

**CITY OF REDONDO BEACH
PLANNING COMMISSION AGENDA
Thursday, December 19, 2024**

415 DIAMOND STREET, REDONDO BEACH

CITY COUNCIL CHAMBER

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 PM

**ALL PUBLIC MEETINGS HAVE RESUMED IN THE COUNCIL CHAMBER.
MEMBERS OF THE PUBLIC MAY PARTICIPATE IN-PERSON, BY ZOOM,
EMAIL OR eCOMMENT.**

Planning Commission meetings are broadcast live through Spectrum Cable, Channel 8, and Frontier Communications, Channel 41. Live streams and indexed archives of meetings are available via internet. Visit the City's office website at www.Redondo.org/rbtv.

TO WATCH MEETING LIVE ON CITY'S WEBSITE:

<https://redondo.legistar.com/Calendar.aspx>

*Click "In Progress" hyperlink under Video section of meeting

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TO JOIN ZOOM MEETING (FOR PUBLIC COMMENT ONLY):

Register in advance for this meeting:

[https://us02web.zoom.us/webinar/register/WN_s0F36v3HQ0WRWtCFU-7SLw#/registration]

After registering, you will receive a confirmation email containing information about joining the meeting.

If you are participating by phone, be sure to provide your phone # when registering. You will be provided a Toll Free number and a Meeting ID to access the meeting. Note; press # to bypass Participant ID. Attendees will be muted until the public participation period is opened. When you are called on to speak, press *6 to unmute your line. Note, comments from the public are limited to 3 minutes per speaker.

eCOMMENT: COMMENTS MAY BE ENTERED DIRECTLY ON WEBSITE AGENDA PAGE:

<https://redondo.granicusideas.com/meetings>

- 1) Public comments can be entered before and during the meeting.
- 2) Select a SPECIFIC AGENDA ITEM to enter your comment;
- 3) Public will be prompted to Sign-Up to create a free personal account (one-time) and then comments may be added to each Agenda item of interest.
- 4) Public comments entered into eComment (up to 2200 characters; equal to approximately 3 minutes of oral comments) will become part of the official meeting record. Comments may be read out loud during the meeting.

EMAIL: TO PARTICIPATE BY WRITTEN COMMUNICATION WITH ATTACHED DOCUMENTS BEFORE 3PM DAY OF MEETING:

Written materials that include attachments pertaining to matters listed on the posted agenda received after the agenda has been published will be added as supplemental materials under

the relevant agenda item. [PlanningRedondo@redondo.org]

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 PM

A. CALL TO ORDER

B. ROLL CALL

C. SALUTE TO THE FLAG

D. APPROVE ORDER OF AGENDA

E. BLUE FOLDER ITEMS - ADDITIONAL BACK UP MATERIALS

Blue folder items are additional back up material to administrative reports and/or public comments received after the printing and distribution of the agenda packet for receive and file.

E.1. [RECEIVE AND FILE BLUE FOLDER ITEMS- Placeholder for items received after the release of the agenda](#)

F. CONSENT CALENDAR

Business items, except those formally noticed for public hearing, or those pulled for discussion are assigned to the Consent Calendar. The Commission Members may request that any Consent Calendar item(s) be removed, discussed, and acted upon separately. Items removed from the Consent Calendar will be taken up under the "Excluded Consent Calendar" section below. Those items remaining on the Consent Calendar will be approved in one motion. The Chair will call on anyone wishing to address the Commission on any Consent Calendar item on the agenda, which has not been pulled by the Commission for discussion. Each speaker will be permitted to speak only once and comments will be limited to a total of three minutes.

F.1. [APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF DECEMBER 19, 2024](#)

F.2. [APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF JANUARY 18, 2024 AND FEBRUARY 15, 2024.](#)

G. EXCLUDED CONSENT CALENDAR ITEMS

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

This section is intended to provide members of the public with the opportunity to comment on any subject that does not appear on this agenda for action. This section is limited to 30 minutes. Each speaker will be afforded three minutes to address the Commission. Each speaker will be permitted to speak only once. Written requests, if any, will be considered first under this section.

I. EX PARTE COMMUNICATION

This section is intended to allow all officials the opportunity to reveal any disclosure or ex parte communication about the following public hearings.

J. PUBLIC HEARINGS

J.1. [Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service \(fitness studio\) in an approximately 2,600 square foot tenant space within an existing \(under construction\) mixed-use building \(Legado Redondo\) on property located at 1700 S. Pacific Coast Highway in a Mixed-Use \(MU-3\) zone.](#)

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PERSONAL IMPROVEMENT SERVICE (FITNESS STUDIO) WITHIN AN EXISTING (UNDER CONSTRUCTION) MIXED-USE BUILDING ON PROPERTY LOCATED IN THE MIXED-USE (MU-3) ZONE AT 1700 S. PACIFIC COAST HIGHWAY (CASE NO. CUP-2024-1674)

- J.2.** Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of A LIVE PERFORMANCE THEATER (Performance art facility) in an approximately 8,861 SQUARE FEET INTERIOR space within an existing multi-tenant PUBLIC-COMMUNITY FACILITY (medical offices and health-related facility) on property located at 514 N. PROSPECT AVENUE in a PUBLIC -COMMUNITY FACILITY (P-CF) zone.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652)

- J.3.** Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a massage business in an approximately 2,630 square foot tenant space within an existing multi-tenant commercial building on property located at 409 N. Pacific Coast Highway, Suite #100 in a Commercial (C-2A) zone.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT

SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667)

J.4. PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793)

K. ITEMS CONTINUED FROM PREVIOUS AGENDAS

L. ITEMS FOR DISCUSSION PRIOR TO ACTION

L.1. PLANNING COMMISSION NOMINATIONS AND ELECTION OF CHAIRPERSON AND SECRETARY FOR THE TERM OF DECEMBER 2024 THROUGH SEPTEMBER 2025

RECOMMENDATION

Staff recommendation:

1. The Chairperson opens nominations for positions of Chair and Secretary
2. The Chairperson closes nominations
3. The Chairperson calls for a motion
4. New Officers assume seats

M. ITEMS FROM STAFF

N. COMMISSION ITEMS AND REFERRALS TO STAFF

O. ADJOURNMENT

*The next meeting of the Redondo Beach ***** Commission will be a regular meeting to be held at *** p.m. on ***** , 2021, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach.*

It is the intention of the City of Redondo Beach to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the City Clerk's Office at (310) 318-0656 at least forty-eight (48) hours prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible. Please advise us at that time if you will need accommodations to attend or participate in meetings on a regular basis.

An agenda packet is available 24 hours at www.redondo.org under the City Clerk.



Administrative Report

E.1., File # PC24-2002

Meeting Date: 12/19/2024

TITLE

RECEIVE AND FILE BLUE FOLDER ITEMS- Placeholder for items received after the release of the agenda



Administrative Report

F.1., File # PC24-2001

Meeting Date: 12/19/2024

TITLE

APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF
DECEMBER 19, 2024



Administrative Report

F.2., File # PC24-2014

Meeting Date: 12/19/2024

TITLE

APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF JANUARY 18, 2024 AND FEBRUARY 15, 2024.

A. CALL TO ORDER

A Regular Meeting of the Redondo Beach Planning Commission was called to order by Chair Hazeltine at 6:30 PM, in the City Hall Council Chambers, 415 Diamond Street, Redondo Beach, California, and teleconference.

B. ROLL CALL

Commissioners Present: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine

Commissioners Absent: None

Officials Present: Sean Scully, Acting Community Development Director
Laura Diaz, Records Management Coordinator
Rosalia Vega, Administrative Specialist
Stacey Kinsella, Associate Planner
Cheryl Park, Assistant City Attorney

C. SALUTE TO THE FLAG

Commissioner Hazeltine led the Commissioners in a Salute to the Flag.

D. APPROVE ORDER OF AGENDA

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to approve the order of the agenda. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine
NOES: None
ABSENT: None

E. BLUE FOLDER ITEMS – ADDITIONAL BACK UP MATERIALS

E.1. RECEIVE AND FILE BLUE FOLDER ITEMS

Laura Diaz, announced Blue Folder Item received for Public Hearing Item No. J.1.

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to receive and file blue folder items. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine
NOES: None
ABSENT: None

F. CONSENT CALENDAR

F.1. APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF JANUARY 18, 2024

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments received and no Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

Motion by Commissioner Conroy, seconded by Commissioner Gaddis, to approve the Consent Calendar Items. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: None

G. EXCLUDED CONSENT CALENDAR ITEMS

None.

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments received and no Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

H.1. RECEIVE AND FILE PUBLIC WRITTEN COMMENTS ON NON-AGENDA ITEMS

I. EX-PARTE COMMUNICATION

Commissioner Boswell stated he spoke with one resident in close proximity to the project site.

Commissioner Craig stated he spoke with a business owner in the area.

Commissioner Conroy stated he communicated with the District 4 Councilmember.

Secretary Lamb stated she communicated with Chair Hazeltine and Associate Planner Kinsella.

Chair Hazeltine stated she communicated with staff, Commissioner Lamb and Mayor Brand.

J. PUBLIC HEARINGS

J.1. A PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION, A CONDITIONAL USE PERMIT, AND PLANNING COMMISSION DESIGN REVIEW FOR AN AUTOBODY SHOP WITHIN AN

EXISTING COMMERCIAL BUILDING ON PROPERTY LOCATED IN A COMMERCIAL (C-2) ZONE AT 1435 AVIATION BOULEVARD

Chair Hazeltine administered the Audience Oath for individuals wishing to address the Planning Commission on the following Public Hearing.

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to open the Public Hearing. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine
NOES: None
ABSENT: None

Associate Planner Kinsella provided the staff presentation regarding 1435 Aviation Boulevard. The PowerPoint presentation included the following details:

- Subject Site – Location, existing site development, and surrounding development
- Background and Project
- Business Operations
- Parking
- Noise Impact Study
- AACAP Consistency
- Conditional Use Permit (CUP) “Criteria”
- Planning Commission Design Review “Criteria”
- Staff Recommendation

Commissioner Boswell asked for clarification regarding the removal of the trees.

Associate Planner Kinsella spoke regarding the removal of the trees and stated she would gather additional information.

Commissioner Craig asked for clarification regarding the placement of air compressors, red curb parking zone and parking.

Associate Planner Kinsella answered questions and provided clarification.

Commissioner Conroy asked if there were any new or removed conditions with the new CUP and whether the owners are considering signage.

Associate Planner Kinsella communicated that there was no CUP associated with the property and stated the property had a legal nonconforming status. She spoke regarding signage.

Secretary Lamb asked for clarification regarding environmental requirements related to refuse.

Associate Planner Kinsella provide clarification regarding refuse.

Commissioner Boswell asked whether rear residential neighbors are in opposition of the project site and the requirements of the mechanical ventilation.

Commissioner Light asked how compliance would be enforced at the project site.

Associate Planner Kinsella spoke regarding the owner's intent to communicate with rear residential neighbors, mechanical ventilation requirements, and process of enforcement and complaints.

Secretary Lamb thanked staff for their hard and efforts related to the project.

Chair Hazeltine opened the floor to public comments.

1. Michael Badawy, Applicant, spoke regarding stucco and aesthetics of the building and impacts of noise.

Commissioner Boswell asked for clarification regarding the intent of the facility.

Michael Badawy, Applicant, spoke regarding the proposed project site.

Secretary Lamb asked for clarification regarding how the applicants existing facilities and this new facility assist, work, and relate to each other.

1. Michael B., Applicant, spoke regarding the three facilities relationships and allocation of resources.

Commissioner Conroy spoke regarding the aesthetic of the facility and asked for clarification regarding the sound study.

Commissioner Light asked for clarification regarding the sound study.

Alex (Noise Consultant) answered questions and spoke regarding the sound study.

2. George Barks, spoke in support of the proposed project.
3. David Donell spoke in support of the proposed project.
4. Thomas Fitzgivens spoke in support of the proposed project.
5. Peter Marzekian spoke in support of the proposed project.

Secretary Lamb asked for the status of the parkway and the requirements.

Associate Planner Kinsella spoke regarding crafting the conditions concerning the parkway and the other requirements.

Discussion ensued regarding the overflow of cars, municipal code provisions related to onsite parking for the business and the aesthetics of the body shop.

The applicant and Staff responded to questions raised by the Commissioners concerning the topics discussed above.

Staff confirmed there were no eComments received and no Public Comments.

Seeing no additional requests to speak, Chair Hazeltine closed the floor to public comments.

Motion by Commissioner Conroy, seconded by Commissioner Gaddis, to close the public hearing. Motion carried unanimously, with no objection.

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: None

Chair Hazeltine requested two or three trees on the parkway fronting the project site along and Aviation Blvd.

Secretary Lamb spoke regarding the findings related to the project.

Motion by Secretary Lamb, seconded by Commissioner Craig, to approve A Resolution of the Planning Commission of the City of Redondo Beach, California, Approving an Exemption Declaration, A Conditional Use Permit, and Planning Commission Design Review for an Autobody Shop within an Existing Commercial Building on Property Located in a Commercial (C-2) Zone at 1435 Aviation Boulevard, as amended with new conditions to address overflow parking and new parkway trees. Motion carried unanimously, with no objection.

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: None

K. ITEMS CONTINUED FROM PREVIOUS AGENDAS

None.

L. ITEMS FOR DISCUSSION PRIOR TO ACTION

None.

M. ITEMS FROM STAFF

Acting Community Development Director Scully announced an upcoming General Plan Advisory Committee meeting on January 31, 2024 at 6:00 PM at the second floor of the Library.

N. COMMISSION ITEMS AND REFERRALS TO STAFF

Secretary Lamb asked for an update on prior developments such as Grub House, Galleria, Catalina, and BCHD.

Discussion ensued regarding status of prior developments.

Acting Community Development Director Scully and staff provided an update/status on the projects and stated he cannot speak on BCHD.

O. ADJOURNMENT

Motion by Secretary Lamb, seconded by Commissioner Craig, to adjourn the meeting at 8:10 PM. Motion carried unanimously, with no objection.

AYES: Boswell, Conroy, Craig, Gaddis, Light, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: None

The next meeting of the Redondo Beach Library Commission will be a Regular Meeting to be held at 6:30 PM on February 15, 2024, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach, California, and via teleconference.

All written comments submitted via eComment are included in the record and available for public review on the City website.

Respectfully submitted:

Sean Scully
Acting Community Development Director

A. CALL TO ORDER

A Regular Meeting of the Redondo Beach Planning Commission was called to order by Chair Hazeltine at 6:30 PM, in the City Hall Council Chambers, 415 Diamond Street, Redondo Beach, California, and teleconference.

Chair Hazeltine called the meeting to order. Motion carried unanimously, with no objection:

AYES: Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Boswell and Light

B. ROLL CALL

Commissioners Present: Boswell (arrived at 6:34 P.M.), Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

Commissioners Absent: Boswell and Light

Officials Present: Sean Scully, Acting Community Development Director
Chery Park, Assistant City Attorney
Antonio Gardea, Senior Planner
Ryan Liu, Transportation Engineer
Rosalia Vega, Administrative Specialist
Jamaal Brown, Planning Analyst

C. SALUTE TO THE FLAG

Chair Hazeltine led the Commissioners in a Salute to the Flag and spoke in memory of former Mayor Brand.

D. APPROVE ORDER OF AGENDA

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to approve the order of the agenda. Motion carried unanimously, with no objection:

AYES: Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Boswell and Light

E. BLUE FOLDER ITEMS – ADDITIONAL BACK UP MATERIALS

E.1. RECEIVE AND FILE BLUE FOLDER ITEMS

Acting Community Development Director announced revisions to the proposed resolution and PowerPoints related to Public Hearing Agenda Item No. J.1.

Motion by Commissioner Craig, seconded by Commissioner Gaddis, to receive and file Blue Folder Items. Motion carried unanimously, with no objection:

AYES: Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Boswell and Light

F. CONSENT CALENDAR

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments or Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

F.1. APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF FEBRUARY 15, 2024

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to approve the Consent Calendar Item. Motion carried.

AYES: Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Boswell and Light

G. EXCLUDED CONSENT CALENDAR ITEMS

None.

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

Commissioner Boswell arrived at 6:35 P.M.

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments or Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

H.1. RECEIVE AND FILE PUBLIC WRITTEN COMMENTS ON NON-AGENDA ITEMS

I. EX-PARTE COMMUNICATION

Commissioner Gaddis announced he spoke with Councilmembers Loewenstein and Obagi and members of the public.

Commissioner Conroy announced he spoke with Chair Hazeltine and members of the public.

Secretary Lamb announced she spoke with Senior Planner Gardea and Chair Hazeltine.

Chair Hazeltine announced she spoke with City staff, Commissioner Conroy, Secretary Lamb, and members of the public.

J. PUBLIC HEARINGS

J.1. PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION, PLANNING COMMISSION DESIGN REVIEW, AND COASTAL DEVELOPMENT PERMIT TO ALLOW THE RENOVATION AND CONSTRUCTION OF AN APPROXIMATELY 4,600 SQUARE FOOT ADDITION TO AN EXISTING 6,487 SQUARE-FOOT COMMERCIAL BUILDING ON PROPERTY LOCATED IN A COASTAL COMMERCIAL (C-5A) ZONE, IN THE COASTAL ZONE

Chair Hazeltine administered the Audience Oath for individuals wishing to address the Planning Commission on the following Public Hearing.

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to open the Public Hearing. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Light

Senior Planner Gardea provided the staff presentation regarding the Coastal Development Permit and Planning Commission Design Review entitlement for the proposed addition and redevelopment of an existing bank building to be converted into a medical office located in a Coastal Commercial (C-5A) Zone. The PowerPoint presentation included the following details:

- Subject Site
- Background
- Site Plan
- Floor Plans
- Elevations
- Rendering
- Land Use Entitlements
- Staff Recommendation

Senior Planner Gardea spoke regarding revisions related to the findings of the proposed resolution and the landscaping of the property.

Commissioner Gaddis expressed concern regarding the intersection of the subject site and inquired whether staff had a plan to address his concern and whether the intersection has been measured.

Transportation Engineer Liu spoke regarding the background of the subject site, traffic flow, and letter grade of the intersection.

Commissioner Craig expressed concern regarding the cycles of light timing and traffic flow and impact.

Secretary Lamb asked for clarification regarding traffic flow, gaps, and prior traffic violations at location.

Discussion ensued regarding the intersection by the post office, conditions of approval, design review, easements, current structure, legal non-conforming sign, and the municipal code requirement regarding trees and parkway landscaping.

Acting Community Development Director Scully, Senior Planner Gardea, and Transportation Engineer Liu answered the commissioners' questions and provided clarification.

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments or Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

The applicant/architect, provided a presentation describing the architecture, design considerations, street tree planting, site landscaping, parking, and the location on on-site drainage swales, and the trash enclosure. The PowerPoint presentation included the following details:

- Building Structure
- Renderings
- Parking
- Landscape
- Easement
- Site Drainage/Bio-Swale
- Traffic

Chair Gaddis asked if the applicant had a design style and whether building materials were the same as his other designs that are more professional office type structures. He added that he wasn't aware of medical offices with so many windows? Also asked if the proposed design was similar to the architect's headquarters located in Manhattan Beach.

The applicant/architect, stated he did have a design style and spoke regarding the building materials used at his headquarters and proposed at the project site.

Commissioner Conroy asked for clarification regarding the plan for the sign.

The architect/applicant, stated he would like to keep and utilize the sign.

Discussion ensued regarding the usage and regulations of the sign (both the existing legal nonconforming pole sign and future building signage), building structure design and elevation, rendering of the north face driveway area, plan for the asphalt, local coastal programs (LCP) consistency, solar panels, and construction time.

Chair Hazeltine opened the floor to public comments.

Staff confirmed there were no eComments or Public Comments.

Seeing no requests to speak, Chair Hazeltine closed the floor to public comments.

Motion by Commissioner Craig, seconded by Commissioner Gaddis, to close the Public Hearing. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Light

Secretary Lamb spoke regarding specific key findings identified in the resolution.

Senior Planner Gardea and Transportation Engineer Liu spoke regarding revisions related to the findings of the proposed resolution.

Chair Hazeltine spoke regarding the importance of California Native landscaping and requested "California" be added to native landscaping, appropriate native trees be planted along the un-used existing driveway, and a bioswale be included.

Senior Planner Gardea explained landscaping related to the public's right of way.

Discussion ensued regarding the amended revisions and requirements for public hearing notices and publication requirements.

Motion by Commissioner Craig, seconded by Commissioner Gaddis, to approve A Resolution of the Planning Commission of the City of Redondo Beach Adopting an Exemption Declaration and Approving the Request for Planning Commission Design and Review and a Coastal Development Permit to Allow the Construction of an Addition to an Existing Commercial Building on Property Located Within the Commercial (C-5A) Zone in the Coastal Area at 1217 N. Catalina Avenue (Case No. CUP-2023-04 CDP-2023-12), as amended. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine

NOES: None

ABSENT: Light

PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

Chair Hazeltine moved to reopen public participation on non-agenda items. Motion carried unanimously, with no objection:

AYES: Boswell, Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine
NOES: None
ABSENT: Light

Chair Hazeltine opened the floor to public comments.

- 1. Realtor representing property at 124 N. Catalina spoke regarding 124 and 126 N. Catalina Ave.

Staff confirmed there were no additional Public Comments.

Seeing no additional requests to speak, Chair Hazeltine closed the floor to public comments.

K. ITEMS CONTINUED FROM PREVIOUS AGENDAS

None.

L. ITEMS FOR DISCUSSION PRIOR TO ACTION

None.

M. ITEMS FROM STAFF

Acting Community Development Director Scully spoke regarding the General Plan Update.

Assistant City Attorney Park spoke regarding the City’s official publication requirements for accommodating public hearing notices as required per the City’s RBMC.

N. COMMISSION ITEMS AND REFERRALS TO STAFF

Chair Hazeltine requested a referral to Public Works regarding trees and native plants in the parkway and adding it to the list created in December.

O. ADJOURNMENT

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to adjourn the meeting at 8:40 PM. Motion carried unanimously, with no objection.

AYES: Boswell, Conroy, Craig, Gaddis, Secretary Lamb and Chair Hazeltine
NOES: None
ABSENT: Light

The next meeting of the Redondo Beach Planning Commission will be a Regular Meeting to be held at 6:30 PM on March 21, 2024, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach, California, and via teleconference.

All written comments submitted via eComment are included in the record and available for public review on the City website.

