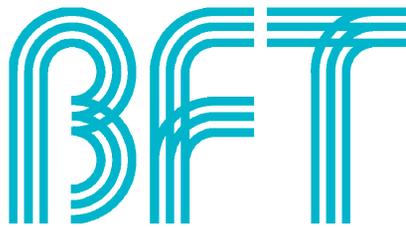


ACOUSTICAL NOTES:

- OUTLET BOXES. INSTALL PUTTY PADS ON BACK OF ALL OUTLET BOXES AND OTHER SIMILAR PENETRATIONS WITHIN ANY SOUND-RATED CONSTRUCTIONS. BACK-TO-BACK OUTLET BOXES ARE PROHIBITED. SEPARATE OUTLET BOXES ON OPPOSING SIDE OF PARTITION BY AT LEAST 1 STUD BAY.
- CABLE TRAYS MUST NOT PASS THROUGH THE DEMISING WALLS BETWEEN TENANTS. IF POSSIBLE, CABLE TRAYS SHOULD BE REROUDED SO THAT THEY DO NOT PENETRATE THE DEMISING WALL WITH THE STUDIO. CABLE TRAY AND CONDUIT PENETRATIONS IN PARTITIONS SHOULD BE PACKED TIGHTLY WITH HEAVY-DENSITY PUTTY ONCE THE CABLES ARE PULLED.
- WRAP ANY PVC, ABS, OR SIMILAR PIPING THAT WILL BE EXPOSED TO THE STUDIO MUSIC AND CROSSES TO ANOTHER TENANT SPACE WITH 2-LB. PIPE WRAP.
- PROVIDE 1/4 INCH CLEAR BETWEEN ANY TRADES PENETRATING THE GYPSUM BOARD AND THE GYPSUM BOARD IN AN ACOUSTICALLY RATED WALL OR CEILING. FILL GAP WITH ACOUSTICAL SEALANT. ANY GAPS LARGER THAN 1/2-INCH SHALL BE LAPPED WITH GYPSUM BOARD. ALL PENETRATIONS IN SOUND-RATED ASSEMBLIES SHALL BE FILLED WITH SEALANT RATED GRADE 0 OR BETTER ACCORDING TO ASTM.
- SPEAKERS IN STUDIO SHALL NOT BE RECESSED WITHIN SOUND-RATED ASSEMBLIES.
- IN FURRED CONSTRUCTION, THERE SHALL BE NO CONNECTIONS BETWEEN FURRED STUDS AND ADJACENT CONSTRUCTION. TRADES SHALL NOT BE INSTALLED WITHIN THE AIRSPACE. CROSS BRACING IS NOT PERMITTED. TRADES SHALL NOT BE ATTACHED TO ADJACENT CONSTRUCTION AND FURRED WALL.
- COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL ACOUSTICAL SYSTEMS.
- SPEAKERS SHALL NOT BE RECESSED IN ANY SOUND-RATED ASSEMBLIES.
- SPEAKER ISOLATION
 - MAIN SPEAKERS. ISOLATE WITH USE OF MASON INDUSTRIES TYPE ND (NON-SEISMIC) NEOPRENE ISOLATION MOUNTS. MINIMUM 0.1" STATIC DEFLECTION (IN-SHEAR), 0.2 DEFLECTION (IN COMPRESSION OR TENSION)
 - SUSPENDED SPEAKERS ARE PREFERRED OVER FLOOR-MOUNTED OR WALL-MOUNTED SPEAKERS
 - ISOLATE SUBWOOFERS FROM THE BUILDING WITH USE OF MASON INDUSTRIES TYPE SLF SPRING ISOLATION MOUNTS. MINIMUM 2-INCH STATIC DEFLECTION. AVOID COUPLING SUBWOOFER TO BUILDING STRUCTURE.
- AUDIO-VISUAL SYSTEMS SHALL INCLUDE AN ELECTRONIC LIMITER THAT CONTROLS THE MAXIMUM WATTAGE FED TO THE SPEAKERS. THIS WILL CONTROL BOTH MUSIC AND AMPLIFIED VOICE SOURCES TO ENSURE THAT SOUND LEVELS DO NOT INCREASE OVER THE LIFE OF THE FACILITY, PARTICULARLY WITH MULTIPLE USERS AND NATURAL VARIATIONS IN INSTRUCTOR VOICE AND TIMBRE.
- AVOID ROUTING DUCTWORK BETWEEN THE STUDIO AND THE LOBBY/RETAIL. IF UNAVOIDABLE, INSTALL 1-INCH-THICK ACOUSTICAL DUCT LINING WITHIN THE DUCTWORK.
- LOCATE DUCTWORK AND MECHANICAL EQUIPMENT WITHIN THE STUDIO BELOW THE GYPSUM BOARD CEILING
- AVOID DUCTWORK PENETRATIONS IN GYPSUM BOARD CEILING. IF UNAVOIDABLE, I.E. STUDIO SERVED BY ROOFTOP EQUIPMENT, WRAP DUCTWORK ABOVE CEILING IN TWO (2) LAYERS OF 5/8-INCH GYPSUM BOARD FOR THE ENTIRE LENGTH OF THE DUCTWORK BETWEEN CEILING AND ROOF.



