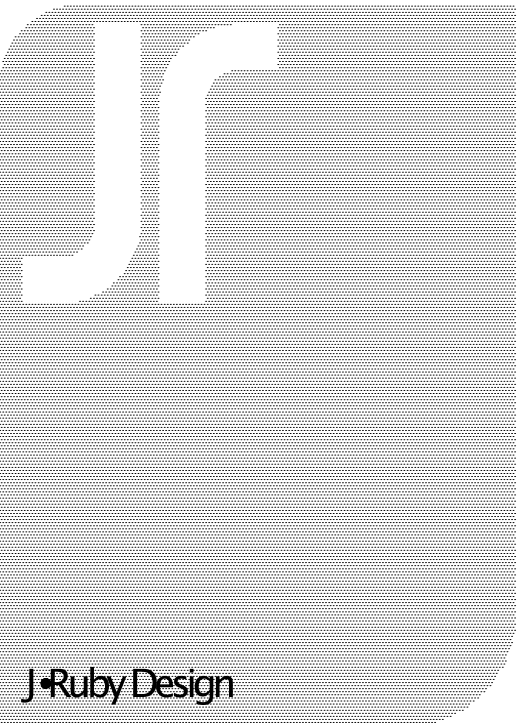
SCALE: 1/4"=1'-0"



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"





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STRUCTURAL ENGINEERING:

NO.	DATE	REVISIONS

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DRAWN BY: J. RUBY *Jeanna Ruby*

EXISTING
EXTERIOR ELEVATIONS

A.4

DATE : 04-22-2025 SCALE : 1/4"=1'-0"