Respectfully submitted:

Sean Scully
Acting Community Development Director



Administrative Report

J.1., File # PC24-2017

Meeting Date: 12/19/2024

TO: PLANNING COMMISSION
FROM: ANDREW SVITEK, SENIOR PLANNER

TITLE

Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service (fitness studio) in an approximately 2,600 square foot tenant space within an existing (under construction) mixed-use building (Legado Redondo) on property located at 1700 S. Pacific Coast Highway in a Mixed-Use (MU-3) zone.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PERSONAL IMPROVEMENT SERVICE (FITNESS STUDIO) WITHIN AN EXISTING (UNDER CONSTRUCTION) MIXED-USE BUILDING ON PROPERTY LOCATED IN THE MIXED-USE (MU-3) ZONE AT 1700 S. PACIFIC COAST HIGHWAY (CASE NO. CUP-2024-1674)

EXECUTIVE SUMMARY

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a personal improvement service (fitness studio) in an approximately 2,600 square foot tenant space within an under construction mixed-use building, Legado Redondo. The business would occupy a single tenant space. The occupancy for this business will not be permitted unless and until all conditions and settlement agreements with the greater Legado Redondo project have been complied with.

The proposed fitness studio will offer 45-minute pilates classes with 15-minute breaks to allow for students to switch classes without congestion in the studio. The hours of operation will be from 5:00am to 8:00pm Monday through Friday seven days a week. The interior layout will consist of an open workout floor area of approximately 1,800 square feet, that includes sixteen (16) different workout stations, as well as an office area, locker room, electrical room, and restrooms off a side corridor from the entrance (approximately 600 square feet), and a reception area (approximately 200 square feet). An instructor will rotate around the workout stations, assisting multiple stations at once.

There will be one (1) instructor and 16 students in the studio during any given class period. There will also be (1) clerk/check-in staff person. Interior tenant improvements are proposed for the new business. No changes to the exterior of the building are proposed (exterior signage will be submitted under a separate application). This will be the sixth pilates studio location for the Studio (mdr) company, which are all located in neighboring communities.

BACKGROUND

Existing Site, Surroundings, Zoning, and Project Description

The 4.3-acre site is located on the northeast corner of the intersection of Pacific Coast Highway and Palos Verdes Boulevard. The mixed-use building, Legado Redondo is currently under construction with an expected completion date of mid-2025. The building is five stories (3 above grade) with podium parking and has 115 residential units above approximately 15,713 square feet of ground floor commercial space (consisting of four retail spaces and one commercial office space). The proposed fitness studio will be located along the Pacific Coast Highway frontage, with unknown future tenants for the remaining three tenant spaces (one space to the west and two to the east).

The properties to the north are zoned in RMD (Multiple-Family Residential), to the west C-4A (Commercial), to the east MU-3A (Mixed-Use), and to the south is the City of Torrance. The property to the north is developed with multi-family residences. The properties across Pacific Coast Highway to the south are developed with multi-family residences. The properties to the west, across Palos Verdes Boulevard, are developed with a restaurant building (Fatburger) and a surface parking lot.

As shown in the shared parking analysis (Attachment #6), the property is served by 321 parking spaces, of which 233 are residential reserved spaces and 88 are shared spaces (residential guest, commercial, and live/work). The parking spaces are located inside the podium garage. Per RBMC, this fitness studio requires 10 parking spaces, which is calculated at 1 space per employee (2 employees) and 1 space per every 2 students (16 students). Per the shared parking analysis that was approved with the Legado project the commercial tenant spaces were allocated a parking allowance of 1 space per 250 sf. The proposed tenant space is 2,600 sf. Utilizing the parking generation rate of 1 space per 250 sf, the space is allocated 10 parking spaces. The proposed use, as conditioned, complies with the parking per the current RBMC parking regulations and with the Legado conditions as approved by the City Council.

The applicant intends to remodel the interior of the tenant space, creating a large exercise area off the lobby and a separate hallway leading to a small locker room, bathrooms, an electrical room and a private office. The front lobby will have a reception area with a counter and a display shelf for incidental retail. No changes to the exterior of the building are proposed (business sign will be under a separate permit).

ANALYSIS

In accordance with Section 10-2.910 of the Redondo Beach Municipal Code, personal improvement services which are greater than 2,000 square feet require a Conditional Use Permit in the Mixed Use

(MU-3) zone. The purpose of the conditional use permit (CUP) is to place conditions on the operation of the business so that it does not adversely impact surrounding properties. Potential issues that may arise from a fitness studio operation are parking and noise impacts.

Parking

The mixed-use building includes 321 parking spaces (Attachment #6), which are allocated between the residential reserved spaces (233 spaces) and shared spaces between residential guest, commercial spaces, live/work spaces(88 spaces). Per Municipal Code Section 10-2.1706 related to commercial parking regulations, a personal improvement service use requires one (1) parking space per employee, plus one (1) parking space per each two (2) students. Based on the proposed operation plan this use is required to provide 10 parking spaces. Per the shared parking analysis approved as part of the Legado project, Per the approved Legado's project shared parking analysis, the subject tenant space for the proposed fitness studio is allocated a total of 10 parking spaces at the standard retail parking ratio of one (1) parking space per 250 square feet of gross floor area. Based upon both the current RBMC parking requirements for this use and the approved shared parking analysis for the approved Legado project this project meets all applicable parking requirements. In addition, classes will be staggered by 15 minutes to allow students to leave and arrive without overlap. Maintenance and janitorial services are anticipated to occur after regular business hours and should not interfere with the routine operations of the business. Although not factored into the parking analysis the business is also expected to have some walk-in business from residents in the building and from students who park elsewhere in Riviera Village.

Based on the proposed business operation, and particularly the extended hours of operation (early morning and late evening hours), and the fact that the required and allocated parking spaces are compliant with both the municipal code and the approved Legado project, parking is sufficient. In the future, as necessary, there will be an opportunity review future tenants based on compatible hours of operation to minimize overlapping peak hours of operation in the event that a future tenant is required by the RBMC to provide more than 1 space per 250 sf. Based upon the project's compliance with RBMC parking standards and the parking allocated per the Legado entitlement, anticipated staggered peak times for possible future commercial tenants, the allocated parking is not anticipated to be an issue.

Noise

A Noise Isolation Report was prepared and is attached (Attachment 5). The tenant improvement work must comply with the recommendations outlined in the report. The report specifies sound control designs within the interior walls to prevent noise impacts on the adjacent commercial tenant spaces. There will also be sound attenuation on the ceiling to ensure potential sound impacts from the proposed use will be reduced to acceptable levels. All business activities will occur within the tenant space inside the building with no permissible outdoor activities. Entry doors will remain closed at all times. The amplified sound is limited to the maximum permissible by the City's Noise Ordinance which prescribes specific noise limits based on specific land uses for both interior and exterior (at the property line). In the case of this application there will be limits on noise towards the adjacent commercial spaces and the residential uses above the subject tenant space. Per the City's Noise Chapter limits at the PL with the adjacent uses our outlined below:

- Commercial Noise Limits:
 - 10 PM to 7 AM - 60 dBA
 - 7 AM to 10 PM - 65 dBA
- Residential Noise Limits:
 - 10 PM to 7 AM - 55 dBA
 - 7 AM to 10 PM - 60 dBA

Based on the incorporation of appropriate sound control measures it is anticipated that there will not be any noise impacts to any of the other commercial tenant spaces or the residential units on the floors above. It is also important to note that The Legado is a unified development with a property management company that will be tasked with responding to any issues that could arise between various commercial and residential tenants of the building. In the event that a credible noise complaint is filed with the City, the procedures pursuant to Article 2 Noise Measurement Procedures within Chapter 24 Noise Regulations would be executed by the City's Code Enforcement Division.

Conditional Use Permit

Pursuant to Redondo Beach Municipal Code Section 10-2.2506, the proposed fitness studio requires Planning Commission approval. The Conditional Use Permit serves to ensure that certain uses possessing unique characteristics will not adversely affect surrounding uses and properties, nor disrupt the orderly development of the community. For approval of the project, the Planning Commission must make the following findings in the affirmative. The following italicized text is the specific response to the individual criteria:

- a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.
The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The personal improvement service use will be housed within a commercial tenant space within a newly built mixed-use building. The proposed use is in conformity with the General Plan land use designation of Mixed Use (MU-3) which allows all C-2 commercial uses, which include "personal services and similar uses". The proposed personal improvement service as conditioned, will not generate excessive noise and is in conformity with City's Noise Element and RBMC Noise requirements. The parking spaces provided comply with the minimum number required by code and per the approved Legado entitlement.
- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.
The site is directly adjacent to Pacific Coast Highway and Palos Verdes Boulevard, both major arterial streets, and is accessed by existing two-way driveways from both frontages that comply with RBMC driveway standards. Pedestrian access is provided by an existing ADA compliant walkway from the public sidewalk on Pacific Coast Highway to the building.

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The fitness studio will operate within a ground level commercial tenant space that will be sound-proofed to prevent noise impacts on adjacent commercial tenants on either side and residences above. This portion of the mixed-use building is one story with a pedestrian plaza directly above the commercial spaces. There are no openings to any other sides of the building except for the front entryway fronting on Pacific Coast Highway. The commercial portion of the mixed-use building meets the required 20-foot setback to the adjacent residentially zoned properties as required by the applicable provisions of the RBMC. Adequate parking exists on site for the proposed personal improvement service use. No exterior changes planned (a business sign that will be under a separate permit).

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:
- a. Additional setbacks, open spaces, and buffers;
 - i. *The mixed-use building is in compliance with the additional rear setback requirement of 20 feet on the north side as the property to the north is residentially zoned. The tenant space is on the ground level of a multi-story building, with a parking garage making up most of the ground level between the tenant space and the north edge of the building, which is adjacent to another residential building. In addition, there are several levels of residential units above the ground level commercial space. The only openings to the tenant space are to the south along the Pacific Coast Highway frontage. Therefore, the fitness studio is adequately buffered from adjacent properties.*
 - b. Provision of fences and walls;
 - i. *Not applicable. Existing 8-foot walls exist between the subject property and adjacent residential uses.*
 - c. Street dedications and improvements, including service roads and alleys;
 - i. *A change in use does not trigger street dedications. Improvements along the frontages of the subject property (Pacific Coast Highway and Palos Verdes Boulevard) are consistent with Caltrans and City standards, respectively, as any dedications were acquired with the approval of the Legado project.*
 - d. The control of vehicular ingress, egress, and circulation;
 - i. *Existing two-way access driveways from Pacific Coast Highway and Palos Verdes Boulevard comply with Zoning Ordinance and Public Works standards.*
 - e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. *Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*

- f. Provision of landscaping and the maintenance thereof;
 - i. *Landscaping per the approved Legado project is to remain.*
- g. The regulation of noise, vibration, odor and the like;
 - i. *An acoustical analysis was required to ensure the amplified music that supports the fitness studio would not negatively impact other commercial uses in the building, the residential units located above within the mixed-use building and the multi-family property to the north. Conditions of approval have been added to incorporate the recommendations from the acoustical analysis that include, requiring doors to be closed during all operating hours, installation of additional internal walls with sound attenuation elements between the proposed tenant space and adjacent commercial tenants to either side and an internal ceiling with sound attenuation elements between the tenant space and residential units above.*
- h. Requirements for off-street loading facilities;
 - i. *As a service business the fitness studio will have very limited, if any, retail operations and therefore will not require the regular use of loading facilities. However, as shown on the site plan, there is designated loading zone within the southeastern area of the ground level of the parking garage which can be used for any loading purposes.*
- i. A time period within which the proposed use shall be developed;
 - i. *The proposed tenant improvement will comply with required building plan check and inspections schedules.*
- j. Hours of permitted operation and similar restrictions;
 - i. *Hours of operation will be from 5am to 8pm seven days per week, with early morning and evening times to accommodate working schedules of students. This will further reduce any potential parking concerns as the fitness studio will be operating when some of the other commercial tenants will be closed.*
- k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. *Not applicable. No billboards are located on this subject property.*
- l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. *The conditions of approval address all noted issues of concern, namely potential parking and noise impacts resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.*

The project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of

commercial services which provide for the needs of current and future residents. The fitness studio will be of service to local residents. No additional buffers or setbacks are warranted as additional sound attenuation conditions are required and there is an existing 20-foot setback from the adjacent residential uses to the north. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the fitness studio is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed fitness studio. Additional conditions of approval have been added that regulate the following:

- Hours of operation that include early and late class times to serve students during times when many other types of commercial uses will not be open;*
- Maximum number of instructors and students in the fitness studio at any given time;*
- Class registration to be done primarily online to limit the number of students per class;*
- Classes to be staggered by a minimum of 15 minutes;*
- All activities to be conducted exclusively within the interior of the tenant space;*
- Entry doors to remain closed during class times;*
- Sound-proofing shall be required.*

Based on a review of the plans by the Planning Division, approval of the project is recommended.

ENVIRONMENTAL STATUS

The proposed project is Categorically Exempt from the preparation of environmental analyses, pursuant to Sections 15301(a) (Existing Facilities) of the California Environmental Quality Act (CEQA). This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

CONCLUSION

Staff recommends that the Planning Commission approve the Exemption Declaration and grant the Conditional Use Permit subject to the findings and conditions contained within the attached draft resolution.

Prepared by:

Approved by:

Andrew Svitek
Senior Planner

Sean Scully
Planning Manager

Attachments:

1. Exemption Declaration
2. Draft Resolution
3. CUP Application



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: December 12, 2024

PROJECT ADDRESS: 1700 S. Pacific Coast Highway

PROPOSED PROJECT: Consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service in an approximately 2,600 square foot tenant space within an existing mixed-use building on property located in a Mixed-Use (MU-3) zone

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

Section 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA) states, in part, that the minor alteration or use of an existing structure involving no expansion does not have a significant effect upon the environment and is categorically exempt from environmental review. This finding is supported by the fact that the proposed project is a new business locating within a commercial tenant space located within an existing mixed-use building. The project does not propose any floor area expansion of the building, and the tenant improvements will be limited to interior renovations within the existing building, consistent with the type of projects specified as exempt under this section.

The subject site is not located within an area designated as an environmental resource of hazardous or critical concern, or within the California Coastal Zone, or within an officially designated, state scenic highway, or within a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.

Andrew Svitek

Andrew Svitek
Senior Planner

RESOLUTION NO. 2024-12-PCR-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PERSONAL IMPROVEMENT SERVICE (FITNESS STUDIO) WITHIN AN EXISTING MIXED-USE BUILDING ON PROPERTY LOCATED IN THE MIXED-USE (MU-3) ZONE AT 1700 S. PACIFIC COAST HIGHWAY (CASE NO. CUP-2024-1674)

WHEREAS, an application was filed on behalf of the owner and tenant of property located at 1700 S. Pacific Coast Highway for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service within a 2,600 square foot tenant space in an under construction mixed-use building, Legado Redondo, on property located in a Mixed Use (MU-3) zone;

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinance by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet of the exterior boundaries of the subject property; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other interested parties at the public hearing held on the 19th day of December, 2024 with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-2.910 of the Redondo Beach Municipal Code, personal improvement services which are greater than 2,000 square feet are conditionally permitted within the Mixed Use (MU-3) zone.
2. In accordance with Section 10-2.2506(b) of the Redondo Beach Municipal Code, a Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
 - a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The personal improvement service use will be housed within a commercial tenant space within a newly built mixed-use building. The proposed use is in conformity with the General Plan land use designation of Mixed Use (MU-3) which allows all C-2 commercial uses, which include “personal services and similar uses”. The proposed personal improvement service as conditioned, will not generate excessive noise and is in conformity with City’s Noise Element and RBMC Noise requirements. The parking spaces provided comply with the minimum number required by code and per the approved Legado entitlement.

- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.

The site is directly adjacent to Pacific Coast Highway and Palos Verdes Boulevard, both major arterial streets, and is accessed by existing two-way driveways from both frontages that comply with RBMC driveway standards. Pedestrian access is provided by an existing ADA compliant walkway from the public sidewalk on Pacific Coast Highway to the building.

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The fitness studio will operate within a ground level commercial tenant spaces that will be sound-proofed to prevent noise impacts on adjacent commercial tenants on either side and residences above. Directly to the rear and north of the tenant space is the parking garage. There are no openings to any other sides of the building except for the front entryway fronting on Pacific Coast Highway. The commercial portion of the mixed-use building meets the required 20-foot setback to the adjacent residentially zoned properties as required by the applicable provisions of the RBMC. Adequate parking exists on site for the proposed personal improvement service use. No exterior changes are planned (a business sign will be submitted under a separate permit).

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:

- a. Additional setbacks, open spaces, and buffers;

- i. *The mixed-use building is in compliance with the additional rear setback requirement of 20 feet on the north side as the property to the north is residential zoned. The tenant space is on the ground level of a multi-story building, with a parking garage making up most of the ground level between the tenant space and the north edge of the building. The adjacent property to the north is development with multi-family residential buildings. In addition, there are several levels of residential units above the*

ground level commercial space. The only openings to the tenant space are to the south along the Pacific Coast Highway frontage. Therefore, the fitness studio is adequately buffered from adjacent properties.

- b. Provision of fences and walls;
 - i. Not applicable. Existing 8-foot walls existing between the subject property and adjacent residential uses.*
- c. Street dedications and improvements, including service roads and alleys;
 - i. A change in use does not trigger street dedications. Improvements along the frontages of the subject property (Pacific Coast Highway and Palos Verdes Boulevard) are consistent with Caltrans and City standards, respectively, as any dedications were acquired with the approval of the Legado project.*
- d. The control of vehicular ingress, egress, and circulation;
 - i. Existing two-way access driveways from Pacific Coast Highway and Palos Verdes Boulevard comply with Zoning Ordinance and Public Works standards.*
- e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
- f. Provision of landscaping and the maintenance thereof;
 - i. Landscaping per the approved Legado project is to remain.*
- g. The regulation of noise, vibration, odor and the like;
 - i. An acoustical analysis was required to ensure the amplified music that supports the fitness studio would not negatively impact the other commercial uses in the building, the residential units located above within the mixed-use building and the multi-family buildings to the north. Conditions of approval have been added to incorporate the recommendations from the acoustical analysis, and include requiring doors to be closed during all operating hours, installation of additional internal walls with sound attenuation elements between the proposed tenant space and adjacent commercial tenants to either side and an internal ceiling with sound attenuation elements between the tenant space and residential units above.*
- h. Requirements for off-street loading facilities;
 - i. As a service business the fitness studio will have very limited, if any, retail operations and therefore will not require the use regular use of loading facilities. However, as shown on the site plan, there is designated loading zone within the southeastern area of the ground level of the parking garage which is available for loading purposes.*
- i. A time period within which the proposed use shall be developed;

- i. *The proposed tenant improvement will comply with required building plan check and inspections schedules.*
- j. Hours of permitted operation and similar restrictions;
 - i. *Hours of operation will be from 5am to 8pm seven days per week, with early morning and evening times to accommodate working schedules of students. This will further reduce any potential parking concerns as the fitness studio will be operating during times when other commercial tenants may be closed.*
- k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. *Not applicable. No billboards are located on this subject property.*
- l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. *The conditions of approval address all noted issues of concern, namely potential parking and noise impacts resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.*

The project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of commercial services which provide for the needs of current and future residents. The fitness studio will be of service to local residents. No additional buffers or setbacks are warranted as additional sound attenuation conditions are required and there is an existing 20-foot setback from the adjacent residential uses to the north. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the fitness studio is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed fitness studio. Additional conditions of approval have been added that regulate the following:

- *Hours of operation that include early and late class times to serve students during times when other commercial uses may be closed;*
- *A maximum number of instructors and students in the fitness studio at any given time;*
- *A requirement that class registration be done primarily online to limit the number of students per class;*
- *A requirement that classes to be staggered by at least 15 minutes;*
- *A requirement that all activities be conducted exclusively within the interior of the tenant space;*

- *Entry doors shall remain closed during class times;*
 - *Sound-proofing shall be required.*
3. The plans, specifications, and drawings submitted with the application have been reviewed by the Planning Commission.
 4. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Section 15301(a) Existing Facilities of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), which exempts interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. Based on the above findings, the Planning Commission does hereby approve the California Environmental Quality Act Exemption Declaration and grant the Conditional Use Permit, pursuant to the plans, specifications, drawings, and applications considered by the Planning Commission at its meeting on the 19th day of December, 2024.

Section 2. This permit shall be void in the event that the applicant does not comply with the following conditions:

1. The approval granted herein is for the operation of a personal improvement service (fitness studio) occupying a 2,600-square foot commercial tenant space in an under construction mixed-use building. The fitness studio will offer 45-minute pilates classes. The fitness studio shall be maintained and operated in substantial conformance with the application and plans reviewed and approved by the Planning Commission at its meeting of December 19, 2024.
2. The fitness studio hours of operation shall be from 5:00am to 8:00pm seven days a week.
3. There shall be a maximum of one (1) instructor, one (1) front desk staff, and sixteen (16) students in the fitness studio at any given time.
4. All class registrations shall be done on-line and all students shall be aware of the 16 maximum students allowed during each class.
5. Classes will be staggered by 15 minutes to allow students to leave/arrive without overlap.

6. The entry doors to the fitness facility shall remain closed during class times except to allow individuals to enter and exit the facility during an emergency.
7. All aspects of the fitness training shall occur exclusively within the interior of the tenant space.
8. The tenant improvement work must comply with the recommendations pursuant to the Sound Isolation Report dated October 11, 2024 which prescribes sound control designs within the interior walls to prevent noise impacts on the abutting commercial and residential tenants. Additional sound attenuation is also required to be installed in the ceiling to ensure potential sound impacts from the proposed use will be reduced to acceptable levels.
9. The amplified sound is limited to a maximum of between 95 and 100 decibels.
10. The heating, ventilation, and air conditioning system shall be adequately sized, designed, and fully operational so as to enable the doors to remain closed at all times.
11. A copy of this Resolution shall be copied onto a sheet in the construction plan set submitted to the Building and Safety Division.
12. The Sound Isolation Report dated October 11, 2024 shall be copied onto a sheet in the construction plan set submitted to the Building and Safety Division.
13. In the event of verifiable complaints, as determined by the Community Development Department, additional measures concerning sound attenuation and allowable hours of operation may be applied.
14. The interior tenant improvement shall require submittal of full architectural and structural drawings and documents to the City's Building and Safety Division for plan check. No work shall commence prior to the full approval of plans by all required City divisions with all required permits issued.
15. Signage plans shall be submitted for approval by the Planning Division under a separate permit. All signage shall comply with the commercial Sign Regulations as specified in the Zoning Code, Title 10, Chapter 2, Article 6.
16. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays or observance of holidays.
17. The Community Development Department is authorized to approve minor changes.
18. In the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a

decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.

19. The Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.

Section 3. The approved Conditional Use Permit shall become null and void if not vested within 36 months after the Planning Commission’s approval.