**234 S. PACIFIC COAST HIGHWAY
UNITS 104, 105 & 106
REDONDO BEACH, CA**

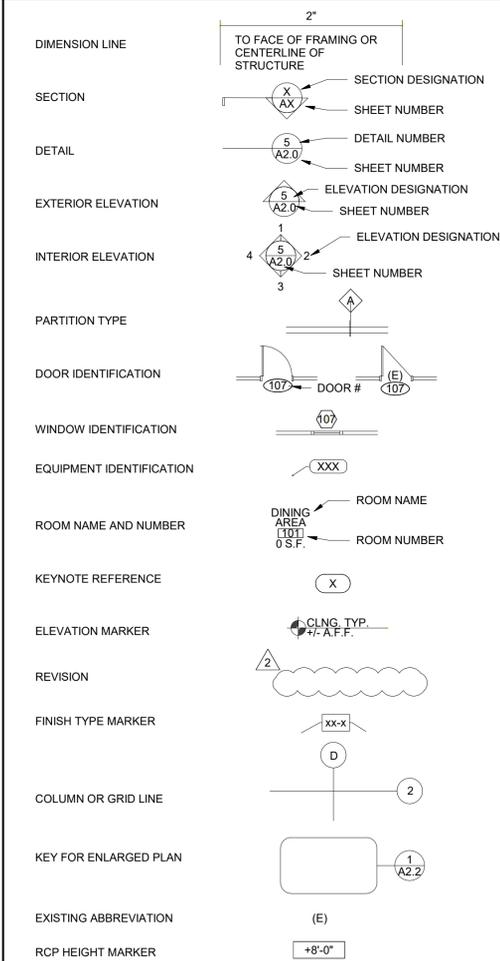
SHEET INDEX

PLANNING COMMISSION PLAN SET	
G-0.0	COVER SHEET
A-0.1	SITE PLAN
D-1.0	DEMO PLAN
A-1.0	BASEMENT FLOOR PLAN/PARKING
A-1.1	FLOOR PLAN
A-1.2	ROOF PLAN
A-1.3	ELEVATIONS



412 S. Wells Street • 2nd Floor • Chicago • IL • 60607
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DRAFTING SYMBOLS



CODE DATA

GOVERNING CODES: ALL WORK SHALL BE IN COMPLIANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION:

BUILDING: 2022 CALIFORNIA BUILDING CODE
ELECTRICAL: 2022 CALIFORNIA ELECTRICAL CODE
MECHANICAL: 2022 CALIFORNIA MECHANICAL CODE
PLUMBING: 2022 CALIFORNIA PLUMBING CODE
FIRE: 2022 CALIFORNIA FIRE CODE
ENERGY: 2022 CALIFORNIA ENERGY CODE
GREEN: 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
ACCESSIBILITY: 2022 CALIFORNIA BUILDING CODE - CHAPTER 11B

TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLERS: YES
BUILDING USE: COMMERCIAL
PROJECT LEASE AREA: 3111 SF GROSS
PREVIOUS OCCUPANCY: CURRENTLY VACANT
PROPOSED OCCUPANCY: A3 - ASSEMBLY

EXIT REQUIREMENTS: 2 REQUIRED - 2 PROVIDED
PARKING: EXISTING - NO CHANGE

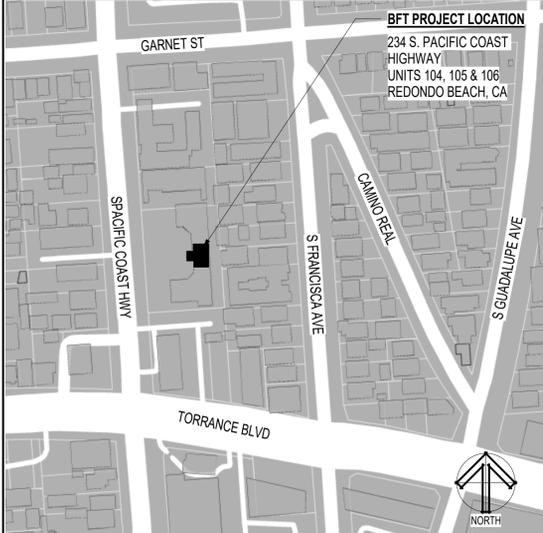
PROJECT DATA

PROJECT NAME: BFT - REDONDO BEACH, CA
PROJECT DESCRIPTION: TENANT IMPROVEMENT PROJECT - INTERIOR BUILD OUT OF AN EXISTING TENANT SPACE INTO A FITNESS STUDIO. WORK TO INCLUDE INTERIOR WALLS, CEILINGS, ACCESSIBLE RESTROOMS, MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS AND ASSOCIATED INTERIOR FINISHES AND MILLWORK.
PROJECT LOCATION: 234 S. PACIFIC COAST HIGHWAY
UNITS 104, 105 & 106
REDONDO BEACH, CA
JURISDICTION: CITY OF REDONDO BEACH
BUILDING & SAFETY DIVISION
CITY HALL, DOOR 2
415 DIAMOND STREET
REDONDO BEACH, CA 90277
P: 310.318.0638

REVISIONS:

NO.	DESCRIPTION	DATE
1	PER PLANNING	03.28.2024

VICINITY MAP



GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE DRAWINGS AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH THE CLIENT AND ARCHITECT TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCE.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. ALL DIMENSIONS ARE TO THE FACE OF FRAMING UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF WORK.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, FIRE ALARM, OR SPECIALTY SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ON SET OF PERMIT PLANS ON-SITE TO DOCUMENT ALL CHANGES MADE DURING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE ISSUED TO THE CLIENT AT PROJECT CLOSE-OUT AS DESCRIBED IN THE GENERAL REQUIREMENTS OF THE PROJECT MANUAL.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS AND INSTALLING SUCH MATERIALS SUPPLIED BY CLIENT OR CLIENT'S VENDOR.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED RESPONSIBILITY.
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION UNLESS NOTED OTHERWISE.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY CLIENT AND ARCHITECT.