Section 4. Prior to seeking judicial review of this resolution, the applicant is required to appeal to the City Council. The applicant has ten (10) days from the date of adoption of this resolution in which to file the appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED AND ADOPTED this 19th day of December, 2024.

Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Sean Scully, Planning Manager of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2024-12-PCR-** was duly passed, approved, and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 19th day of December, 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sean Scully
Planning Manager

APPROVED AS TO FORM:

City Attorney's Office

APPLICATION FOR CONDITIONAL USE PERMIT

FEE: \$3,208

1. PURPOSE:

The purpose of the Conditional Use Permit process is to review certain uses possessing unique characteristics to ensure that the establishment or significant alteration of those uses will not adversely affect surrounding uses and properties nor disrupt the orderly development of the community; that the proposed use is in the best interest of the public health, safety and welfare of the community; and that it is in accordance with the goals and objectives of the City's General Plan.

In order to ascertain whether an intended use is compatible with other existing and permitted uses, the Planning Commission/Harbor Commission must review a complete application. The Commission is wholly dependent on the applicant to provide all information necessary to enable the Commission to reach an informed decision. An application must contain all information, either written or graphic, necessary for the Commission to determine that the proposed project will be consistent with the Redondo Beach General Plan, the Municipal Code, and the policies of the Commission, and will be generally compatible with the surrounding area and free from unacceptable adverse impacts. Conversely, a vague, sketchy, incomplete or non-specific application will make it difficult for the Commission to approve the request.

2. INSTRUCTIONS FOR FILING:

a. Application Form

- 1) All information in this application shall be typed or legibly printed.
- 2) Give full and complete answers to all questions.
- 3) If necessary, attach extra sheets to answer questions fully.

b. Application Fee

At the time of filing the application fee is required.

c. Attachments

Twenty-five (25) complete copies and two (2) complete sets of reproducible Conceptual Drawings, as set forth in the attached *Instructions for Graphic Portions*, **must** accompany this application at the time of filing. All plans shall be folded to 8½" X 11" size. An electronic version (PDF) of drawings must accompany the submittal.

- *d. *Low Impact Development (LID)* - IF REQUIRED A copy of the LID approved by the City's Engineering Division must accompany this application at the time of the filing, if the project is considered a "Priority Project" as defined by the City's NPDES Permit. (Attached to this application is a Storm Water Program Planning Checklist, which will determine if the project is a "Priority Project").

3. REPRESENTATION:

THE APPLICANT OR HIS REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARING TO ANSWER ANY QUESTIONS THE PLANNING COMMISSION/HARBOR COMMISSION MAY WISH TO ASK PERTAINING TO THIS REQUEST. FAILURE TO APPEAR AT THE PUBLIC HEARING, UNLESS THE COMMISSION RECEIVES WRITTEN NOTIFICATION FROM THE APPLICANT PRIOR TO SAID HEARING, MAY CONSTITUTE GROUNDS FOR DENIAL OF THE REQUEST.

4. LIMITATIONS:

- a. A Conditional Use Permit shall become null and void unless vested within 36 months after the date of approval.
- b. The applicant must comply with all conditions set forth by the resolution as a result of public hearing by the Planning Commission/Harbor Commission or the City Council. If this is not done, the approval shall be **subject to revocation** pursuant to the provisions of Section 10-2.2506(K) of the Municipal Code.

5. PROCEDURE:

- a. Applications for Conditional Use Permit shall be filed with the Planning Division. Notification of application status (complete or incomplete) will be provided within 30 days of the date of filing. The date of the public hearing will be determined by Planning Division staff after the application status is deemed as complete. Additional time will be required between the application status determination and the date of public hearing where review under the California Environmental Quality Act (CEQA) is required.
- b. Public notification stating the time, place and nature of the application is posted 10 days prior to the public hearing. Included are newspaper publications, signs posted on the subject property, and letters sent by first class mail to property owners within 300 feet of the subject property.
- c. The Planning Commission's/Harbor Commission's decision on this application shall be final and conclusive unless, within 10 days of the date of said decision, a written appeal requesting a public hearing before the City Council is filed with the City Clerk and all required fees for said appeal are paid in full.

INSTRUCTIONS FOR GRAPHIC PORTIONS OF THE APPLICATION

A. INSTRUCTIONS FOR PREPARATION

(All plans must be drawn to scale and fully dimensioned.)

- a. A site plan, floor plan, and elevations of the project drawn to scale and dimensioned, graphically representing the proposed development or changes in existing conditions contemplated by the applicant, **must be submitted with the application at the time of filing**. Otherwise, the application will not be accepted until such time as the site plan, floor plan, and elevation plans are completed and provided.
- b. **Size:** 8½" X 11 up to 18" X 24". Larger sizes must be approved by the Planning Division.
- c. **Scale:** Preferably at least 1/8" =1'. Larger scales up to 1/4"=1' may be used to show development on small lots. Scale used must be sufficiently large to be clearly legible and show project details.
- d. **Contents:**
 - 1) North arrow.
 - 2) Title block (showing the address of subject property, name and address of person who prepared the map, scale of map, and date).
 - 3) All boundary lines of subject property fully dimensioned, showing the name and location of abutting streets.
 - 4) Existing topography and proposed grading.
 - 5) Existing trees with a trunk diameter of six inches (6") or greater.
 - 6) All buildings and structures, and the uses within each room.
 - 7) Improvements in the public right of way, including location of sidewalk, parkway, curb, gutter, street width to centerline, and dedications.
 - 8) Exterior lighting.
 - 9) Easements.
 - 10) Off-street parking areas, including the stall striping, aisles, and driveways.
 - 11) Setbacks and spaces between buildings.
 - 12) Walls, fences, and landscaping and their location, height, and materials.
 - 13) Landscaping areas.
 - 14) Trash and recycling facilities.
 - 15) The architectural elevations of all sides of all structures depicting design, color, materials, textures, ornaments, or other architectural features.
 - 16) The location, dimensions, and design of all signs.
 - 17) A section of the building as it relates to the existing topography and proposed grading where the slope of the site is greater than four (4) feet.
 - 18) Such other data as may be required to demonstrate that the project meets the criteria of Section 10-2.2506(B) of Chapter 2, Title 10 of the Redondo Beach Municipal Code.

B. OTHER EXHIBITS:

Additional graphic materials to illustrate the project are always helpful to the Planning Commission and Harbor Commission, and are suggested as exhibits to accompany this application. Typical exhibits are: photographs, renderings, color and materials board, and models. An electronic version (PDF) of drawings must accompany the submittal.

**CITY OF REDONDO BEACH
PLANNING DIVISION**

APPLICATION NO.

DATE REVIEWED:

APPLICATION FOR CONDITIONAL USE PERMIT

Application is hereby made to the City of Redondo Beach, for Conditional Use Permit, pursuant to Section 10-2.2506 or Section 10-5.2506 of Title 10 of the Redondo Beach Municipal Code.

PART I - GENERAL INFORMATION

A	APPLICANT INFORMATION	
	STREET ADDRESS OF PROPERTY: 1700 S. PACIFIC COAST HIGHWAY, REDONDO BEACH, CA 90277	
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: 1 BLOCK: TRACT: 72662	ZONING: MU-3A
	FLOOR AREA RATIO (EQUAL TO GROSS FLOOR AREA DIVIDED BY SITE SIZE) SITE SIZE (SQ. FT.): 143,180 GROSS FLOOR AREA (SQ. FT.) 2,600 FLOOR AREA RATIO: N/A (TENANT IMPROVEMENT)	
	RECORDED OWNER'S NAME: LEGADO COMPANIES MAILING ADDRESS: 121 S. BEVERLY DR, BEVERLY HILLS, CA TELEPHONE: 310-432-0800	AUTHORIZED AGENT'S NAME & EMAIL: BLAIRE MCPHERSON; BLAIRE@STUDIOCOMODESIGN.COM MAILING ADDRESS: 11600 WASHINGTON PL #216E, LOS ANGELES, CA 90066 TELEPHONE: 316-371-5282
	APPLICANT'S NAME: PILATES PRO MARINA DEL REY, INC MAILING ADDRESS: 1700 S. PACIFIC COAST HIGHWAY TELEPHONE: 323-377-3991	PROJECT ARCHITECT/FIRM/PRINCIPAL: LOREN PERRY; STUDIO COMO MAILING ADDRESS: 11600 WASHINGTON PL #216E, LOS ANGELES, CA 90066 TELEPHONE: 316-371-5282 LICENSE NO. C-35863
	B	
REQUEST		
<p>The applicant requests a Conditional Use Permit to use the above described property for the following purposes:</p> <p>The use being requested in this Tenant space is Personal Improvement Services. It is an instruction based Pilates Studio with 16 students, 1 instructor and 1 clerk / check in staff. The space is 2,600 sf.</p>		

C **SHOWINGS:** Explain how the project is consistent with the criteria in Section 10-2.2506(B) of the Zoning Ordinance.

1. Describe existing site improvements and their present use. If vacant, please specify.

This site is currently under construction with a mixed use development. This will be the first Tenant to occupy this lease space. The Tenant will occupy 2,600 sf of the 16,382 sf allotted for Retail on the site. There are also three Office Tenants that have 5,157 sf allotted along Palos Verdes Blvd.

2. Describe the site in terms of its ability to accommodate the proposed use and conform to the development standards of the Zoning Ordinance (i.e., setbacks, parking, landscaping, etc.)

This Tenant space doesn't seek to alter the exterior of the project in any way except for identity signage (under separate permit application), and only make improvements to the interior of the building space. conceptual signage design is provided in this application.

As a Personal Improvement business, the Tenant will have 16 students with 1 instructor and 1 clerk / check in employee. This totals 10 parking spaces, to which we are applying the overall 20% parking reduction (allowed per shared parking analysis per Approved Architecture Plans) to have a final number of 8 parking spaces. There are 53 spaces allotted for Retail and 8 spaces allotted for the Office use.

3. Describe the site in terms of its access to public rights-of-way. Give street names, widths, and flow characteristics.

There is driving access to the site from both Pacific Coast Hwy and Palos Verdes Blvd.

4. Describe the expected impact of the proposed use on adjoining uses and activities and on future development of the neighborhood.

This use brings visitors and local residents to the overall property that will also support the neighboring businesses. This use should have no impact on future development of the neighborhood.

5. Describe how the proposed use is consistent with the intent and purpose of the Redondo Beach General Plan.

This use provides convenient and highly effective instructor based Pilates classes to the surrounding neighborhood and apartment tenants on site.

D

It is desirable, but not required, to have the signatures of owners of property in the immediate area affected, certifying that they have no objection to the establishment of the use as applied for in this request for a Conditional Use Permit. Use reverse side of this sheet if more space is needed.

NAME	ADDRESS	LOT	BLOCK	TRACT

OWNER'S AFFIDAVIT

Project address: 1700 S. PACIFIC COAST HIGHWAY, REDONDO BEACH, CA 90277

Project description: the studio (mdr) Tenant Improvement

I (We) _____, being duly sworn, depose and say I am (we are) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (we) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (our) knowledge and belief.

Signature(s): _____

Address: _____

Phone No. (Res.) _____

(Bus.) _____

Subscribed and sworn to (or affirmed) before me this ____ day of _____, 20____

by _____, proved to me on the basis of satisfactory

evidence to be the person(s) who appeared before me.

FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles)

ss

Seal

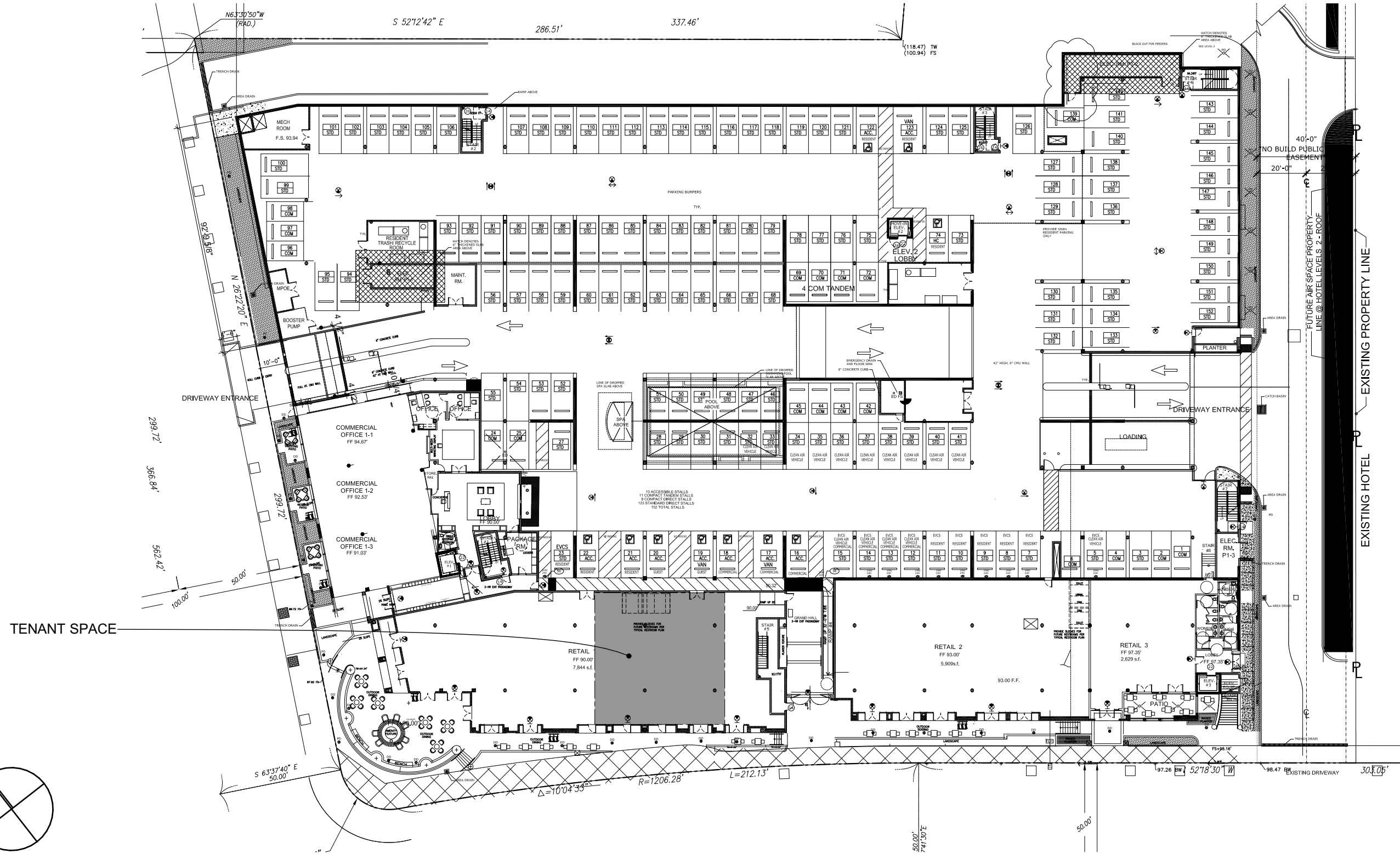
the studio (mdr) Redondo Beach

CUP Initial Submission

Thursday, August 01, 2024

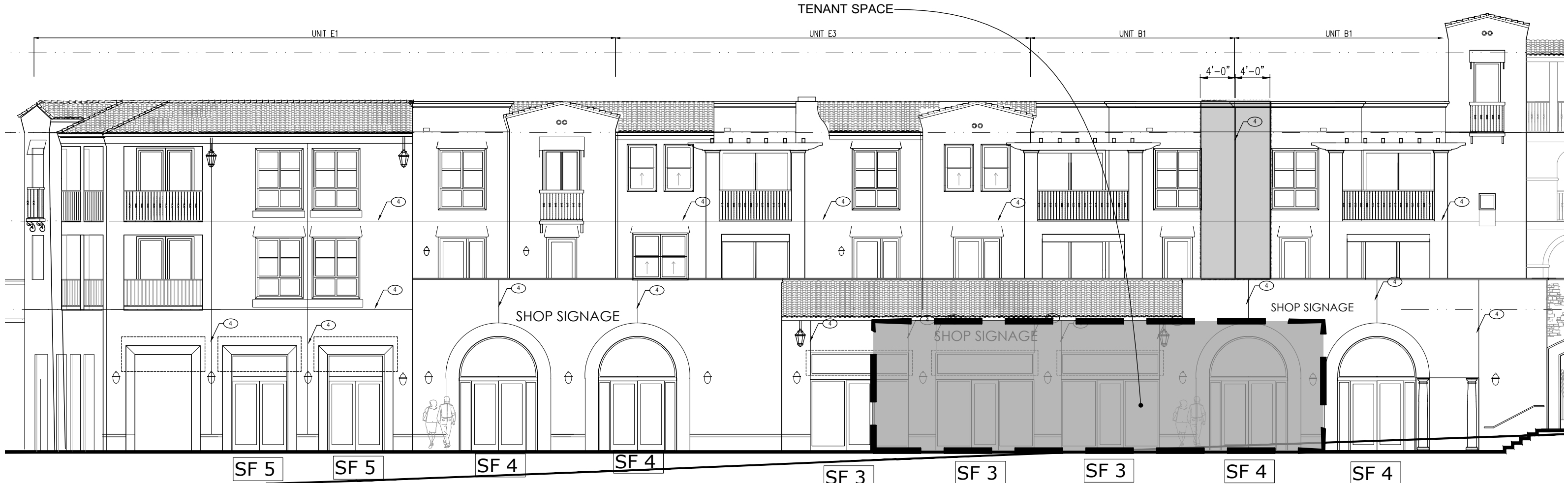
EXISTING SITE PLAN

SCALE: 3/128" = 1'-0"



EXISTING SITE ELEVATION & RENDERS

SCALE: 3/32" = 1'-0"



PROPOSED FLOOR PLAN

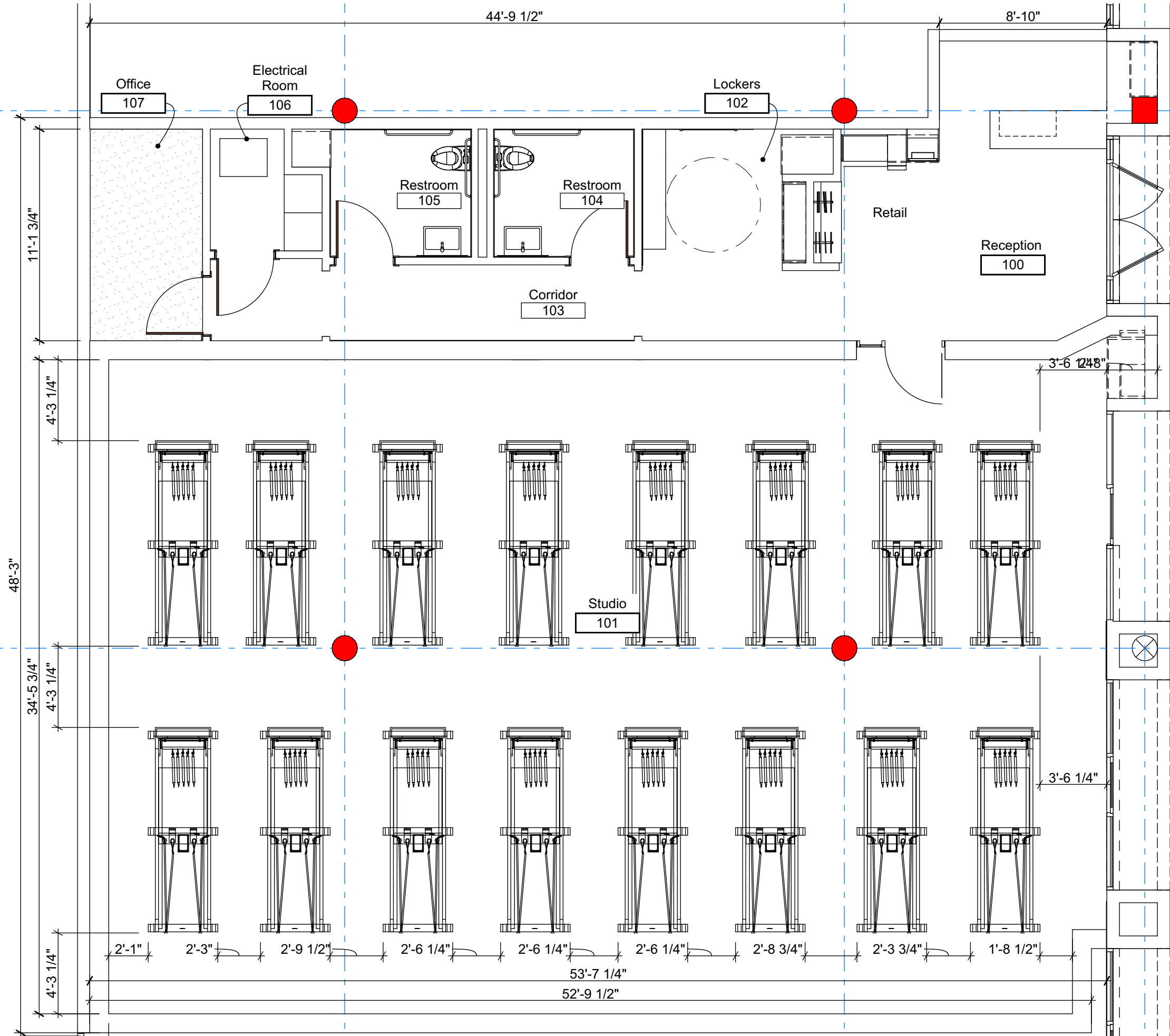
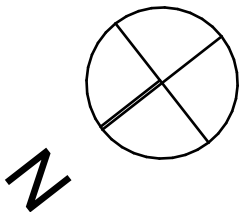
SCALE: 3/16" = 1'-0"

8

8

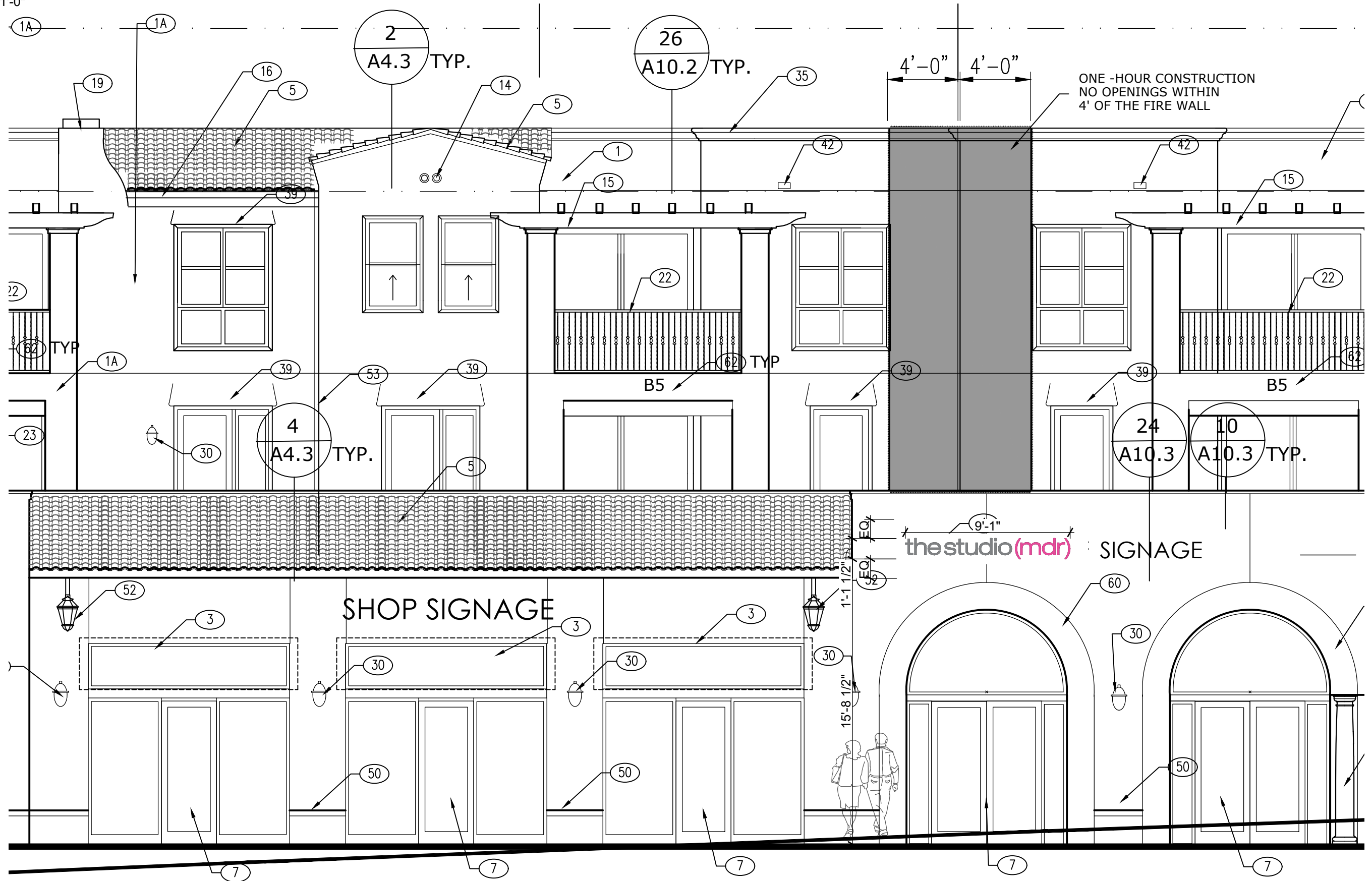
7

7



PROPOSED CONCEPTUAL SIGNAGE

SCALE: 3/16" = 1'-0"

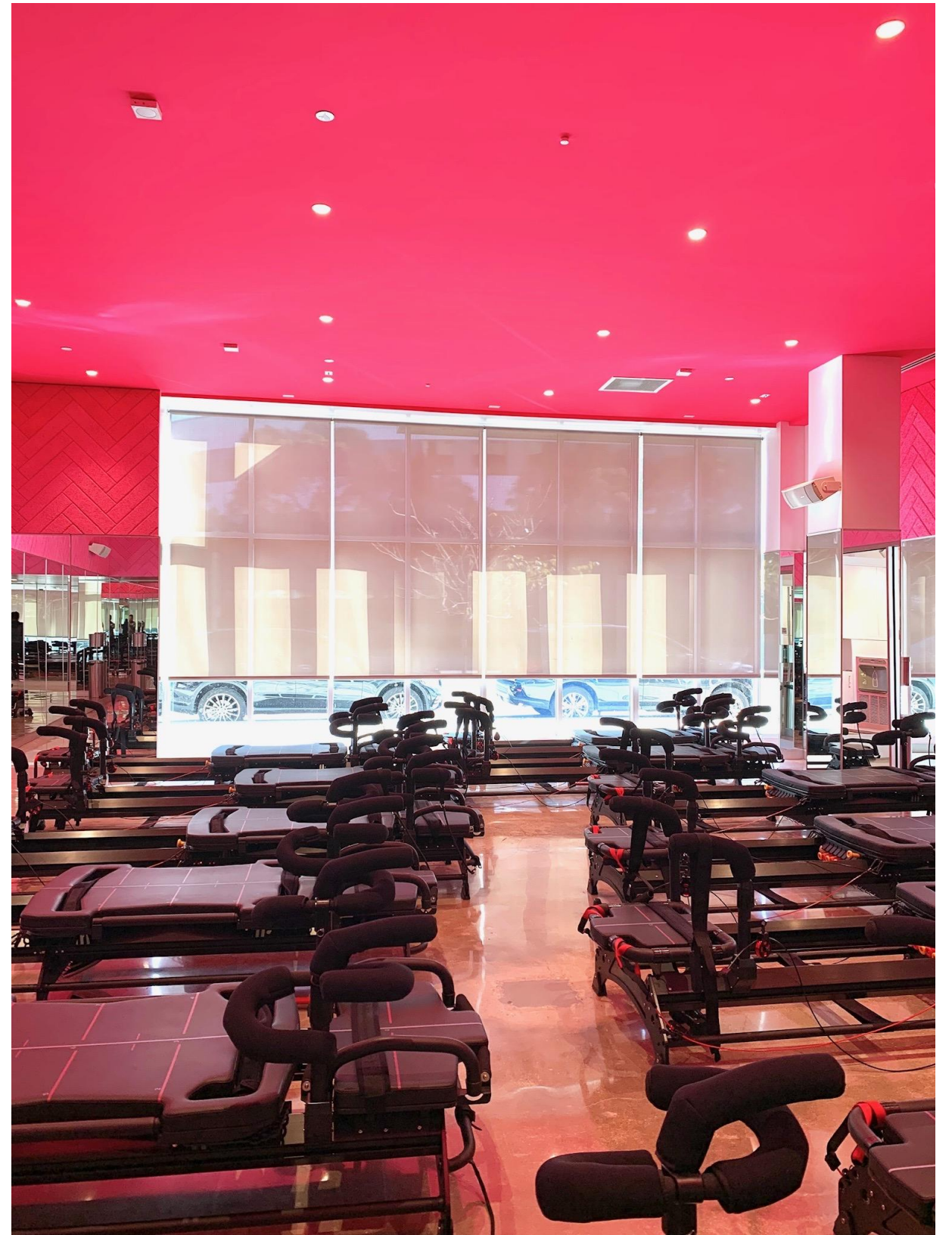


PARKING OVERVIEW

PARKING SUMMARY			
1. PARKING :	REQUIRED	PROVIDED	ACCESSIBLE SPACES REQUIRED
RESIDENTIAL UNITS: 115 UNITS AT 2 PER UNIT: =	230 SPACES	230 SPACES (ASSIGNED)	$230 \times .02 = 4.6 = 5$ 4 +1 VAN
GUEST PARKING REQUIRED AT .3/ UNIT: = 35 SPACES			
20% REDUCTION OF NON-RESIDENTIAL AND GUEST PARKING (ALLOWED PER SHARED PARKING ANALYSIS) =	28 SPACES	29 SPACES	$30 \times .05 = 1.5 = 2$ 1 +1 VAN
COMMERCIAL (RETAIL AND PEDESTRIAN CAFE) = 66 SPACES $4/1000 \text{ SF} = 16,382 \text{ SF} / 250$			
20% REDUCTION OF NON-RESIDENTIAL AND GUEST PARKING (ALLOWED PER SHARED PARKING ANALYSIS) =	53 SPACES	53 SPACES	53 + 8
COMMERCIAL OFFICE UNITS = 10 SPACES 3 UNITS AT 3.3 PER UNIT			61 (TABLE 11B-208.2)
20% REDUCTION OF NON-RESIDENTIAL AND GUEST PARKING (ALLOWED PER SHARED PARKING ANALYSIS) =	8 SPACES	8 SPACES	2 +1 VAN
TOTAL RESIDENTIAL AND COMMERCIAL PARKING =	319	320 SPACES	TOTAL 10 SPACES 7 +3 VAN
2. PARKING PROVIDED LOCATION:			
LEVEL P2: RESIDENTIAL =	169 SPACES		
LEVEL P1: RESIDENTIAL, GUEST, & COMMERCIAL =	151 SPACES		
TOTAL FOR SITE: =	320 SPACES		

LEASE SPACE	SF	PARKING ALLOCATED
THE STUDIO (MDR) SPACES	2,600 SF	10; 20% REDUCTION = 8
EMPTY RETAIL LEASE AREA	13,882 SF	45 SPACES

THE STUDIO (MDR) DESIGN REFERENCE: CULVER CITY LOCATION



11 October 2024

Blaire McPherson
Studio Como
Los Angeles, CA
Email: studiocomodesign.com

**Subject: Megaformer– Redondo Beach, CA
Studio Sound Isolation
Salter Project 24-0422**

Dear Blaire:

Further to the receipt of the base building floor plans and photographs on 13 June 2024, and the latest studio layouts received on 25 September 2024 for the proposed new MDR Studio at 1700 S. Pacific Coast Highway in Redondo Beach, we have completed our review and are pleased to forward our comments and recommendations.

DISCUSSION & RECOMMENDATIONS

The proposed new studio is to be located on the ground floor of the newly built mixed-use retail and residential building at 1700 S. Pacific Coast Highway. From the photographs received in June, the podium level appears to be concrete. There are no Landlord requirements for noise that we know of, however, we understand the Client would like to reduce the likelihood of any noise complaints from their operation. In addition to this, the Client would like to ensure an adequate level of acoustic privacy between the studio and the office.

Based on the current layout, understanding of the building construction, and to maximize floor area within the studio, we recommend the following to minimize sound transmission to above.

Isolated Ceiling

We recommend a spring isolated gypsum board ceiling with three layers of gypsum board be installed throughout the studio. A layer of plywood can be substituted for gypsum board if required structurally (or to enable fixtures to be hung from the ceiling). This is shown in attached **Figure 1**.

Any base-building plumbing should be located above the gypsum ceiling to avoid structure-borne noise transmission from the studio to units above. Sprinklers should be routed as needed (either above or below the ceiling). If above, sprinkler penetrations through the isolated ceiling should be treated per **Figures 2a and 2b**. Duct and pipe penetrations through the isolated ceiling are shown in **Figures 3 and 4**.



Once MEP system layouts are completed, we will provide additional recommendations for ensuring there is no noise transmission from the studio duct system to residences above. However, see **Figures 5 to 7** for typical details.

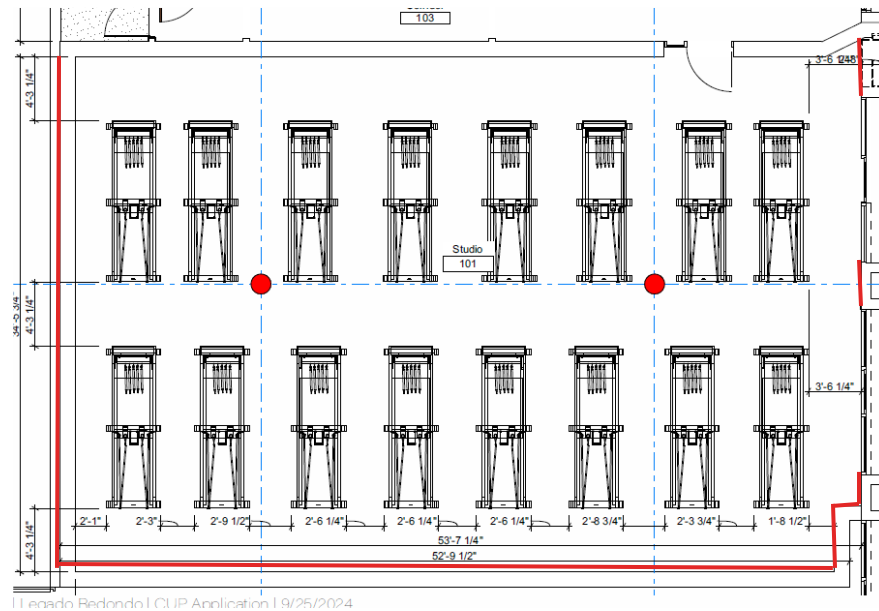
Walls

We recommend the wall between the Studio and Office/Corridor be an insulated single stud assembly (mineral fiber batt in the stud cavity) with two layers of gypsum board on each side. The studs should be isolated at the head, to avoid structure-borne noise transmission via this wall. See **Figure 8**.

To ensure adequate acoustic privacy between the studio and the office, we recommend that the gypsum board extend to the underside of the slab at the office. Gypsum can extend to 6-inches above the line of the isolated ceiling at the Corridor (to save on materials).

We recommend the wall between the office and the electrical room be an insulated single-stud assembly with one layer of gypsum board on each side, with the gypsum board extending to the underside of the slab on both sides.

The base-building perimeter walls and columns should be furred out with metal studs and 2 layers of gypsum board. See **Figure 9a**. The extent of the furring is shown in **RED** below:



The furring stud should stop short of the slab above and be supported back to the structure with a resilient brace. The gypsum board of the furred walls should extend to at least 6-inches above the line of the isolated ceiling, but not be in contact with the slab above. See **Figure 9b**.

The above recommendations would maximize the level of sound isolation that is achievable between the studio and the units above and in turn minimize the likelihood of complaints from residences above.

The storefront windows do represent a weak point in the exterior façade, which may lead to some studio noise breakout to outside and transmission to units above should, they have their windows open. This could be mitigated by installing secondary/storm glazing on the interior of the storefront. However, this could be retrofitted once the studio is operational, should this noise transmission path become an issue.

Additionally, there may need to be some administrative control of music and voice levels generated within the studio.

* * *

This concludes our comments. Please let us know if you have any questions.

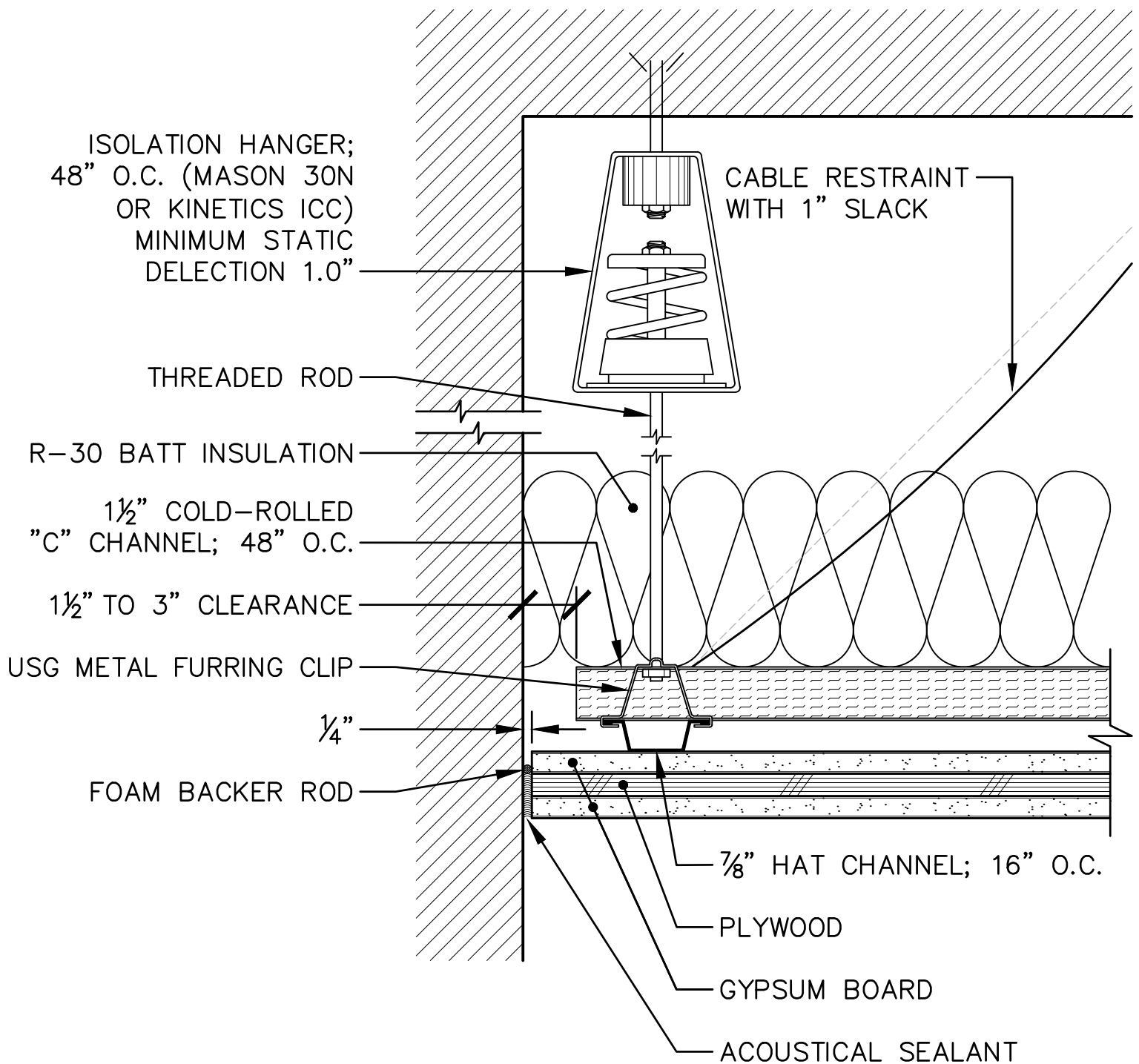
Best,

SALTER



Andrew McKee
Senior Associate

Encl.



- NOTES: 1. DIAGONAL BRACING UNDER TENSION MUST INCORPORATE ISOLATORS
2. REVIEW ALL MEMBER SPACING AND SIZES FOR CODE COMPLIANCE
3. ISOLATE TOP TRACK WITH KINETICS WALLMAT OR MASON NPS

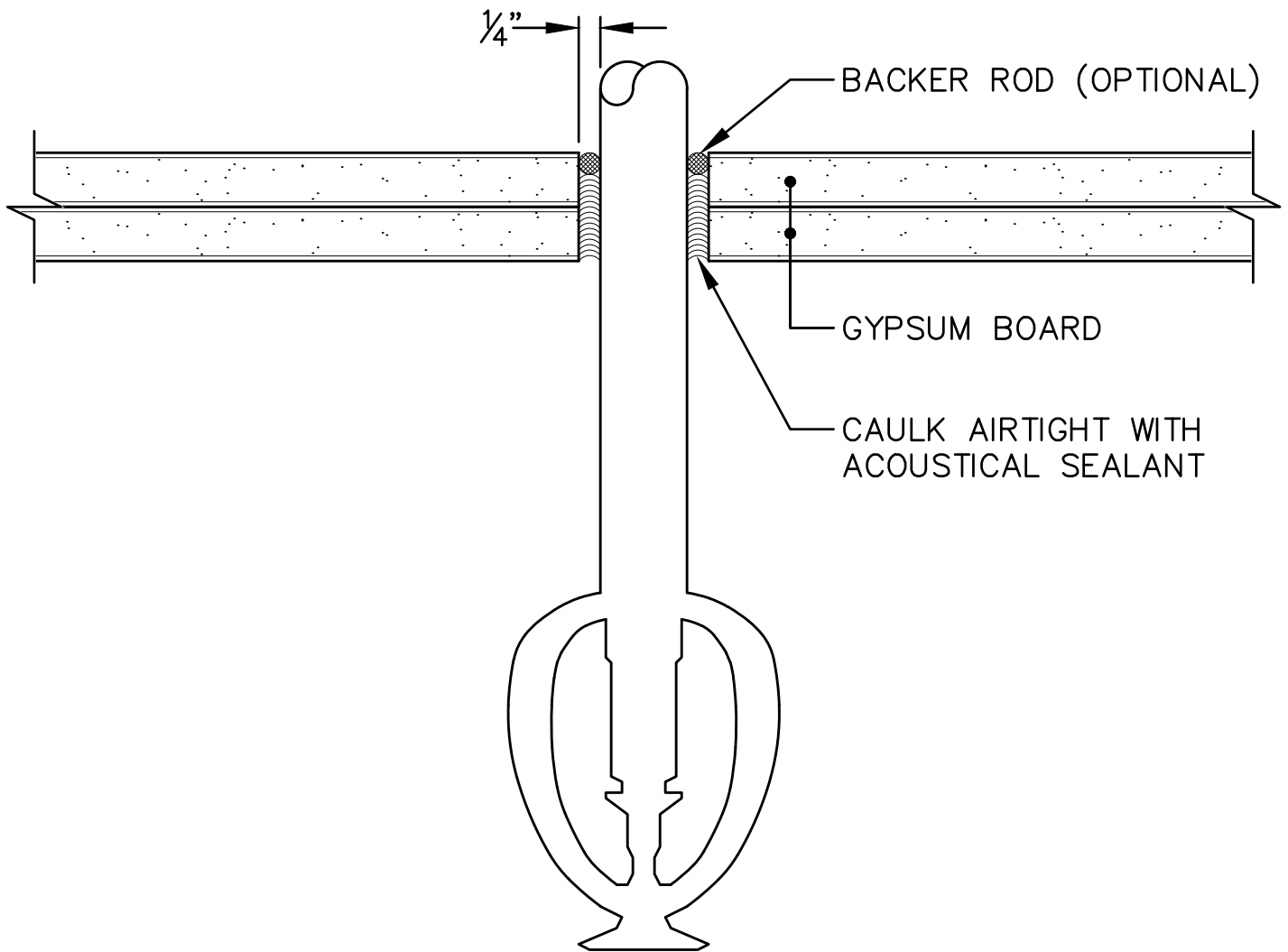
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FOR ACOUSTICAL DESIGN INFORMATION ONLY

SPRING-ISOLATED GYPSUM BOARD CEILING

FIGURE 1

1479G
2.2.1

DRS
07.11.07



- NOTES: 1. FOR CEILING TYPE, SEE PLANS
 2. APPLICABLE AT ALL SOUND-RATED CONSTRUCTION INCLUDING INTERIOR INSULATED ASSEMBLIES