PROJECT TEAM

TENANT: FLUX VIBES, LLC
14071 PEYTON DRIVE
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E: KSULLIVAN@FMGROUP.NET

LANDLORD: JOHN KATNIK
234 BEACH PLAZA, LP
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MEP ENGINEERING: ARDEBILI CONSULTING ENGINEERS
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SCOTTSDALE, AZ 85251
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F: 480.247.4993
E: OMID@ARDEBILI.COM

DEFERRED SUBMITTALS

- FIRE SPRINKLERS

SEPARATE SUBMITTAL

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO THE BUILDING DEPARTMENT & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER A SEPARATE PERMIT.

TITLE:

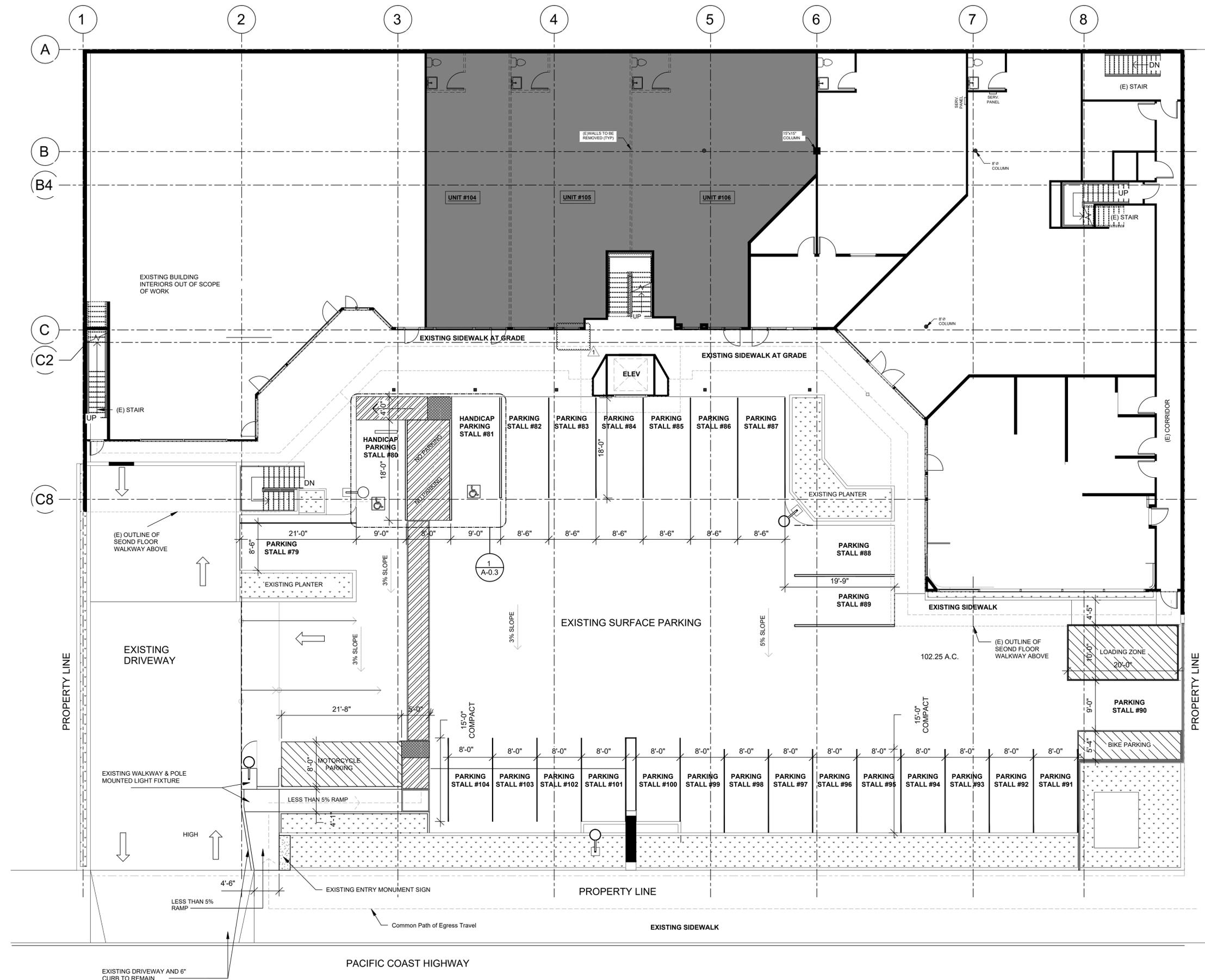
COVER SHEET

DATE:
09.18.2023

PROJECT NO.
23-123

SHEET NO.