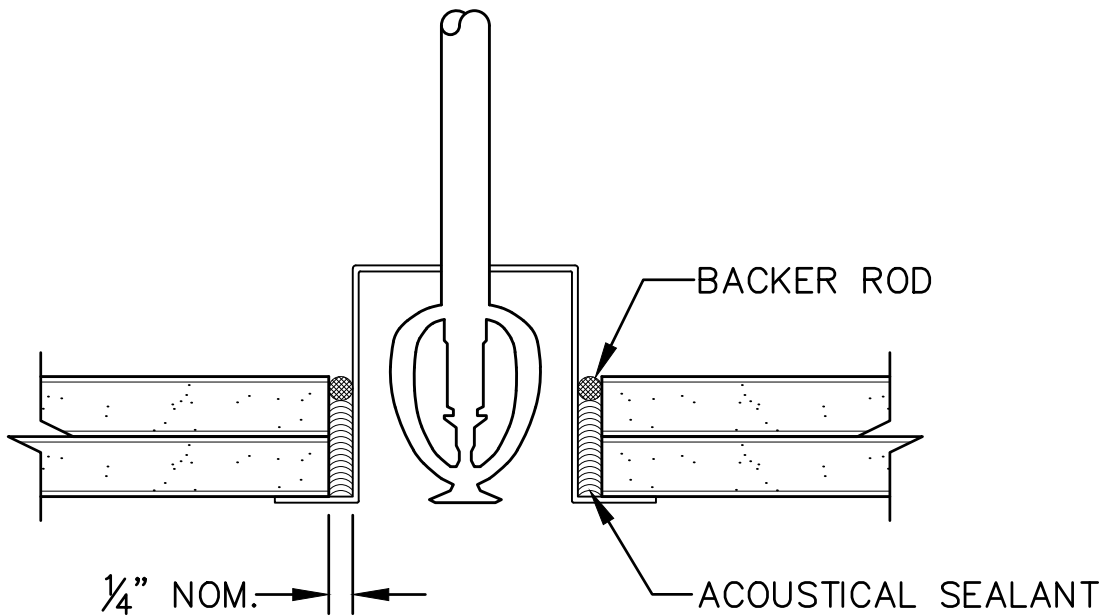
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SPRINKLER PIPE PENETRATION AT SOUND-RATED CONSTRUCTION

FIGURE 2a

507
 3.1.1

DRS
 06.04.02



NOTES:

1. FOR CEILING TYPE, SEE PLANS
2. APPLICABLE AT ALL SOUND-RATED CONSTRUCTION INCLUDING INTERIOR INSULATED ASSEMBLIES

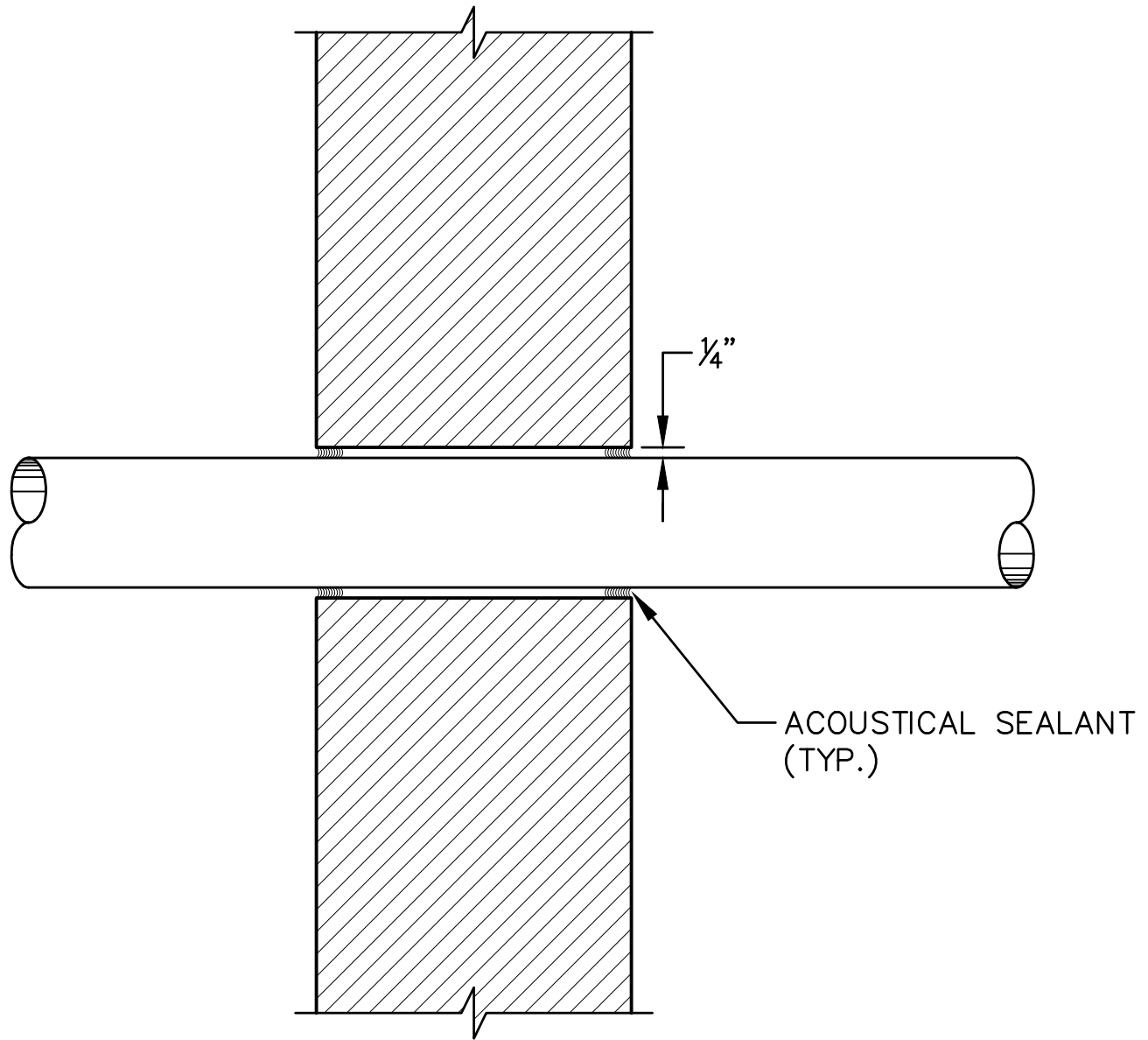
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RECESSED SPRINKLER AT SOUND-RATED CONSTRUCTION

FIGURE 2b

507A
3.1.1

DRS
06.10.02



(PIPE OR CONDUIT LESS THAN 3" DIAMETER)

NOTE: APPLICABLE AT ALL SOUND-RATED CONSTRUCTION INCLUDING INTERIOR INSULATED ASSEMBLIES

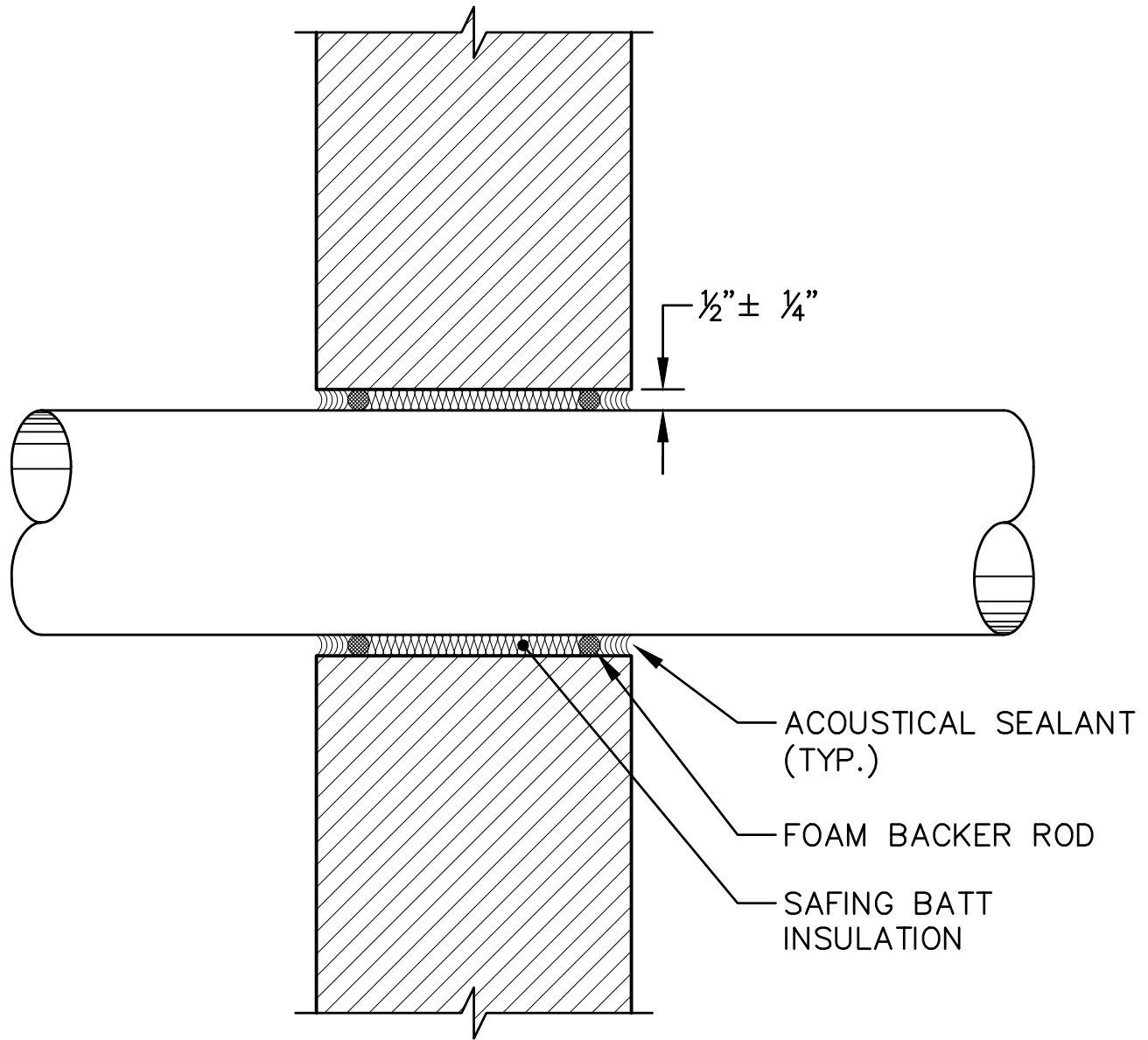
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TYPICAL PIPE OR CONDUIT PENETRATION THROUGH SOUND-RATED CONSTRUCTION

FIGURE 3

9421
3.1.1, 3.1.3

GEN
03.20.23



(DUCT, PIPE, OR CONDUIT 3" DIAMETER OR GREATER)

NOTE: APPLICABLE AT ALL SOUND-RATED CONSTRUCTION INCLUDING INTERIOR INSULATED ASSEMBLIES

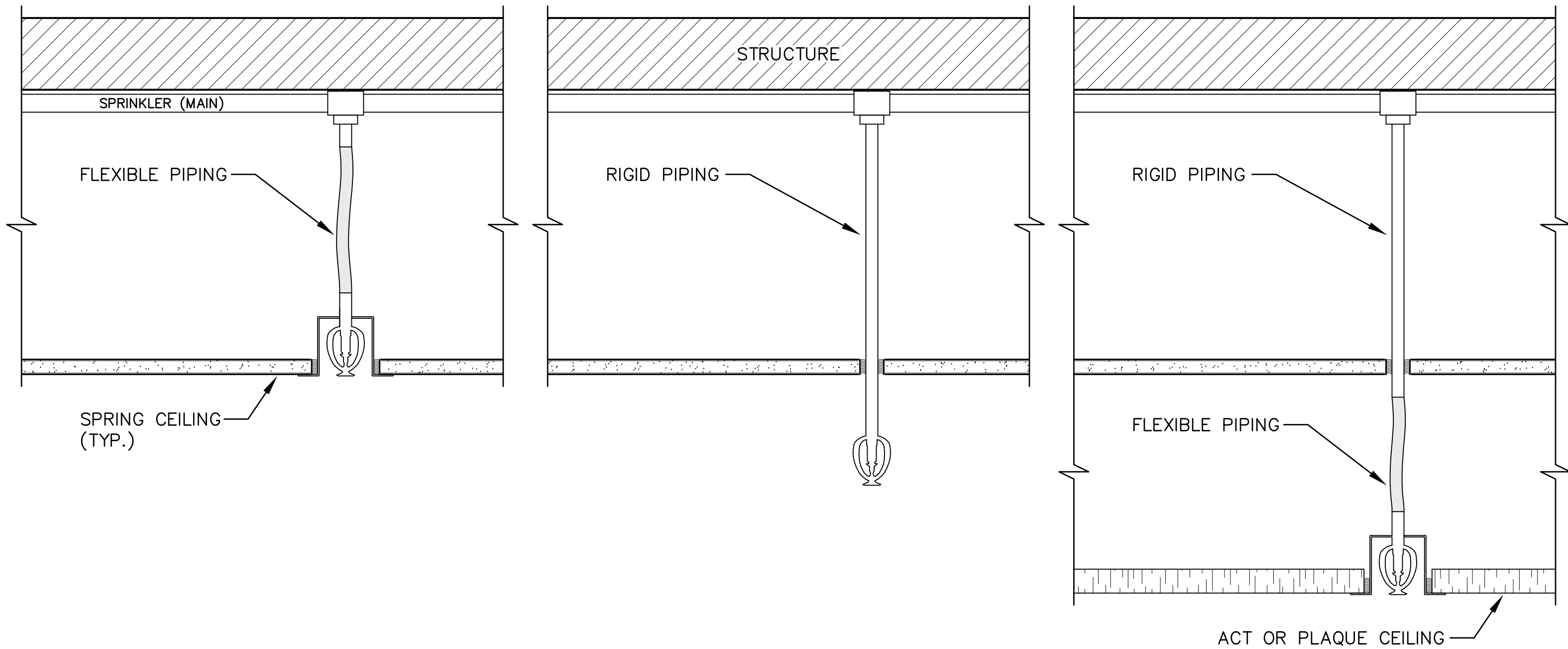
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TYPICAL DUCT, PIPE, OR CONDUIT PENETRATION THROUGH SOUND-RATED CONSTRUCTION

FIGURE 4

9420
3.1.1, 3.1.2, 3.1.3

GEN
03.20.23



NOTE: PENETRATIONS SEALED
PER OTHER DETAILS

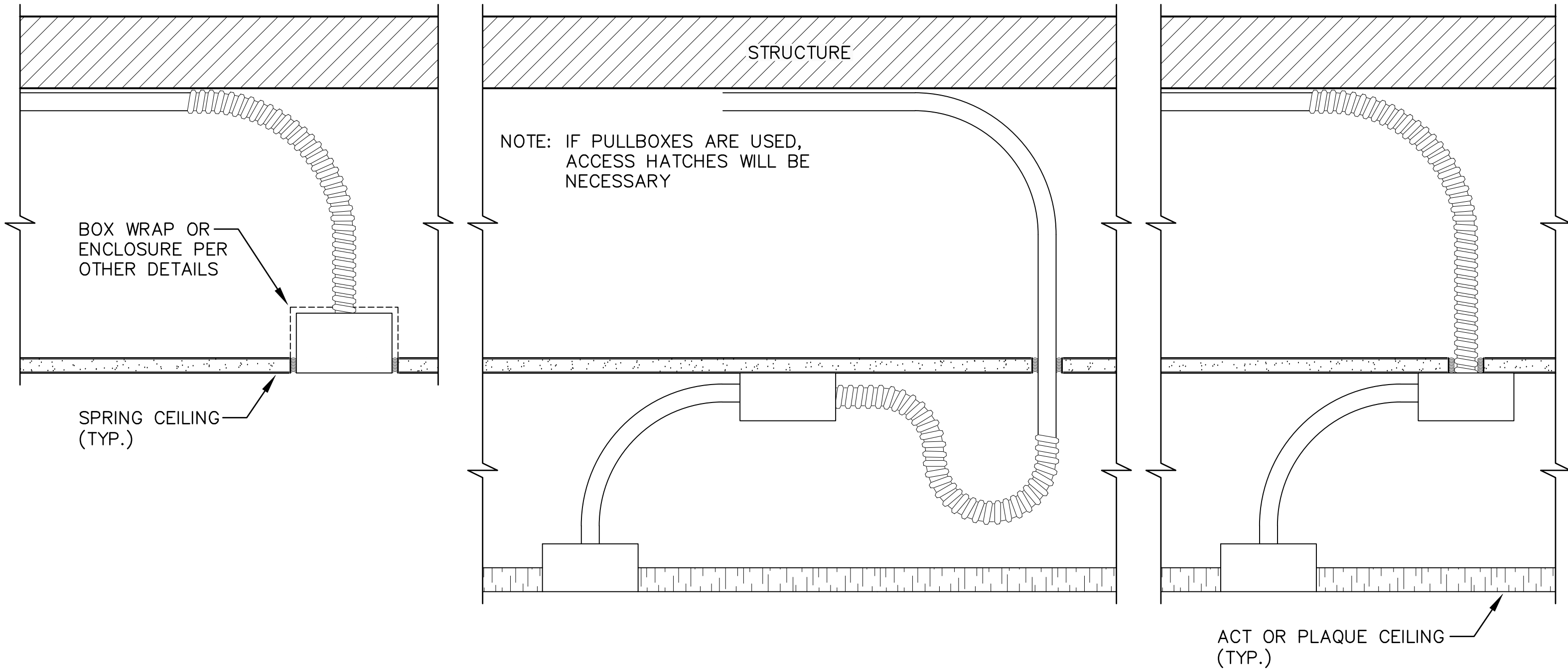
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SPRINKLERS AT SPRING-ISOLATED CEILINGS AND TUNNEL CONSTRUCTION

FIGURE 5

821
3.1.1

JRD/JLD/FT
04.13.22



NOTE: PENETRATIONS SEALED PER OTHER DETAILS

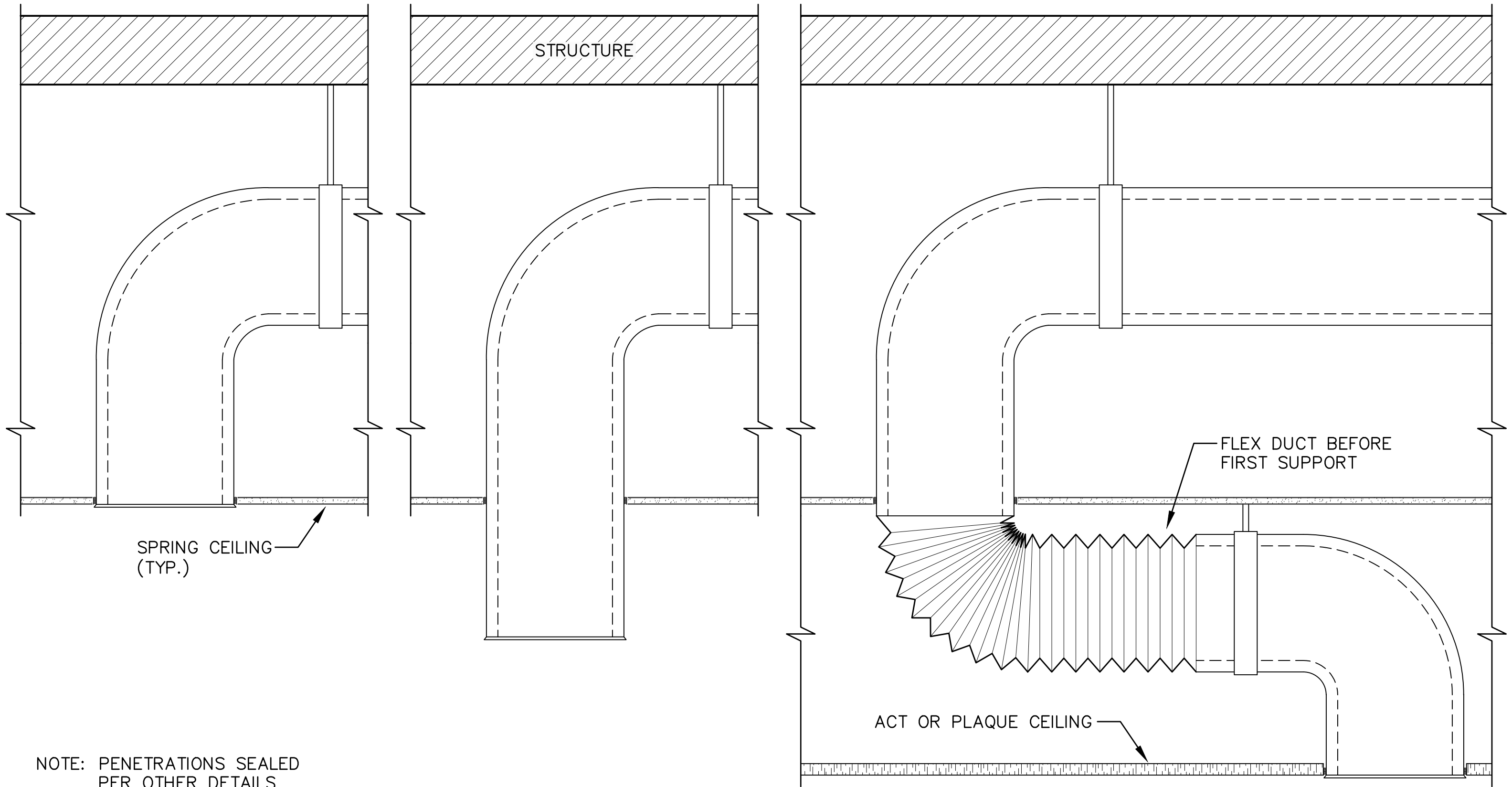
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LOW VOLTAGE AND ELECTRICAL AT SPRING-ISOLATED CEILINGS AND TUNNEL CONSTRUCTION

FIGURE 6

820
3.1.3, 3.2.1

JRD/JLD/FT
04.13.22



NOTE: PENETRATIONS SEALED PER OTHER DETAILS

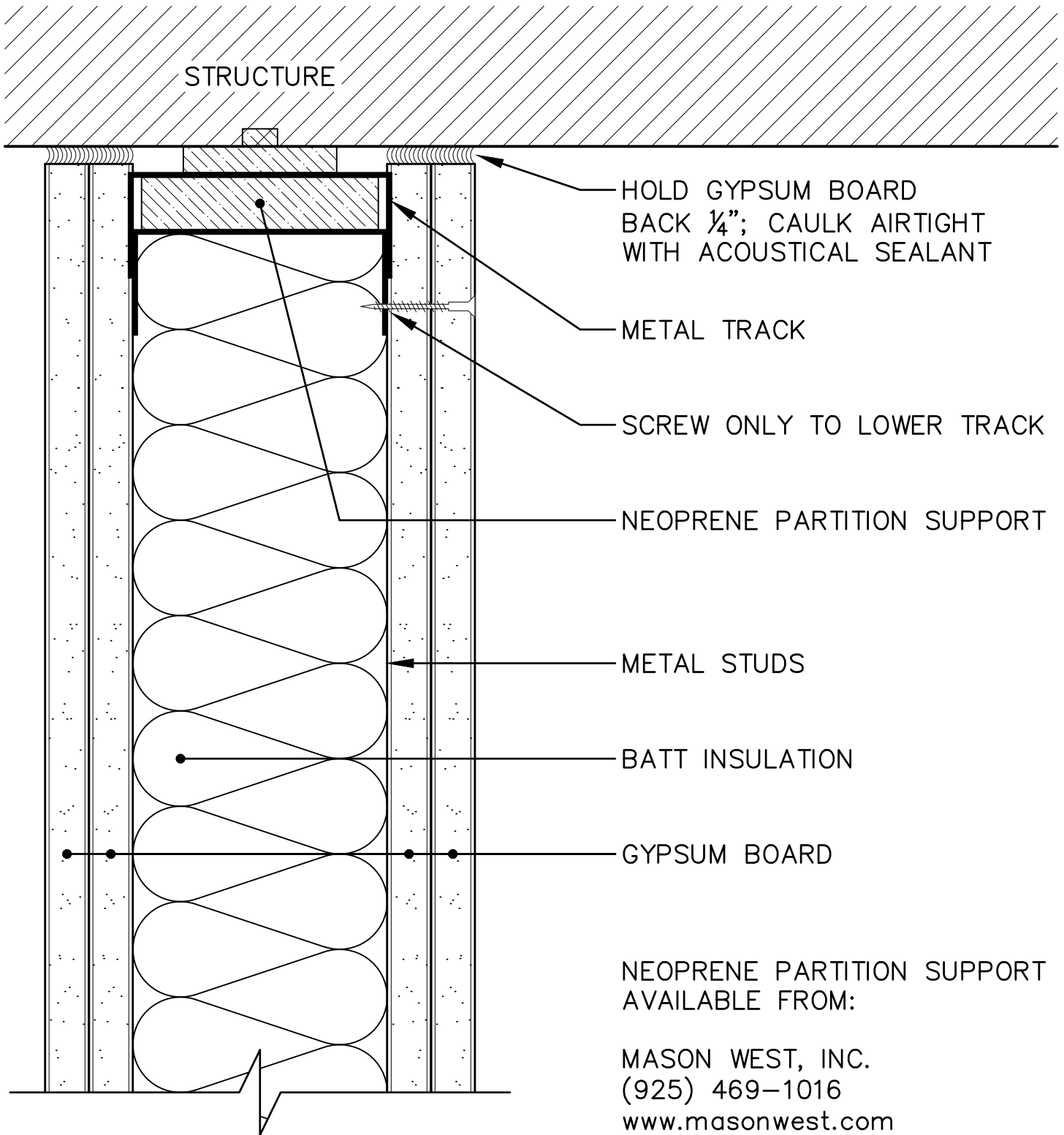
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DUCTS AT SPRING-ISOLATED CEILINGS AND TUNNEL CONSTRUCTION

FIGURE 7

822
3.1.2

JRD/JLD/FT
04.13.22



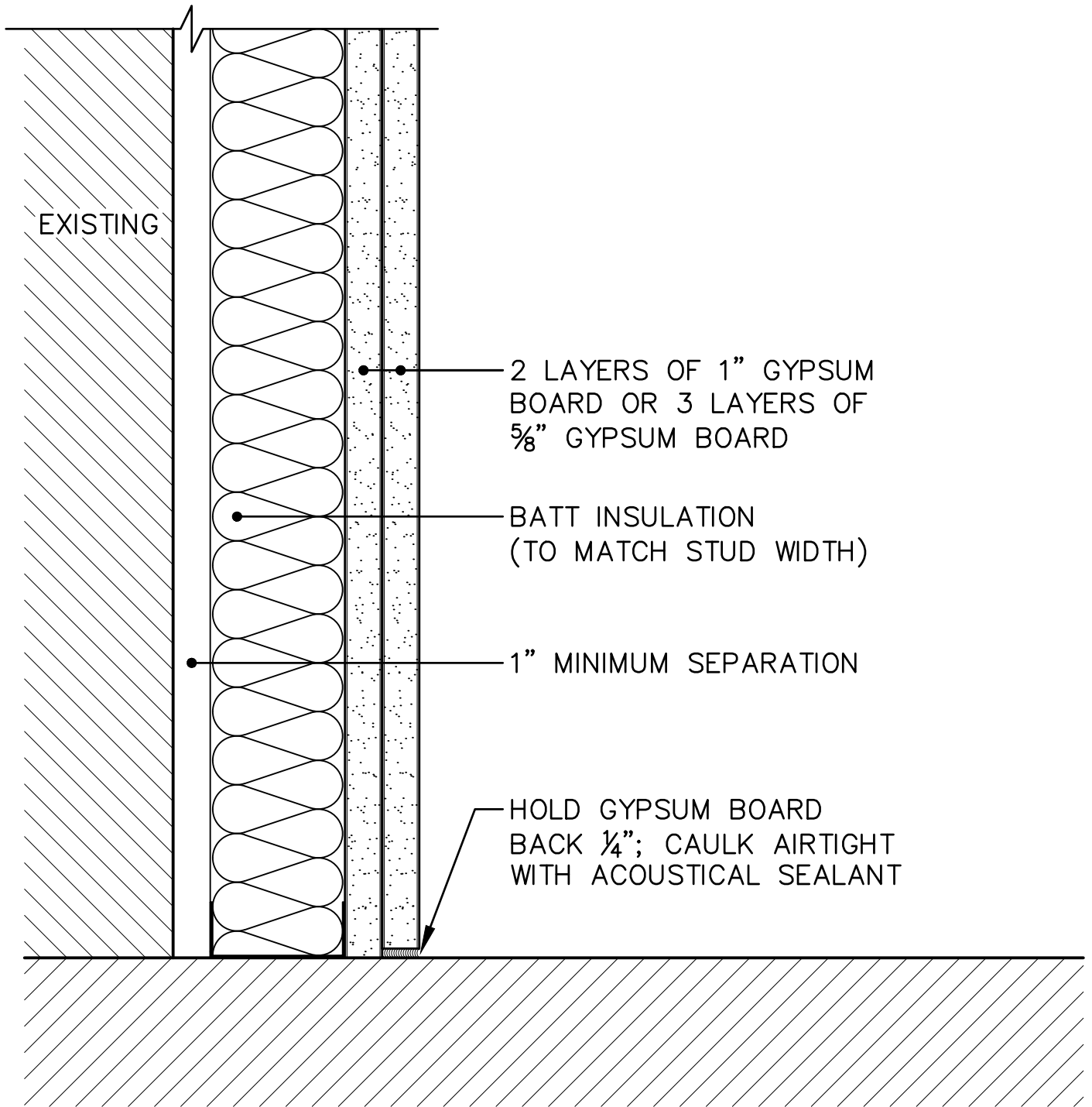
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ISOLATED PARTITION HEAD DETAIL

FIGURE 8

407
 1.1.2.1, 8.9

RVM
 05.12.09



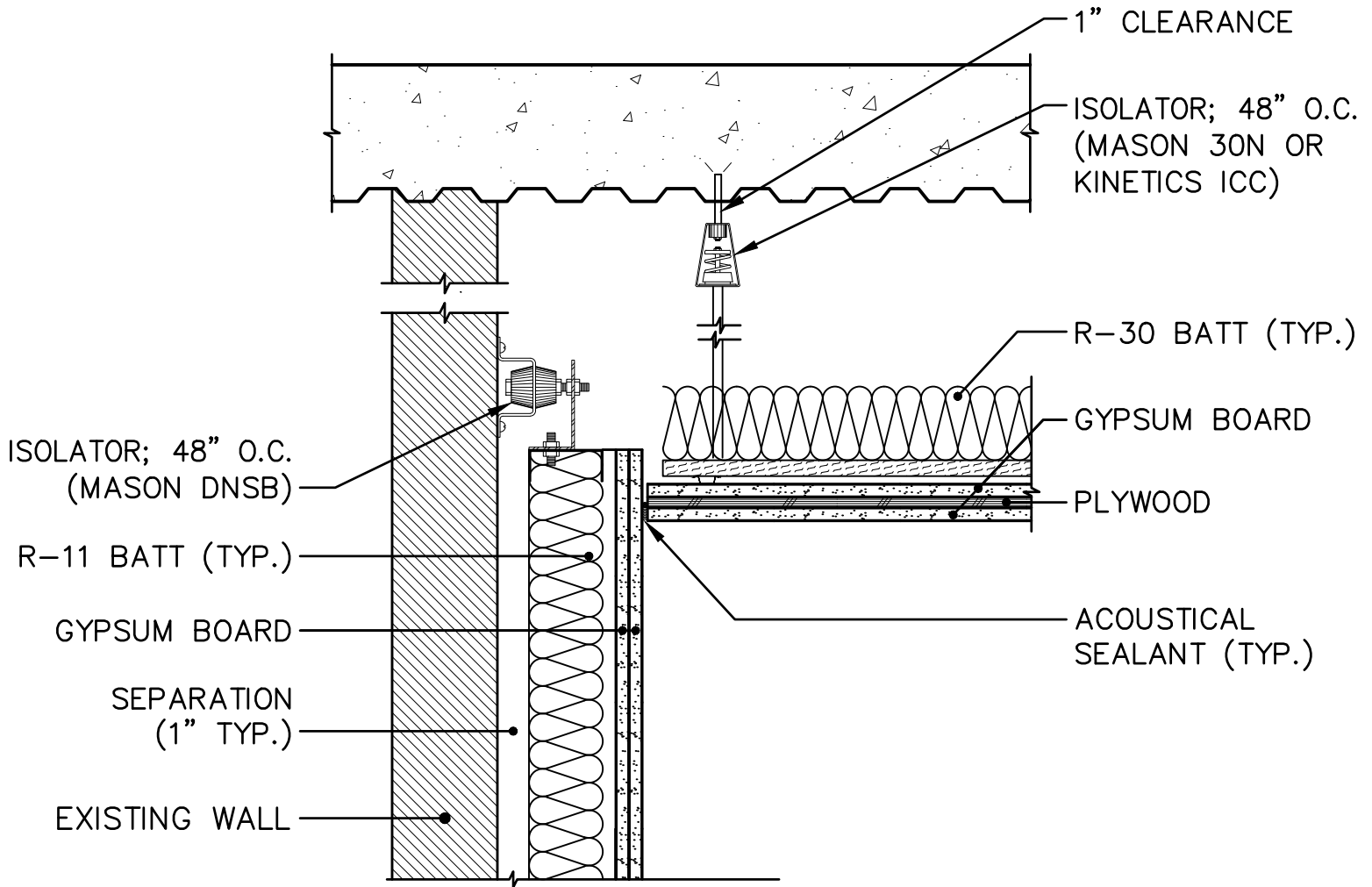
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FURRED SHAFT WALL STUDIO PERIMETER

FIGURE 9a

559G
 1.1.5

CMS
 08.28.06



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ISOLATED WALL-CEILING ASSEMBLY

FIGURE 9b

2070Y
 1.2.2.3, 1.2.2.6

JRD
 04.21.20

MEMORANDUM

Date: August 24, 2018

To:

From: Michael Kennedy, Fehr & Peers

Subject: *Legado Redondo Shared Parking*

Ref: LA18-3503

This technical memorandum summarizes the results of a shared parking analysis conducted by Fehr & Peers for the Legado Redondo project, located at 1700 S. Pacific Coast Highway in the City of Redondo Beach. To assess the adequacy of the proposed parking supply for uses that will be sharing parking supply, parking demand estimates were developed using the Urban Land Institute (ULI) shared parking model to estimate how typical hourly, daily, and seasonal usage patterns will affect peak parking demand.

PROJECT DESCRIPTION

This mixed-use project will consist of 115 dwelling units in one-, two-, and three-bedroom configurations, with three live/work units (totaling 5,826 square feet), and 15,713 square feet of retail/pedestrian-oriented restaurant space. A total of 321 parking spaces will be included in the project, including 233 spaces reserved for residents in an access-controlled area of the parking garage, and 88 shared spaces available for residential guest, commercial retail/restaurant (employees & visitors), and live/work (residents/employees & visitors), as shown in Table 1.

Table 1: Legado Redondo Proposed Parking Supply

PARKING ZONE	SPACES
Residential Reserved Spaces	233
Shared Spaces (residential guest, commercial, live/work)	88
Total	321

PARKING ANALYSES

Municipal Code Required Parking

The City of Redondo Beach Municipal Code provides for residential and non-residential parking standards for different land uses. Per the Code, residential standards are detailed in Section 10-2.1704, which requires the provision of a minimum of two parking spaces per dwelling unit in multiple-family dwelling units, plus an additional one space per every three dwelling units for residential guest parking. Section 10-2.1706 details parking standards for non-residential uses. Commercial, as well as pedestrian-oriented restaurants, require one space per every 250 square feet of gross floor area. Live/Work units are not explicitly included in these sections, but the City has required that this project provide 3.3 spaces per unit.



Table 2 details the Code required parking supply and the relationship of the Code supply to the proposed supply. The project will exceed the required residential reserved parking by 3 spaces but will provide 23 fewer spaces for the shared parking uses compared with the Code requirement for each use in isolation.

Table 2: Municipal Code Required Parking Supply

Use	Existing Square Footage	Muni Code Parking Ratio (per DU or 1,000 SF)	Code Required Parking Supply	Proposed Supply (Total & Net of Code)
Reserved Parking Uses				
Residential Reserved	115 dwelling units (DU)	2.00	230	233 (+3)
Shared Parking Uses				
Residential Guest	115 dwelling units (DU)	0.33	38	88 (-23)
Live/Work	3 Units	3.30	10	
Commercial (Retail & Pedestrian-Oriented Restaurant)	15,713	4.00	63	

Section 10-5.1706 of the Code allows for the Community Development Department to approve:

“shared parking subject to a determination that the typical utilization of the parking area would be staggered or shared to such an extent that the reduced number of parking spaces would be adequate to serve all uses on the site or parcel.”

The analysis that follows presents the analysis used to determine whether the 88 spaces proposed for the shared uses is adequate.

Shared Parking Analysis

The ULI sponsored a national study in 1984 that established a basic methodology for analyzing parking demand in mixed-use developments and developed averages for parking ratios by land use. Fehr & Peers staff was involved in the 2004 update of this national study sponsored by ULI¹. The analysis presented in this report uses data from the *Shared Parking, Second Edition* report. The data that were used to develop the model are empirically collected hourly parking demand count data at a variety of mixed-use centers with a multiple land uses. Time of day and daily and seasonal variations of individual land uses are central to shared parking. Many uses will experience peak parking demand at different times of day and days of the week. For example, residential parking typically peaks in the evening and overnight, and is lowest during the middle of a weekday. Commercial office uses typically peak mid-morning during a weekday and are lower in the evenings. In a mixed-use center with both office and residential, it is typically not necessary to provide

¹ *Shared Parking, Second Edition*, Urban Land Institute, Washington D.C., 2004



parking to serve the individual peak parking demand for each individual use, because they occur at different times of day.

In order to evaluate the number of spaces needed under shared parking conditions, the mix of land uses proposed at Legado Redondo were analyzed using the shared parking model. Because residential reserved parking will be provided above the amount required by Code and will be located in an access-controlled area of the project, it is not included in the analysis. Only residential guest parking is included.

ULI ratios were applied to all land uses, except residential, which uses Code ratios for a more conservative analysis. Consistent with the ULI shared parking methodology, separate ratios were used for weekday and weekend and for customers, employees, residents and visitors. The derived ratios use the daily/hourly/seasonal patterns for calculating the parking demand based on the unique characteristics of the project being analyzed.

Live/Work is not a specific category contained in the shared parking model, and so was analyzed based on the following assumptions:

- Downstairs floor area assumed to be the “work” portion of each unit, and was analyzed using the ULI ratio for office
- Upstairs floor area assumed to be the “live” portion and was analyzed as residential. Because the upstairs area of each live/work unit is one-bedroom, a parking ratio of 1 space per dwelling unit, plus 0.33 spaces for residential guest parking was applied.

Because the retail and pedestrian-oriented restaurant uses proposed in the project are expected to be neighborhood serving, a 10% non-auto mode-share adjustment was applied to the retail parking demand for customers reflecting that these uses at Legado Redondo will generate a share of walk-in traffic. None of the other uses were adjusted for mode-share.

Table 3 provides a summary of base parking demand ratios recommended by ULI and the Code parking ratios applied in the analysis.

Table 3 –Shared Parking Base Parking Demand Ratios

Land Use	Weekday Parking Demand Ratio ^[2]		Weekend Parking Demand Ratio ^[2]	
	Visitor/ Guest	Employee/ Resident	Visitor/ Guest	Employee/ Resident
Residential (Apartments) [1]	0.33	2.00	0.33	2.00
Retail/Pedestrian-Oriented Restaurant	3.20	0.80	3.60	0.90
Live/Work – Office Portion	0.30	3.50	0.03	0.35
Live/Work – Residential Portion	0.33	1.00	0.33	1.00

[1] – Base rates for residential (apartments) were obtained from the City of Redondo Beach Zoning Code.

[2] – Recommended parking rates are per 1,000 sq. ft. for retail and office uses and, per dwelling unit for residential uses.



SUMMARY OF RESULTS

Table 4 summarizes the shared parking analysis results using the methodology and assumptions described above. As shown in the table, peak parking demand of 86 spaces is estimated to occur on a weekend day at 7:00 PM, driven primarily by retail visitors and residential guest parking. Weekday peak demand is estimated at 84 parking spaces and will also occur at 7:00 PM, when both of those uses are active.

Figure 1 shows weekday and weekend shared parking demand estimates for each month of the year. Retail and restaurant uses tend to peak in December, so that month is expected to generate the highest peak parking demand, with lower demand throughout the other months of the year. Figure 2 illustrates the expected hourly parking accumulation on the peak day.

The shared parking analysis confirms that the proposed 88 space parking supply for the shared uses, inclusive of retail, pedestrian-oriented restaurant, residential guest, and live/work is sufficient to meet expected parking demand.

DRAFT

**TABLE 4
SHARED PARKING DEMAND SUMMARY**

PEAK MONTH: DECEMBER -- PEAK PERIOD: 7 PM, WEEKEND

Projected Parking Supply: 88 Stalls		Weekday							Weekend				Weekday			Weekend		
Land Use	Project Data Quantity Unit	Base Rate	Mode Adj	Project Rate	Unit	Peak Hr	Peak Mo	Base Rate	Mode Adj	Project Rate	Unit	Peak Hr	Peak Mo	Estimated Parking Demand	Peak Hr	Peak Mo	Estimated Parking Demand	
						Presence 7:00 PM	Adj October					Adj 7 PM	Adj December		Adj 7 PM	Adj December		
Community Shopping Center (<400 ksf) Employee	15,713 sf GLA	2.90 0.70	0.90 1.00	2.61 0.70	/ksf GLA /ksf GLA	0.89 0.90	0.70 0.70	3.20 0.80	0.90 1.00	2.88 0.80	/ksf GLA /ksf GLA	0.75 0.95	1.00 1.00	31 10	0.75 0.80	1.00 1.00	34 10	
Residential, Rental, Shared Spaces Reserved	115 units sp/unit	0.00 0	1.00 1.00	0.00 0	/unit /unit	1.00 0.37	0.90 0.90	0.00 0.00	1.00 1.00	0.00 0	/unit /unit	0.97 1.00	1.00 1.00	0 0	0.97 1.00	1.00 1.00	0 0	
Guest	115 units	0.33 0.33	1.00 1.00	0.33 0.33	/unit /unit	0.37 0.37	0.90 0.90	0.33 0.33	1.00 1.00	0 0	/unit /unit	1.00 1.00	1.00 1.00	38 38	1.00 1.00	1.00 1.00	38 38	
Live/Work Residential Portion Reserved	3 units sp/unit	1.00 0.00	1.00 1.00	1.00 0.00	/unit /unit	0.80 0.94	0.90 1.00	1.00 0.00	1.00 1.00	1.00 0.00	/unit /unit	0.97 1.00	1.00 1.00	3 0	0.97 1.00	1.00 1.00	3 0	
Guest	3 units	0.33 0.33	1.00 1.00	0.33 0.33	/unit /unit	0.37 0.37	0.90 0.90	0.33 0.33	1.00 1.00	0.00 0.00	/unit /unit	1.00 1.00	1.00 1.00	1 1	1.00 1.00	1.00 1.00	1 1	
Live/Work (Office Portion) Employee	3,682 sf GLA	0.30 3.50	1.00 1.00	0.30 3.50	/ksf GLA /ksf GLA	0.94 0.97	1.00 1.00	0.03 0.35	1.00 1.00	0.03 0.35	/unit /unit	0.02 0.10	1.00 1.00	0 1	0.00 0.00	1.00 1.00	0 0	
ULI base data have been modified from default values.													Customer Employee Reserved Total	70 14 0 84	Customer Employee Reserved Total	73 13 0 86		