G-0.0



PACIFIC PLAZA
234 PACIFIC COAST HWY
REDONDO BEACH, CA 90277

OWNER:
JOHN KATNIK

No.	Description	Date
1	PER PLANNING	03.28.2024

SITE PLAN



Project Number 2020 RB
Date 02-18-2024
Drawn By Author
Checked By Checker

A-0.1

Scale 1/8" = 1'-0"

1 SITE PLAN / PARKING PLAN
SCALE: 1/8" = 1'-0"



PACIFIC PLAZA
234 PACIFIC COAST HWY
REDONDO BEACH, CA 90277

OWNER:
JOHN KATNIK

No.	Description	Date
1	PER PLANNING	03.28.2024

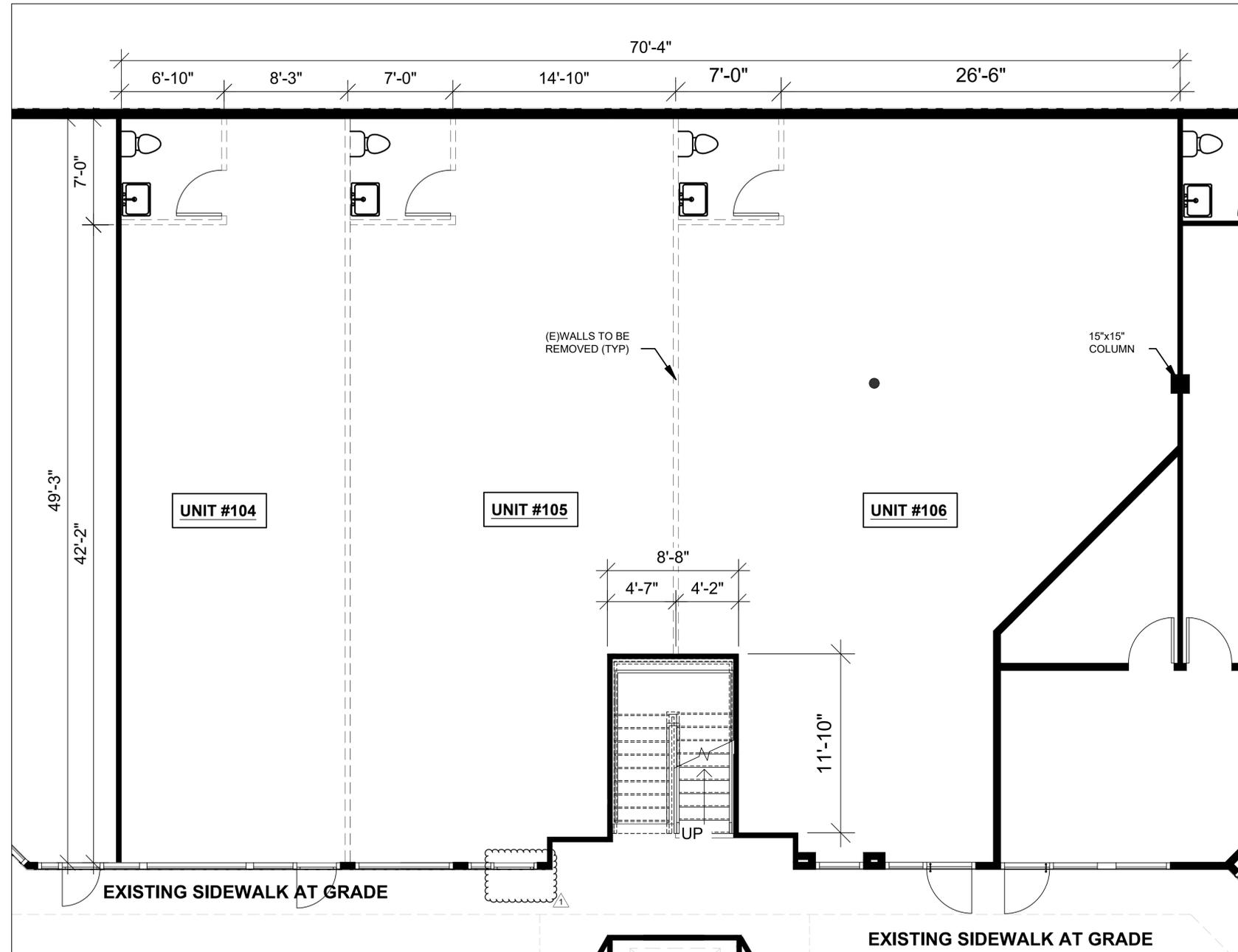
EXISTING DEMO PLAN



Project Number 2020 RB
Date 02-18-2024
Drawn By Author
Checked By Checker

D-0.1

Scale 1/4" = 1'-0"



① EXISTING / DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



TYPICAL INTERIOR NON-LOAD BEARING STUD WALLS - SLIP TRACK AT TOP

STUDS TO BE USED:				
SIZE:	SPACING:	ALLOWABLE HEIGHTS:	BOTTOM TRACK GAUGE:	TOP SLIP TRACK GAUGE (3" DEEP TRACK):
3 5/8" - 25 GA. STN	16"	15.4'	20 GA.	18 GA.
3 5/8" - 20 GA. STR	16"	17.0'	20 GA.	18 GA.
3 5/8" - 18 GA. HDS	16"	22.6'	20 GA.	18 GA.
6" - 20 GA. STR	16"	24.5'	20 GA.	18 GA.
6" - 18 GA. HDS	16"	33.6'	20 GA.	18 GA.