FIGURE 1
MONTH-BY-MONTH ESTIMATED PARKING DEMAND

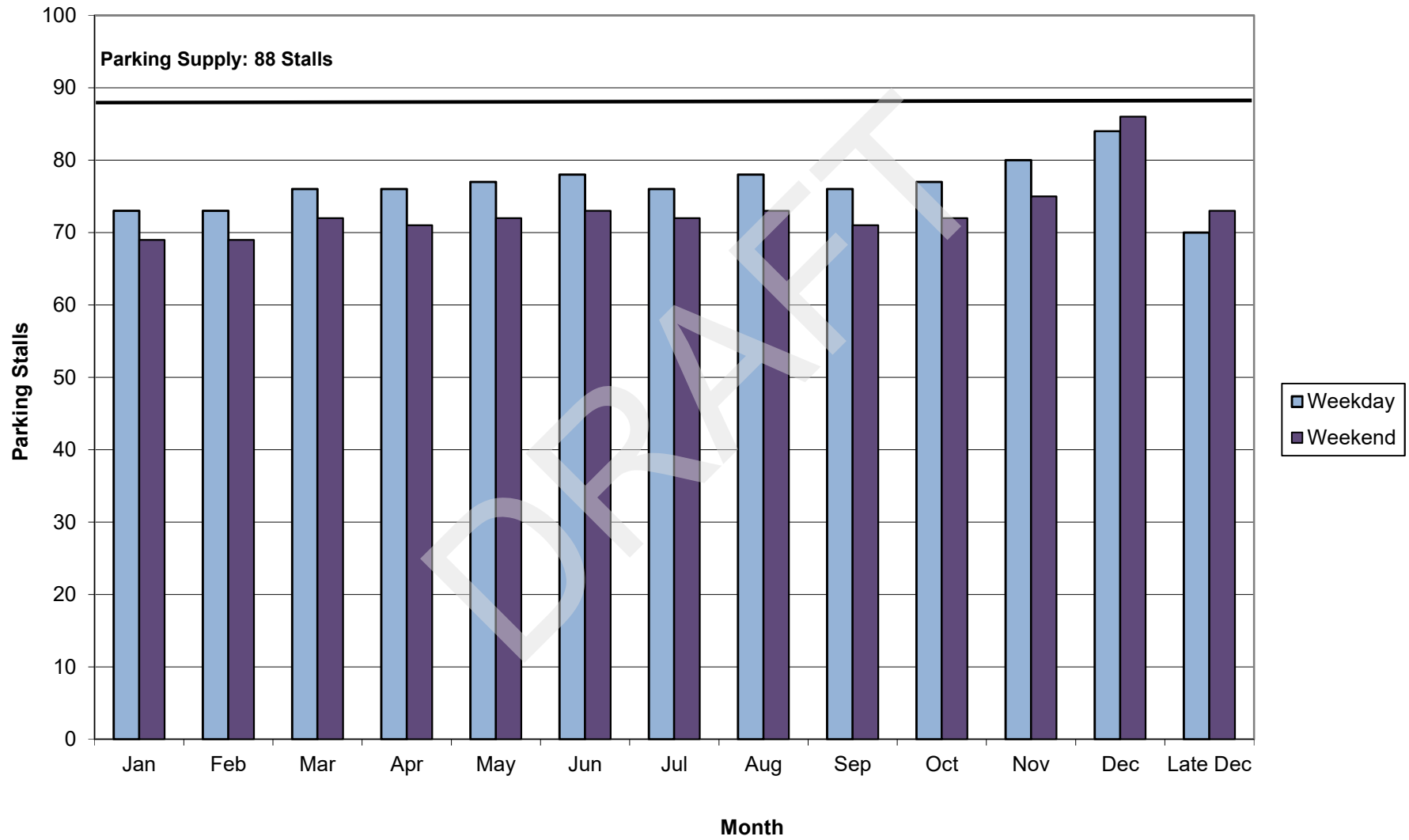
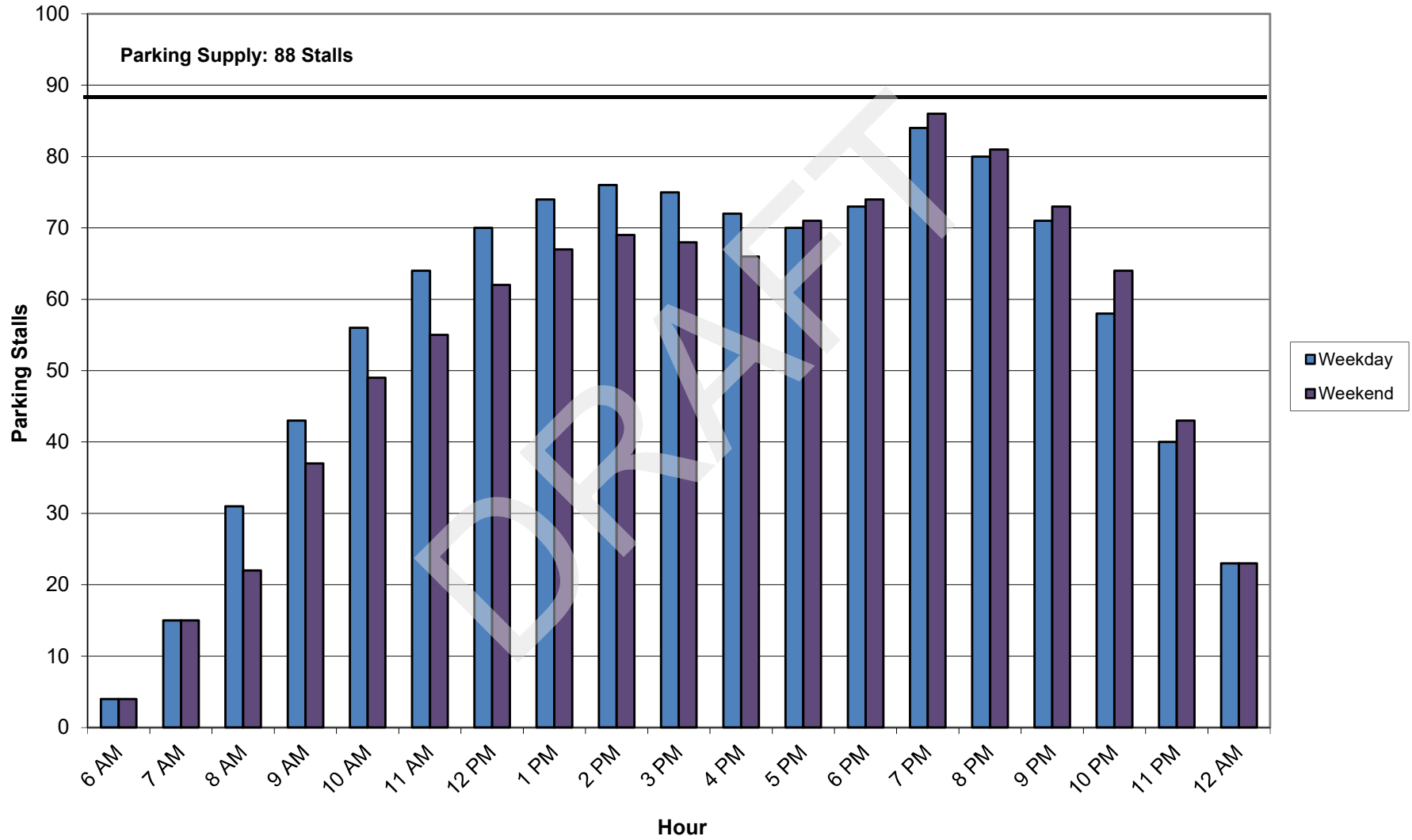


FIGURE 2
PEAK MONTH DAILY PARKING DEMAND BY HOUR





Administrative Report

J.2., File # PC24-2005

Meeting Date: 12/19/2024

TO: PLANNING COMMISSION
FROM: STEVEN GIANG, SENIOR PLANNER

TITLE

PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC -COMMUNITY FACILITY (P-CF) ZONE.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652)

EXECUTIVE SUMMARY

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a live performance theater (Shakespeare by the Sea/Little Fish Theatre) (performance art facility) in an approximately 8,861 square foot tenant space within an existing multi-tenant public-community facility (medical offices and health-related facility). The nonprofit organization would occupy an existing basement area, which was previously occupied by a childcare development facility.

The proposed nonprofit arts organization intends to provide theatrical experiences of new, classic, and contemporary works. Their mission is to enrich the lives of individuals, youth, and their families in diverse communities. The Little Fish Theater is a subsidiary of Shakespeare by the Sea, and while related, only Little Fish Theater will be hosting performances at this facility. Shakespeare by the Sea will occupy part of the space and only use the facility from June to August. Shakespeare by the Sea

will not host performances at this location and will use this time host fundraising events within the building and rehearsals for their other locations throughout the region. The number of guests during the fundraising events are expected to be 60 to 80 people and is scheduled for both day or evening events.

The Little Fish Theatre is proposing to host performances at the subject site between the months of September to May. The organization plans to have an average of 6 to 9 productions per year with approximately 60-90 attendees with a maximum capacity of up to 98 audience members. Admission is ticketed and performances will last 2 to 3 hours.

The schedule per production is proposed to be Thursday through Sunday from 8:00pm - 11:00pm and matinees on Saturday and Sunday from 2:00pm to 5:00pm. Little Fish Theatre will also have rehearsals from Monday through Thursday from 6:00pm to 11:00pm and Saturdays and Sundays from 10:00am to 4:00pm. All of which is proposed to be entirely within the rehearsal and performance space. During the day the office hours will be flexible with an anticipated 2 to 3 part time staff on site.

No changes to the exterior of the building are proposed and the outdoor portion of the project will not be used for performances but is intended to be a gathering area for guests before and after the shows.

BACKGROUND

Existing Site, Surroundings, Zoning, and Project Description

The subject site is located on the east side of N. Prospect Avenue just north of Diamond Street, and is currently developed with a multi-tenant medical facility also known as the Beach Cities Health District (BCHD). Additionally the Silverado Assisted Living Facility (60 beds) is also located within the existing facility. The properties to the north are zoned Commercial (C-2) and developed with a commercial shopping center. The properties to the west and south are zoned and developed with single family residential (R-1) uses. The properties to the east are single-family residential properties within the City of Torrance.

The existing site is developed with a multi-building, multiple-tenant medical building on a 407,808 square-foot property. The proposed live performance theater would occupy one (1) existing basement space, within an approximate area of 8,861 ft². The building sits centrally on the property and is setback from the adjacent residentially zoned and developed properties located within the City of Torrance by approximately 200 feet. The property is served by a total of 812 parking spaces on the existing campus, including 391 spaces located on the surface lots and 421 spaces located within the existing parking structures on site. Vehicular access to/from the property is off of N. Prospect Avenue and the majority of the anticipated parking for the live performance use will be located along the eastern portion of the existing property. No new parking spaces are required for this project as the site has ample parking for the additional guests at the time of the proposed performances as the proposed use will be happening during off-peak hours, when most of the medical facility parking will be available.

The applicant intends to remodel the interior of the existing space, creating additional storage areas for equipment and costumes, as well as creating a rehearsal and theatre space and dressing rooms. Additionally, an inner lobby and front lobby are proposed to be constructed. The interior theater space

is proposed to be 2,300 ft² for the performers and 98 audience members. The stage that is being used for the performances is approximately 130 ft² in area and will be no taller than 6 inches in height above the existing floor. No changes to the exterior of the building are proposed except minor refurbishing of the existing outdoor space which does not require any permits from the City of Redondo.

ANALYSIS

Live performance theaters (performance art facilities) are a conditionally permitted use and require a Conditional Use Permit in the Public-Community Facility (P-CF) zone per Section 10-2.1110. With the performances proposed to be entirely within the basement of the existing facility and the significant distance from the nearest residential uses, the analysis section herein presents the required “findings” pursuant to RBMC Section 10-2.2506 with some additional focused analysis concerning “Parking and Operations”. The parking and operations are the only issues that required some additional focused analysis.

Conditional Use Permit

Pursuant to Redondo Beach Municipal Code Sections 10-2.1110 and 10-2.2506, the proposed live performance theater requires the issuance of a Conditional Use Permit with Planning Commission approval. The Conditional Use Permit serves to ensure that certain uses possessing unique characteristics will not adversely affect surrounding uses and properties, nor disrupt the orderly development of the community. For approval of the project, the Planning Commission must make the following findings in the affirmative. The following italicized text is the specific response to the individual criteria:

- a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

The proposed live performance theater is not located within the Artesia and Aviation Corridors Area Plan. The live performance use will be housed within the basement of an existing public-community facility building previously used by a childcare development center. The proposed use is in conformity with the General Plan land use designation of Public (P) uses which allows various public uses, which include “public cultural facilities”. Additionally, Goal 1A states, “Provide for the types and mix of land uses necessary to serve the needs of existing and future residents” and Objective 1.5 and Policy 1.51 read, “Provide for the continuation of existing and development of new public service uses and facilities which meet the needs of the City's residents” and “Allow for the continuation of existing public recreational, cultural (libraries, museums, etc.), educational, institutional (governmental, police, fire, etc.), and health uses at their present location [areas classified as Public (“P”) on the Land Use Plan map] and development of new uses where they complement and are compatible with adjacent land uses (I1.1)”. Additionally, the site as developed is

adequate to accommodate all require parking spaces, meets all required setbacks and has existing significant landscaping between the existing facilities and the nearest residential properties to the south of the facility..

- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.

The site is directly adjacent to a signalized intersection at N. Prospect Avenue, a secondary arterial street, and Diamond Street. The access to the subject property is limited to N. Prospect Avenue therefore limiting access to Diamond Street via a controlled intersection. Additionally, the existing driveway on N. Prospect Avenue complies with RBMC driveway standards. Pedestrian access is also provided by an existing ADA compliant walkway from the public sidewalk on N. Prospect Avenue. It is anticipated that the many of the expected attendees will “carpool” to the performances as they are geared towards families/children. With this in mind the expected occupancy of upwards of 90 attendees could result in approximately 50 trips that would occur outside the PM peak hour with performances beginning at 8 PM. Therefore, the quantities expected can be accommodated by the adjacent roadways (Prospect, Diamond, and Beryl).

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The live performance theater will operate entirely within an existing basement space with a use that is not anticipated to project any noise due to being both subterranean and entirely indoors. Additionally, there is an approximate 200-foot distance and heavy landscaping to the closest residential properties which will further mitigate any potential noise impacts. Adequate parking exists on site for the proposed live performance theater use (as demonstrated in the shared parking analysis) and no other exterior changes are planned.

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:
 - a. Additional setbacks, open spaces, and buffers;
 - i. The existing side setback of 120 feet complies with applicable RBMC development standards (20 foot setback) as the adjacent uses east of the site are residentially zoned.*
 - b. Provision of fences and walls;
 - i. Not applicable. The existing wall between the subject property and adjacent uses is 5 feet in height. No new fences or walls are proposed as a part of this project scope.*
 - c. Street dedications and improvements, including service roads and alleys;
 - i. A change in use does not trigger street dedications. The existing right-of-way for Prospect Avenue is 120'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the subject property (N. Prospect Avenue) are consistent*

- with City standards.*
- d. The control of vehicular ingress, egress, and circulation;
 - i. Existing two-way access driveway and traffic signal complies with Zoning Ordinance and Public Works standards.*
 - e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
 - f. Provision of landscaping and the maintenance thereof;
 - i. Existing compliant landscaping to remain.*
 - g. The regulation of noise, vibration, odor and the like;
 - i. The proposed use is entirely indoors and will not produce any excessive noise, vibration, or odor.*
 - h. Requirements for off-street loading facilities;
 - i. Loading facilities can be accommodated by small trucks and vans that utilize the immediate adjacent ground floor parking lot.*
 - i. A time period within which the proposed use shall be developed;
 - i. The proposed tenant improvement will comply with required building construction and inspections days/hours.*
 - j. Hours of permitted operation and similar restrictions;
 - i. Hours of performances are proposed to be 8:00PM to 11:00PM between Thursday through Sunday and additional matinees on Saturday and Sunday between 2:00PM to 5:00PM. This will further reduce any potential parking concerns as the live performance theater's peak times will be during the evenings when many of the other tenants will be closed.*
 - ii. Hours of rehearsals are anticipated to be between Monday through Thursday from 6:00PM to 11:00PM and Saturday and Sundays from 10:00AM to 4:00PM.*
 - iii. The anticipated performance schedule will be from September to May, with no performances planned during the summer months of June to August.*
 - k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. Not applicable. No billboards are located on this subject property.*
 - l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. The conditions of approval address all noted issues of concern, namely potential parking and the acquisition of all related certificates and licenses required by the State, County of Los Angeles, and City of Redondo Beach, resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.*

The project is consistent with the Comprehensive General Plan of the City. Policy 1.46.1 of the Land Use Element allows for the accommodation of cultural facilities such as performing and visual arts. The live performance theater will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce significant noise impacts and there is an existing 120-foot setback from the nearest residential uses to the northeast. No

dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the performing arts business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed performing arts business use. Concerning parking, the applicant conducted an extensive parking survey that determined all required parking for this use could be accommodated on the subject property. This is supported by the fact that the hours of the performances, as conditioned, are after normal business hours which results in the availability of most of the parking spaces for the subject business. Additional conditions of approval have been added that require the following:

- That the business be permitted to hold performances between the hours of 8:00PM to 11:00PM, Thursday through Sunday; and 2:00PM to 5:00PM on Saturday and Sundays; between the months of September to May.
- Maximum number of ninety-eight (98) audience members occupy the theater space at any given time; and
- That all performances and rehearsals shall occur exclusively within the interior of the tenant space.

Figure No. 1 - Existing site and distances to nearest residential uses



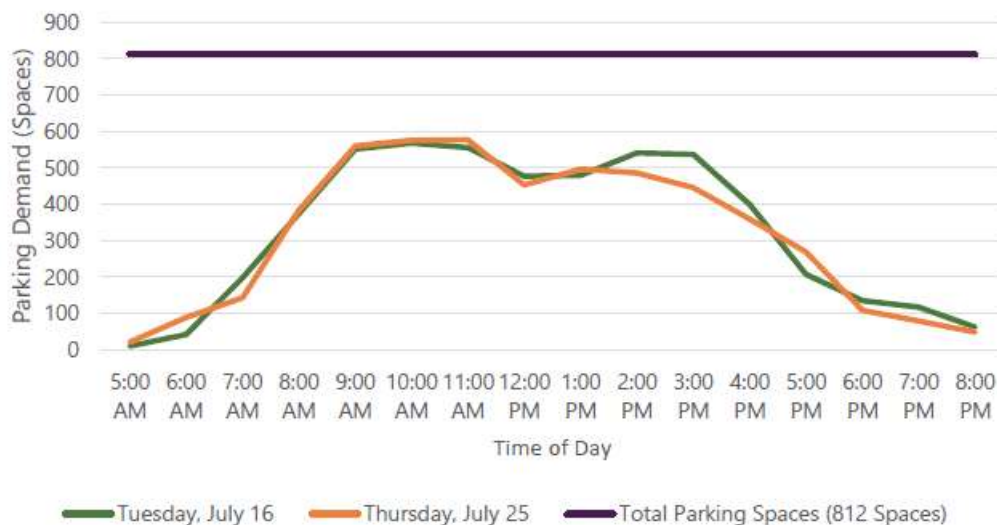
Parking and Operations

In addition to the analysis of the specific use regulations applicable to this land use type, staff conducted additional analysis concerning parking to ensure compliance with the RBMC standards and potential “actual” parking conditions.

Based on a recent parking analysis of the site conducted in Summer of 2024 for an unrelated project on the site, a total of 812 parking space exists at the BCHD campus, 391 of which are located on surface lots and 421 spaces are located within the existing parking garage of the campus. A parking study performed in July 2024, indicated that peak parking hours are typically between 9:00AM to 3:00PM at a maximum of approximately 600 spaces being utilized which leaves a surplus of over 200 spaces during peak hours. By 6:00PM, the on-site utilization of parking dwindles to approximately 150 spaces being used out of the 812 spaces available. This allows for the proposed live performance theater to utilize the parking spaces available for surplus parking on the site.

Figure No. 2 below presents the fluctuation in observed parking demand by time of day for two sample days, July 16th and July 25th. Higher demand was observed between the hours of 8:00AM and 3:00PM, which is typical of medical offices, which is one of the major uses on the existing campus. Additionally, many of the medical administrative offices are closed on Saturday and Sunday which would provide additional spaces for the proposed Saturday and Sunday matinee times of the live performance theater.

Figure No. 2 - Existing Land Use Parking Demand by Time of Day



Based on the parking demand study, the proposed live theater operation, particularly the hours of operation, the allocated parking spaces will be sufficient. In furtherance of confirming that the parking in support of the public-community facility could accommodate all existing and this proposed use, staff reviewed the general hours of operation from existing tenants as compared with the proposed hours for the subject business and found that there would only be very limited overlap with the existing on-site uses.

Based upon the project’s compliance with RBMC parking standards, one space for every five seats

or one space for every 40 square feet of seating area where there are no fixed seats, the parking required for this use is 43 spaces. As demonstrated by the parking demand study, the available on-site parking can accommodate the required parking spaces. With the anticipated staggered peak times for the various existing facility and the proposed live theater performance, parking is not anticipated to be an issue.

Based on a review of the application, operations, and the plans by the Planning Division, approval of the project is recommended.

PUBLIC CORRESPONDENCE

Staff received 13 public comments in response to the public notice that was published on December 5, 2024. All 13 comments were in support of the proposed live performance theater with themes generally centered around the use being a cultural benefit to the community and supporting the move from the nonprofit's prior location in San Pedro, specifically feeling safer with the proposed parking than the street parking required at the previous location.

ENVIRONMENTAL STATUS

The proposed project is Categorical Exempt from the preparation of environmental analyses, pursuant to Sections 15301(a) (Existing Facilities) of the California Environmental Quality Act (CEQA). This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

CONCLUSION

Staff recommends that the Planning Commission approve the Exemption Declaration and grant the Conditional Use Permit subject to the findings and conditions contained within the attached draft resolution.

Prepared by:

Approved by:

Steven Giang, AICP
Senior Planner

Sean Scully
Planning Manger

ATTACHMENTS

1. 514 N. Prospect Avenue - Exemption Declaration
2. 514 N. Prospect Avenue - Draft Resolution
3. 514 N. Prospect Avenue - Plans
4. 514 N. Prospect Avenue - Public Comments
5. 514 N. Prospect Avenue - Parking Demand (for a projected related to the Allcove Facility)



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: December 12, 2024

PROJECT ADDRESS: 514 N. Prospect Avenue

PROPOSED PROJECT: CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITION USE PERMIT TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652)

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

Section 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA) states, in part, that the minor alteration or use of an existing structure involving no expansion does not have a significant effect upon the environment and is categorically exempt from environmental review. This finding is supported by the fact that the proposed project consists of a new business combining and occupying three adjacent tenant spaces within an existing commercial building. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

The subject site is not located within an area designated as an environmental resource of hazardous or critical concern, or within the California Coastal Zone, or within an officially designated, state scenic highway, or within a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.