NOTES:

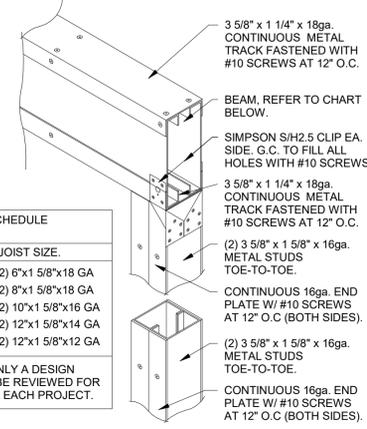
BUILDING CODE REQUIRES THAT INTERIOR PARTITION WALLS BE DESIGNED FOR A LATERAL LOAD OF 5 PSF. THE FOLLOWING GUIDELINES ARE BASED ON THIS LOAD. ALL STUDS GIVEN ARE ASSUMED TO BE EQUIVALENT TO THOSE MANUFACTURED BY DIETRICH INDUSTRIES, INC. ALL STUDS AND TRACKS ARE ASSUMED TO HAVE AN F_y=33.0 KSI. ALL STUDS ARE ASSUMED TO HAVE 5/8" GYP. BD. ON BOTH FACES FOR THE FULL HEIGHT OR ARE APPROVED WITH BRIDGING AS REQUIRED. DETAILS ARE PROVIDED TO ACCOMMODATE VERTICAL MOVEMENT AT THE TOP USING A 3" DEEP TRACK CONNECTION OR NO MOVEMENT. MAXIMUM HORIZONTAL DEFLECTION IS ASSUMED TO BE LIMITED TO H/240. PROVIDE LATERAL BRACING PER SCHEDULE.

- BOTTOM TRACK GAGES MAY BE SUBSTITUTED FOR TOP-SLIP TRACK GAGES IF STUDS ARE PERMANENTLY ATTACHED TO BOTH FLANGES OF THE TRACK WITH #10 SCREWS.
- ATTACH BOTTOM TRACK TO SLAB WITH HILTI. 1450P POWER DRIVEN FASTENER WITH 3/4"-1" EMBEDMENT.
- IF GYP. BD. IS ON ONE SIDE ONLY, ADD HORIZONTAL BRIDGING @ 5' - 0" O.C. VERTICALLY.
- IF YOU HAVE A CASE THAT DIFFERS FROM THE ABOVE, PLEASE CONTACT THE ARCHITECTS.

BOX BEAM SCHEDULE

KEY	SPAN	JOIST SIZE
B1	8'-0" - 11'-11"	(2) 6"x1 5/8"x18 GA
B2	12'-0" - 15'-11"	(2) 8"x1 5/8"x18 GA
B3	16'-0" - 19'-11"	(2) 10"x1 5/8"x16 GA
B4	20'-0" - 21'-11"	(2) 12"x1 5/8"x14 GA
B5	22'-0" - 23'-11"	(2) 12"x1 5/8"x12 GA

NOTE: THIS DETAIL IS ONLY A DESIGN GUIDELINE AND SHALL BE REVIEWED FOR ACTUAL BEAM SIZE FOR EACH PROJECT.



GENERAL NOTES - FLOOR PLAN

- G.C. TO VERIFY EXISTING FLOOR CONSTRUCTION CONDITION AND NOTIFY ARCHITECT OF ANY DISCREPANCY UPON DISCOVERY.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT. THE FACE OF GYPSUM BOARD SHALL BE ALIGNED W/ THE FACE OF THE EXISTING SURFACE.
- WHERE DEMOLITION OF CERTAIN ITEMS LEAVES PENETRATIONS IN EXISTING TO REMAIN FLOORS, WALLS, CEILING, ROOFS, ETC. PATCH SUCH PENETRATIONS AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION & STRUCTURAL REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL EXISTING DEMISING WALLS ARE DRYWALLED TO DECK.
- ALL EXTERIOR DOORS, EXTERIOR WINDOWS AND STOREFRONT SYSTEMS ARE EXISTING U.N.O.
- ALL DOORS ARE 4" OFF ADJACENT WALLS U.N.O. CONTRACTOR SHALL PROVIDE BACKING/ BLOCKING AT ALL WALL MOUNTED EQUIPMENT & ACCESSORIES.
- ALL ANGLES AT 45° OR 90° U.N.O.
- TAPE, BED, FLOAT & SAND GYP. BD. JOINTS. FINISH TO A LIGHT ROLLED TEXTURE AT ALL PAINTED AREAS. PAINT (1) COAT OF PRIMER & (1) COAT OF COLOR.

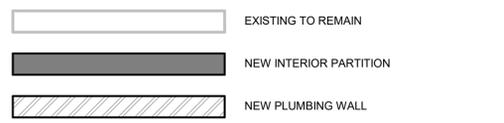
KEYNOTES - FLOOR PLAN

- EXISTING STOREFRONT SYSTEM & DOOR TO REMAIN.
- PROVIDE TACTILE EXIT SIGN, PROVIDE 18" x 18" CLEAR FLOOR SPACE FOR SIGN.
- TACTILE RESTROOM SIGN W/ 18" x 18" CLEAR FLOOR SPACE.
- POST INTERNATIONAL SIGN OF ACCESSIBILITY AT MAIN ENTRANCE.
- TENANT LEASE LINE
- G.C. TO PROVIDE WALL BLOCKING.
- MOP SINK - REFER TO PLUMBING
- NEW WATER HEATER - REFER TO PLUMBING
- FLOOR DRAIN - REFER TO PLUMBING
- NEW WASHER & VENTLESS DRYER
- AV EQUIPMENT RACK - SEE ELECTRICAL & ELEVATION.
- ADA COMPLIANT FLOW WATER DISPENSER, LOBBY RECEPTION DESK MAINTAINED DURING HOURS OF OPERATION AND CAN PROVIDE CUPS AND DISPENSE WATER AS NEEDED FOR GUESTS.
- EXISTING COLUMN
- ADD 1 LAYER 5/8" GYP. BD. TO SECOND FLOOR, IF NONE EXISTS
- EXTEND GYP. BD. TO DEMISING WALL. SEAL AGAINST WALL WITH ACOUSTIC SEALANT, FINISH PER PLAN.
- ADD 1 LAYER 5/8" GYP. BD. @ STAIRWELL WALL
- ADD 1 LAYER 5/8" GYP. BD. TO UNDERSIDE OF SECOND FLOOR @ EXISTING WALL WHERE REQUIRED
- EXISTING STOREFRONT DOOR TO BE LOCKED CLOSED & EXISTING EXTERIOR DOOR FULL TO BE REMOVED

- ◆# WALL TAG - SEE SHEET A1.1
- ⊗ WINDOW TAG - SEE SHEET A5.0
- ### DOOR TAG - SEE SCHEDULE ON SHEET A5.0
- XX-# EQUIPMENT TAG - SEE SCHEDULE ON SHEET A1.2
- XX-# MATERIAL TAG - SEE SCHEDULE ON SHEET A2.0

WALL LEGEND

- FRAMING DIMENSIONING NOTE:** (FOR WALL SECTIONS - SEE SHEET A1.1)
- ALL DIMENSIONS ARE TO FACE OF STUD AT FRAMED WALLS.
 - TYPICAL, U.N.O. AT MILLWORK LOW WALLS, DIMENSIONS ARE TO FACE OF FINISHED WALL, TYPICAL
 - ALL WALLS IN THE STUDIO ARE TO HAVE TYPE "XP" GYP. BD. (MOISTURE AND MILDEW RESISTANT).
 - ALL WALLS THROUGHOUT WET AREAS ARE TO HAVE 5/8" CEMENTITIOUS BOARD INSTALLED AT BOTTOM 12" OF WALL AND 5/8" MOLD, MILDEW & MOISTER RESISTANT PURPLE BOARD 12" A.F.F. TO CEILING.



I.C.C.E.S. EVALUATION REPORT NUMBERS

- ALL METAL STUD FRAMING SHALL BE ATTACHED WITH POWDER ACTUATED FASTENERS - ESR-2269
- METAL STUDS MUST CONFORM TO ESR-4943P
- SUSPENDED CEILINGS MUST CONFORM TO ESR-1222
- EXISTING ONE-HOUR RATED DEMISING WALL FRAMING & BATT INSULATION - FULL HEIGHT
- EXISTING EXTERIOR WALL FRAMING & BATT INSULATION. PATCH & REPAIR EXISTING GYP. BD. AS REQUIRED - FULL HEIGHT
- FURRED WALL - PARTIAL HEIGHT
- FURRED WALL - FULL HEIGHT
- PARTITION WALL - PARTIAL HEIGHT
- PARTITION WALL - FULL HEIGHT
- STUDIO SOUND WALL - FULL HEIGHT
- STUDIO SOUND WALL - FULL HEIGHT



PROJECT ADDRESS:
234 S. PACIFIC COAST HIGHWAY
UNITS 104, 105 & 106
REDONDO BEACH, CA

REVISIONS:

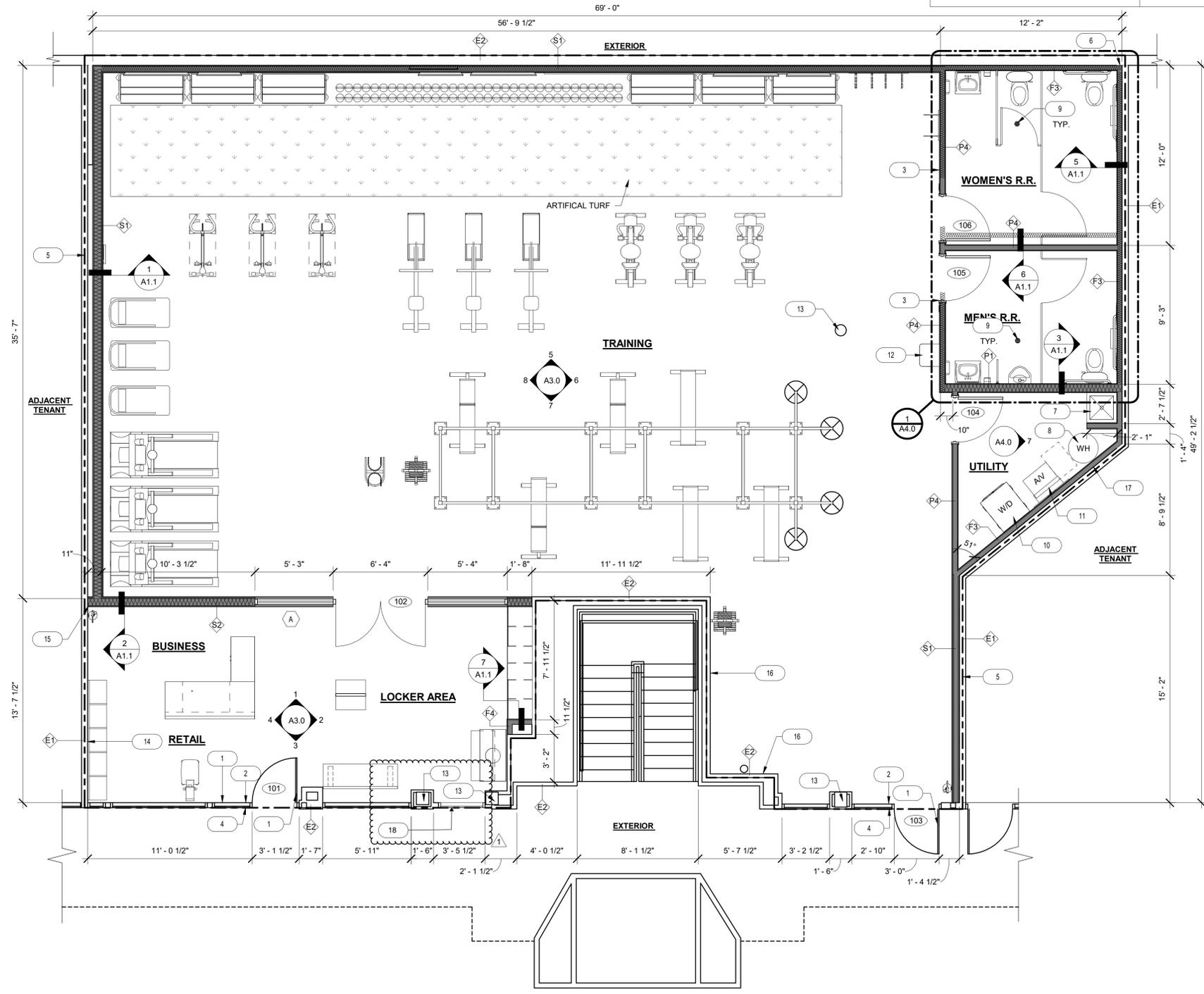
NO.	DESCRIPTION	DATE
1	PER PLANNING	03.28.2024

TITLE:
FLOOR PLAN

DATE:
09.18.2023

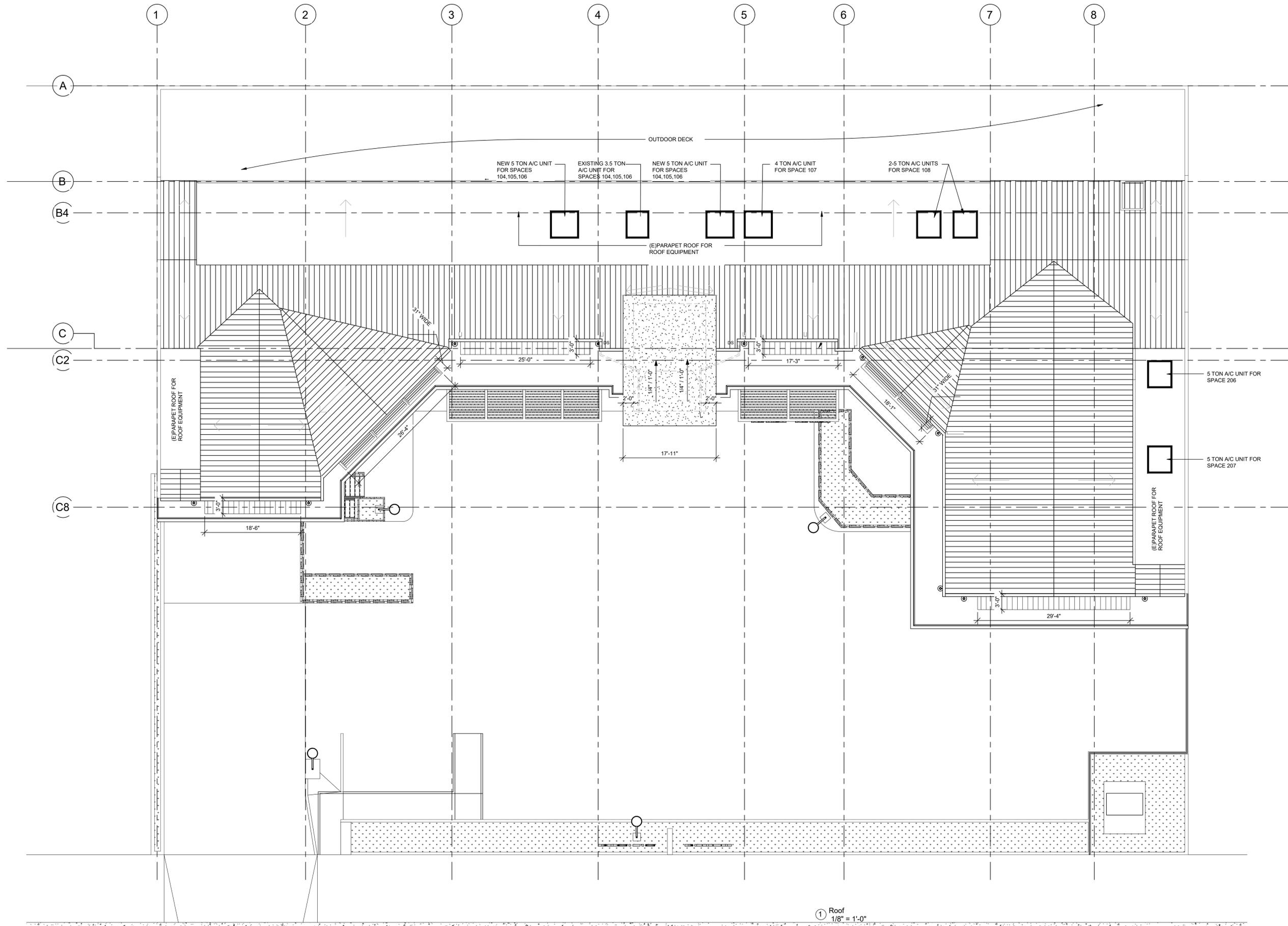
PROJECT NO.
23-123

SHEET NO.
A1.1



1 OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"





① Roof
1/8" = 1'-0"



PACIFIC PLAZA
234 PACIFIC COAST HWY
REDONDO BEACH, CA 90277
OWNER:
JOHN KATNIK

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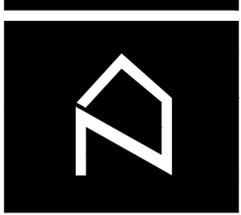
ROOF PLAN



Project Number 2023 RB
Date 02-18-2024
Drawn By Author
Checked By Checker

A-1.2

Scale 1/8" = 1'-0"

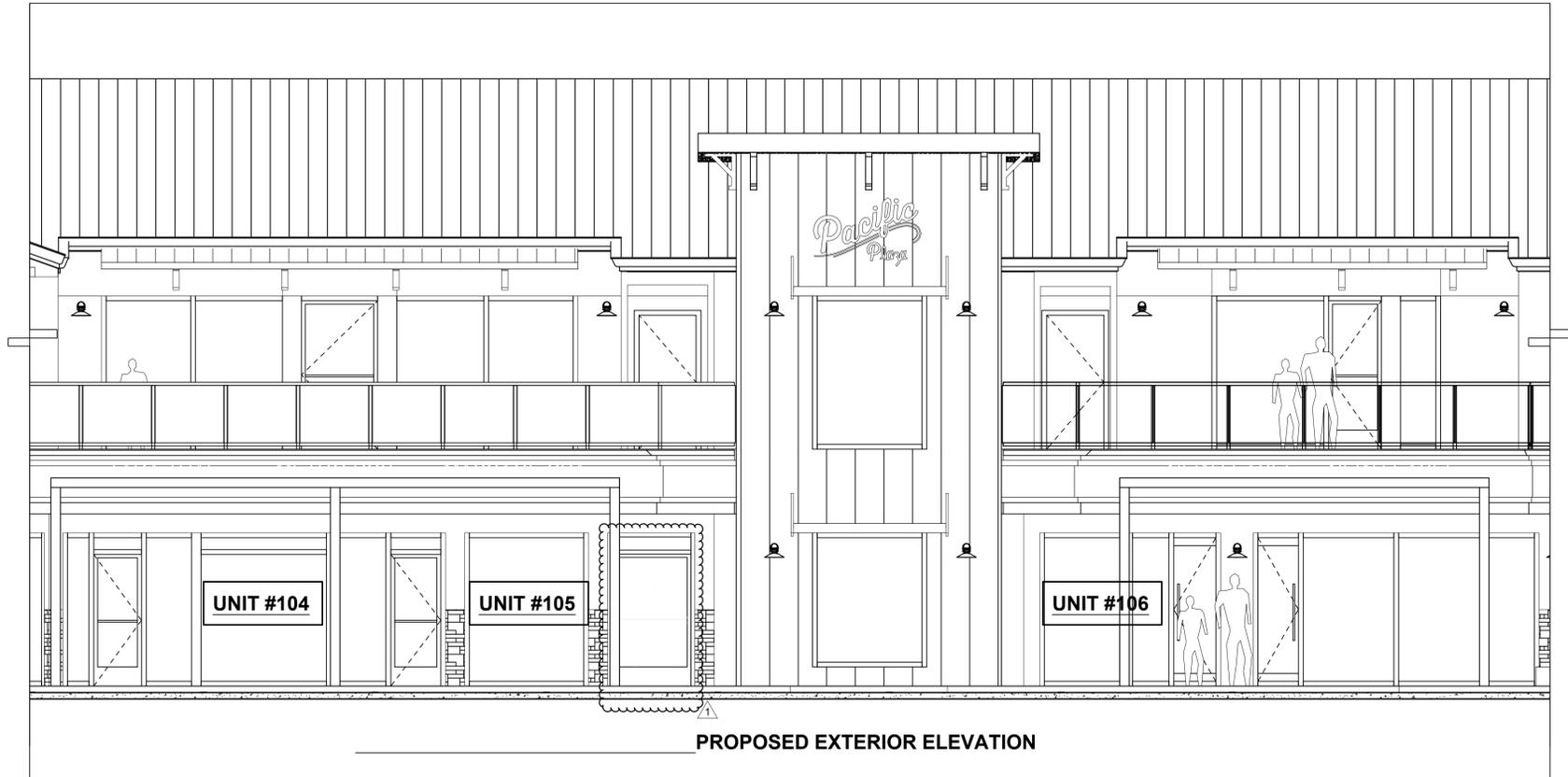


NOVUM
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PACIFIC PLAZA
234 PACIFIC COAST HWY
REDONDO BEACH, CA 90277
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No.	Description	Date
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PROPOSED EXTERIOR ELEVATION

FRONT ELEVATION



Project Number 2020 RB
Date 02-18-2024
Drawn By Author
Checked By Checker

A-1.3

Scale 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"