Steven Giang
Senior Planner

RESOLUTION NO. 2024-12-PCR-**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652)

WHEREAS, an application was filed on behalf of the owner of property located at 514 N. Prospect Avenue for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a live performance theater (performance art facility) on property located within the Public-Community Facility (P-CF) zone; and

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinance by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet of the exterior boundaries of the subject property; and

WHEREAS, after noticing the project pursuant to the City's noticing requirements, no comments were received on the project from either adjacent businesses and residences; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other interested parties at the public hearing held on the 19th day of December, 2024 with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-2.1628(c) of the Redondo Beach Municipal Code, approval of the Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
 - a. The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking,

loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

- i. The proposed live performance theater is not located within the Artesia and Aviation Corridors Area Plan. The live performance use will be housed within the basement of an existing public-community facility building previously used by a childcare development center. The proposed use is in conformity with the General Plan land use designation of Public (P) uses which allows various public uses, which include “public cultural facilities”. Additionally, Goal 1A states, “Provide for the types and mix of land uses necessary to serve the needs of existing and future residents” and Objective 1.5 and Policy 1.51 read, “Provide for the continuation of existing and development of new public service uses and facilities which meet the needs of the City’s residents” and “Allow for the continuation of existing public recreational, cultural (libraries, museums, etc.), educational, institutional (governmental, police, fire, etc.), and health uses at their present location [areas classified as Public (“P”) on the Land Use Plan map] and development of new uses where they complement and are compatible with adjacent land uses (I1.1)”. Additionally, the site as developed is adequate to accommodate all required parking spaces, meets all required setbacks and has existing significant landscaping between the existing facilities and the nearest residential properties to the south of the facility.*
- b. The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.
 - i. The site is directly adjacent to a signalized intersection at N. Prospect Avenue, a secondary arterial street, and Diamond Street. The access to the subject property is limited to N. Prospect Avenue therefore limiting access to Diamond Street via a controlled intersection. Additionally, the existing driveway on N. Prospect Avenue complies with RBMC driveway standards. Pedestrian access is also provided by an existing ADA compliant walkway from the public sidewalk on N. Prospect Avenue. It is anticipated that the many of the expected attendees will “carpool” to the performances as they are geared towards families/children. With this in mind the expected occupancy of upwards of 90 attendees could result in approximately 50 trips that would occur outside the PM peak hour with performances beginning at 8 PM. Therefore, the quantities expected can be accommodated by the adjacent roadways (Prospect, Diamond, and Beryl).*

- c. The proposed use shall have no adverse effect on abutting property or the permitted use thereof.
 - i. *The live performance theater will operate entirely within an existing basement space with a use that is not anticipated to project any noise due to being both subterranean and entirely indoors. Additionally, there is an approximate 200-foot distance and heavy landscaping to the closest residential properties which will further mitigate any potential noise impacts. Adequate parking exists on site for the proposed live performance theater use (as demonstrated in the shared parking analysis) and no other exterior changes are planned.*

- d. The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:
 - i. Additional setbacks, open spaces, and buffers;
 - The existing side setback of 120 feet complies with applicable RBMC development standards (20 foot setback) as the adjacent uses east of the site are residentially zoned.*
 - ii. Provision of fences and walls;
 - Not applicable. The existing wall between the subject property and adjacent uses is 5 feet in height. No new fences or walls are proposed as a part of this project scope.*
 - iii. Street dedications and improvements, including service roads and alleys;
 - A change in use does not trigger street dedications. The existing right-of-way for Prospect Avenue is 120'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the subject property (N. Prospect Avenue) are consistent with City standards.*
 - iv. The control of vehicular ingress, egress, and circulation;
 - Existing two-way access driveway and traffic signal complies with Zoning Ordinance and Public Works standards.*
 - v. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
 - vi. Provision of landscaping and the maintenance thereof;
 - Existing compliant landscaping to remain.*

- vii. The regulation of noise, vibration, odor and the like;
The proposed use is entirely indoors and will not produce any excessive noise, vibration, or odor.
- viii. Requirements for off-street loading facilities;
Loading facilities can be accommodated by small trucks and vans that utilize the immediate adjacent ground floor parking lot.
- ix. A time period within which the proposed use shall be developed;
The proposed tenant improvement will comply with required building construction and inspections days/hours
- x. Hours of permitted operation and similar restrictions;
Hours of performances are proposed to be 8:00PM to 11:00PM between Thursday through Sunday and additional matinees on Saturday and Sunday between 2:00PM to 5:00PM. This will further reduce any potential parking concerns as the live performance theater's peak times will be during the evenings when many of the other tenants will be closed.

Hours of rehearsals are anticipated to be between Monday through Thursday from 6:00PM to 11:00PM and Saturday and Sundays from 10:00AM to 4:00PM.

The anticipated performance schedule will be from September to May, with no performances planned during the summer months of June to August.
- xi. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
Not applicable. No billboards are located on this subject property.
- xii. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
The conditions of approval address all noted issues of concern, namely potential parking and the acquisition of all related certificates and licenses required by the State, County of Los Angeles, and City of Redondo Beach, resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.

The project is consistent with the Comprehensive General Plan of the City. Policy 1.46.1 of the Land Use Element allows for the accommodation of cultural facilities such as performing and visual arts. The live performance theater will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce significant noise impacts and there is an existing 120-foot setback from the nearest residential uses to the northeast. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the performing arts business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed performing arts business use. Concerning parking, the applicant conducted an extensive parking survey that determined all required parking for this use could be accommodated on the subject property. This is supported by the fact that the hours of the performances, as conditioned, are after normal business hours which results in the availability of most of the parking spaces for the subject business. Additional conditions of approval have been added that require the following:

- That the business be permitted to hold performances between the hours of 8:00PM to 11:00PM, Thursday through Sunday; and 2:00PM to 5:00PM on Saturday and Sundays; between the months of September to May.*
- Maximum number of ninety-eight (98) audience members occupy the theater space at any given time; and*
- That all performances and rehearsals shall occur exclusively within the interior of the tenant space.*

2. The plans, specifications, and drawings submitted with the application have been reviewed by the Planning Commission.
3. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Sections 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion,

from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. Based on the above findings, the Planning Commission does hereby approve the California Environmental Quality Act Exemption Declaration and grant the Conditional Use Permit pursuant to the plans, specifications, drawings, and application considered by the Planning Commission at its meeting of the 17th day of October, 2024.

SECTION 2. The Conditional Use Permit shall be void in the event that the applicant does not comply with the following conditions:

1. The approval granted herein is for performance art facility on a P-CF public-community facility property. The property shall be maintained and operated in substantial compliance with the plans reviewed and approved by the Planning Commission at its meeting on December 19, 2024.
2. The proposed project shall comply with all applicable codes, regulations, and requirements and the applicant shall obtain all necessary permits from the Building Division, Engineering Division, Fire Department, and any other agency with jurisdiction over the improvements to the site.
3. That the business may only be permitted to hold performances between the hours of 8:00PM to 11:00PM, Thursday through Sunday; and 2:00PM to 5:00PM on Saturday and Sundays; between the months of September to May.
4. That the business shall not be permitted to serve or sell alcohol from the premises.
5. That the business shall have a maximum occupancy limit of ninety-eight (98) audience members at any given time.
6. That all performances and rehearsals shall occur exclusively within the interior of the tenant space.
7. The Planning Division shall be authorized to approve minor changes.
8. In the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.

9. The Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.
10. In the event that complaints are filed with the City and the City determines that a violation of the City's municipal code has occurred, these entitlements may be brought back to the Planning Commission for additional business operations restrictions up to and including revocation of these entitlements in the event the business is determined to be non-compliant with Title 6 (Businesses, Professions, and Trades) and Title 10 (Planning and Zoning) of this code.

SECTION 3. The approved Conditional Use Permit shall become null and void if not vested within 36 months after the Planning Commission's approval.

SECTION 4. Prior to seeking judicial review of this Resolution, the applicant is required to appeal to the City Council. The applicant has ten (10) days from the date of adoption of this Resolution in which to file an appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this Resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 19th day of December, 2024.

Chair
 Planning Commission
 City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
 COUNTY OF LOS ANGELES) SS
 CITY OF REDONDO BEACH)

I, Sean Scully, Planning Manager of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2024-12-PCR-** was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 19th day of December 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sean Scully
Planning Manager

APPROVED AS TO FORM:

City Attorney's Office

GENERAL NOTES:

- ALL STRUCTURAL PLAN SHEETS AND INDEX SHEET OF CALCULATIONS (SHOWING NUMBER OF PAGES) MUST BE SIGNED BY THE CIVIL/STRUCTURAL ENGINEER OR ARCHITECT, LICENSED BY THE STATE OF CALIFORNIA, SEC. 106.3.3
- THE DESIGNATED WORK AREA OF ANY LIVE/WORK UNIT SHALL BE INSPECTED ANNUALLY BY THE FIRE DEPARTMENT.
- THE USE OF HAZARDOUS MATERIALS AND OPEN FLAMES IN LIVE/WORK UNITS SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE DEPARTMENT.
- STRUCTURAL OBSERVATION BY A LICENSED ARCHITECT OR CIVIL/STRUCTURAL ENGINEER, AS AUTHORIZED BY SECTION 1702, SHALL BE REQUIRED FOR THE ANCHORAGE SYSTEM WALL ANCHORS, ANCHOR CONNECTORS, CONTINUITY TIES AND OTHER ELEMENTS THAT ARE PART OF THE LOAD PATH SUPPORTING THE CONCRETE/REINFORCED MASONRY WALLS.
- FIRE ALARMS/LIFE SAFETY SYSTEM SHALL BE PROVIDED AS REQUIRED PER THE CURRENT CODE REQUIREMENTS. THE FIRE ALARM/LIFE SAFETY SYSTEM SHALL BE SUPPLIED FROM AN EMERGENCY GENERATOR IN A BUILDING WITH OCCUPIED LEVEL MORE THAN 75 FEET IN HEIGHT OR WITH AN OCCUPANT LOAD MORE THAN 500.

Beach Cities

LITTLE FISH THEATER CUP

514 North Prospect Avenue

Redondo Beach, California 90277

- All Contractors and Subcontractors must have valid business licenses to do business in the City of Redondo Beach.
- All work shall conform to the City of Redondo Beach building code, standards and to any other applicable ordinances.
- Contractor shall check and verify all dimensions at the site. All dimensions indicated are to face of stud, masonry or concrete, except where centerlines are indicated, or as specifically noted otherwise.
- All omissions or conflicts between various construction documents shall be brought to the attention of the Architect prior to proceeding with any work so involved.
- Any detail that applies to a particular situation shall apply to all other like situations.
- All Electrical work shall comply with the Uniform Building Code and National Electrical Code.
- All Plumbing work shall comply with the Uniform Building Code and Uniform Plumbing Code.
- All Heating and Air Conditioning work shall comply with the Uniform Building Code, Uniform Mechanical Code and Title 24.
- All work shall be done to the highest quality standards in the industry and in a safe and clean manner.
- Product substitutions shall be allowed only with the express written consent of the Architect.
- Any dimensions not given on the drawings shall be available from the Architect. Scaling of the drawings is expressly forbidden.
- Samples and/or catalogue cuts of all products and finishes will be required to be reviewed prior to installation by the Architect and/or the Owner.
- All gypsum wallboard shall be installed in accordance with UBC section 2511 and UBC table no. 25-G.
- Provide weather stripping at all exterior doors.
- Verify dimensions and locations of all openings, base, etc. and special provisions required for equipment, plumbing fixtures, ducts, conduits, finish hardware, etc.(Coordination), here written.

- Provide continuous and solid blocking behind all wall mounted fixtures and accessories including, but not limited to, toilet accessories, millwork items, etc. In addition, provide solid blocking as required for all recessed and semi-recessed fixtures and accessories, including, but not limited to medicine cabinets, etc.
- Fire blocking, vertical and/or horizontal, shall conform to section 708 of the UBC.
- All subcontractors shall be responsible for the removal of all debris accumulated as a result of their work.
- Each subcontractor shall be responsible for the protection of his materials, work and installation during the process of construction.
- The American Institute of Architects, "General Conditions to the Contract for Construction A201 - 1987", shall apply to all Contractors and Subcontractors as if here written.

PROJECT INFORMATION
 THE PROJECT IS DESCRIBED AS A THEATER PRODUCTION COMPANY LOCATED IN THE BASEMENT AREA OF THE BEACH CITIES MEDICAL FACILITY LOCATED AT 514 NORTH PROSPECT AVENUE, REDONDO BEACH, CALIFORNIA 90277.

EXISTING BUILDING SUMMARY

<u>BASEMENT AREA</u>	
THEATER AND BACK OF HOUSE CORRIDOR	8,266 SQ. FT.
TOTAL INTERIOR AREA	595 SQ. FT.
TOTAL INTERIOR AREA	8,861 SQ. FT.
<u>OUTDOOR AREA</u>	
EXIT STAIR	136 SQ. FT.
OUTDOOR AREA	4,216 SQ. FT.
TOTAL	13,213 SQ. FT.

PROPOSED BUILDING SUMMARY

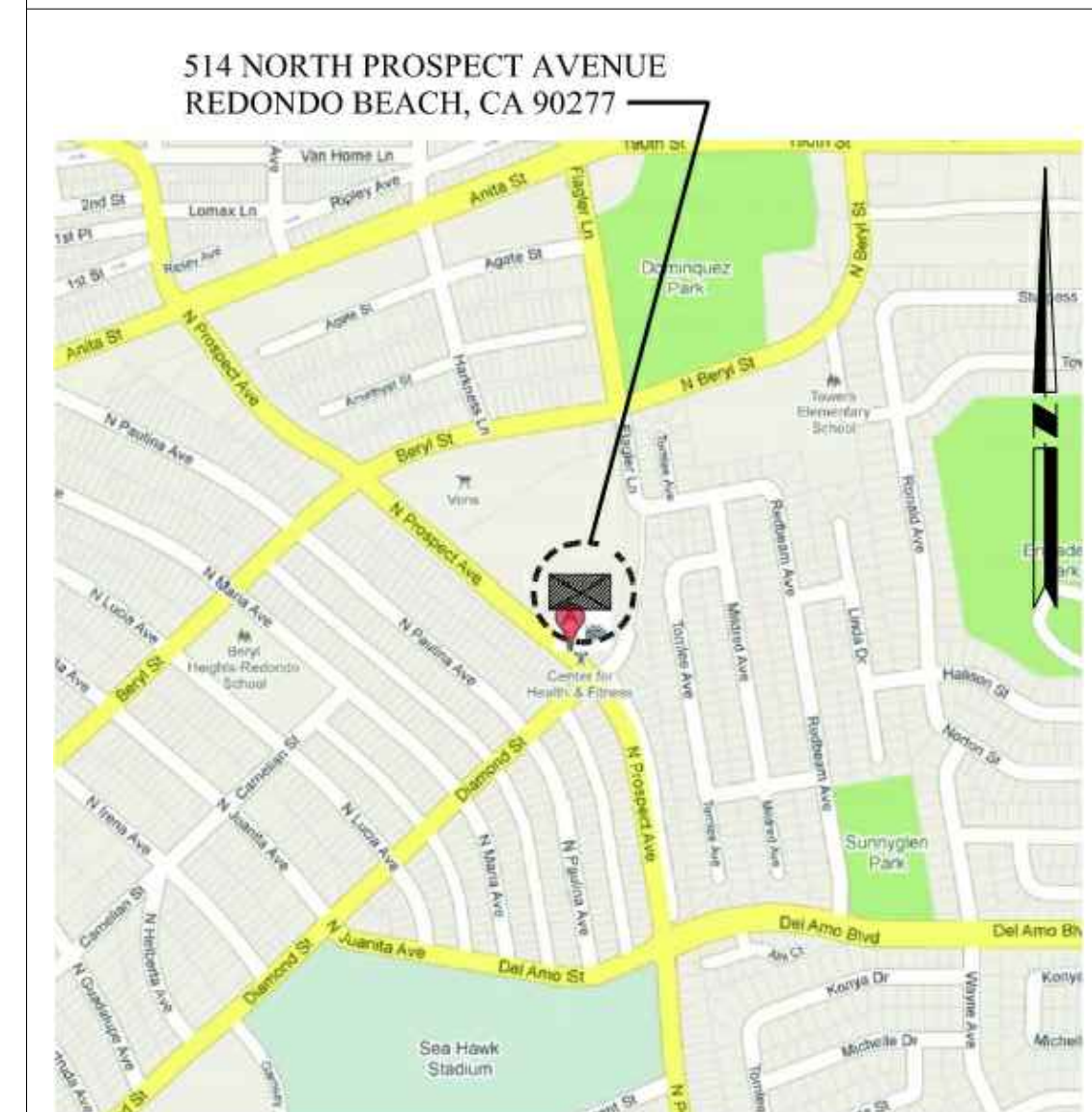
<u>BASEMENT AREA</u>	
THEATER SPACE	2,300 SQ. FT.
LOBBY, REHEARSAL, DRESSING ROOMS, RESTROOMS, STORAGE AREAS	6,561 SQ. FT.
TOTAL INTERIOR AREA	8,861 SQ. FT.
<u>OUTDOOR AREA</u>	
EXIT STAIR	136 SQ. FT.
OUTDOOR PLAYGROUND AREA	4,216 SQ. FT.
TOTAL	13,213 SQ. FT.

CONSTRUCTION TYPE/OCCUPANCY
 Type IA/1-4 FULLY SPRINKLERED AND FIRE ALARM REQUIRED

PROJECT TEAM

OWNER
 BEACH CITIES HEALTH DISTRICT
 514 NORTH PROSPECT AVENUE
 3RD FLOOR
 REDONDO BEACH, CA 90277
 ATTN: MONICA SUJA
 (310) 374-3426, EXT. 141

- TITLE SHEET, VICINITY MAP & NOTES
- SITE PLAN
- SURVEY
- DRONE IMAGE
- DETAIL AREA
- EXISTING LANDSCAPE AND OPEN SPACE AREA
- EXISTING FLOOR PLAN
- PROPOSED FLOOR PLAN
- ELEVATIONS



GENERAL NOTES

GENERAL INFORMATION

VICINITY MAP

SHEET INDEX

STAMP

CONSULTANT

TITLE

Beach Cities
 LITTLE FISH THEATER CUP

Redondo Beach, California 90277
 514 North Prospect Avenue

CLIENT



SOUTH BAY MEDICAL CENTER
 514 NORTH PROSPECT AVENUE
 REDONDO BEACH, CA 90277

ISSUES & REVISIONS

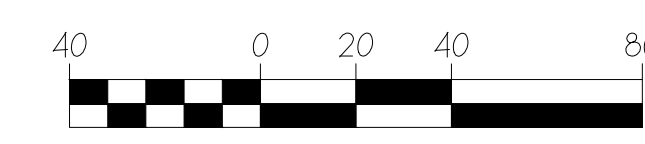
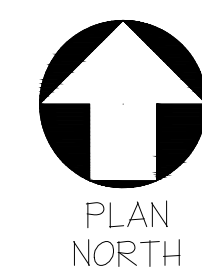
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TITLE SHEET

CITY SUBMITTAL
 JULY 29, 2024
 ISSUED FOR CONSTRUCTION
 XXX
 SHEET #



SITE PLAN
SCALE: 1"=40'-0"



STAMP

CONSULTANT:

TITLE

Beach Cities
LITTLE FISH THEATER CUP
514 North Prospect Avenue Redondo Beach, California 90277

CLIENT



SOUTH BAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

ISSUES & REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE

SITE PLAN

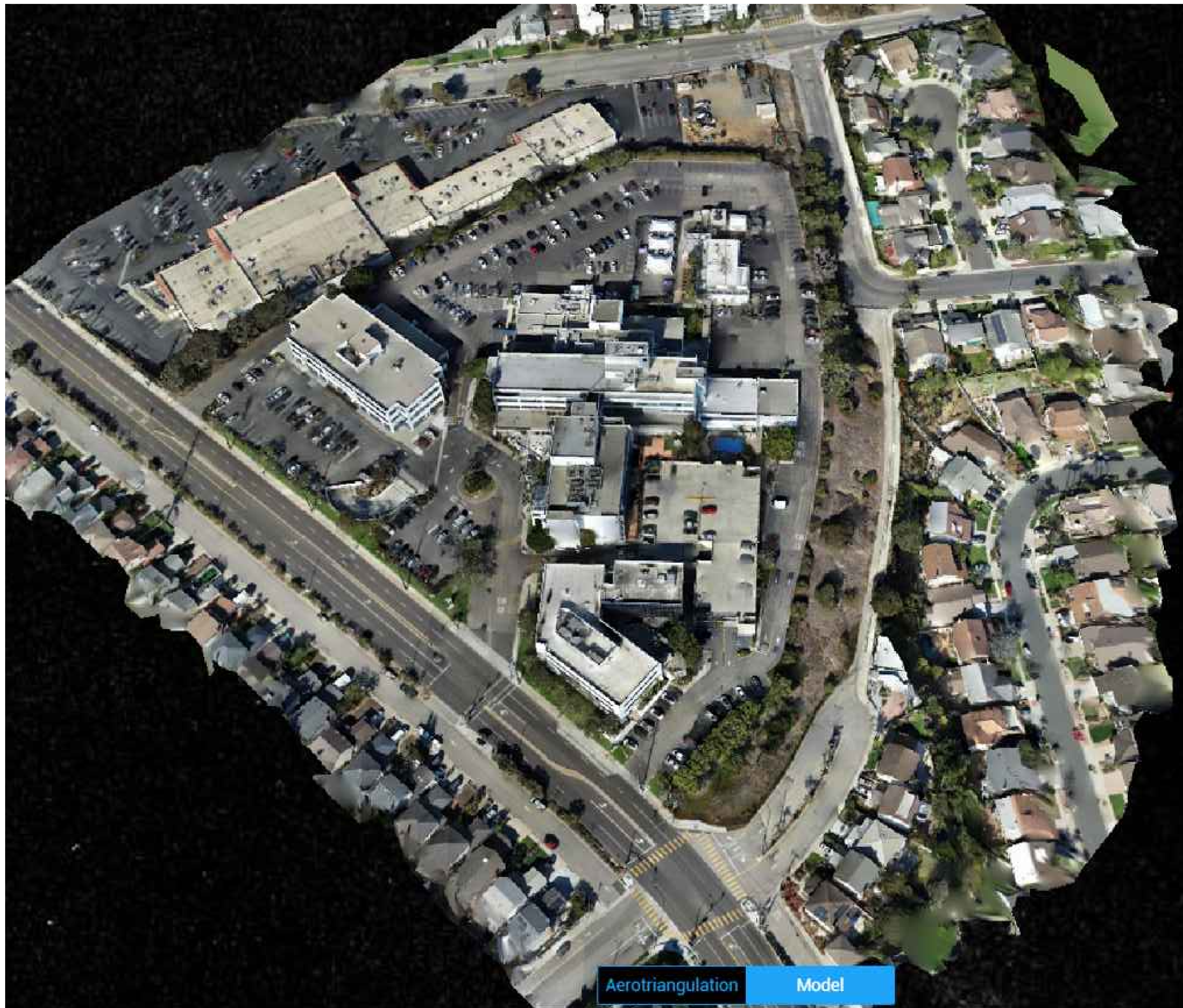
CITY SUBMITTAL

JULY 29, 2024

ISSUED FOR CONSTRUCTION

XXX

SHEET #



Aerotriangulation

Model

AERIAL PHOTO

STAMP

CONSULTANT

TITLE

Beach Cities
LITTLE FISH THEATER CUP
514 North Prospect Avenue Redondo Beach, California 90277

CLIENT



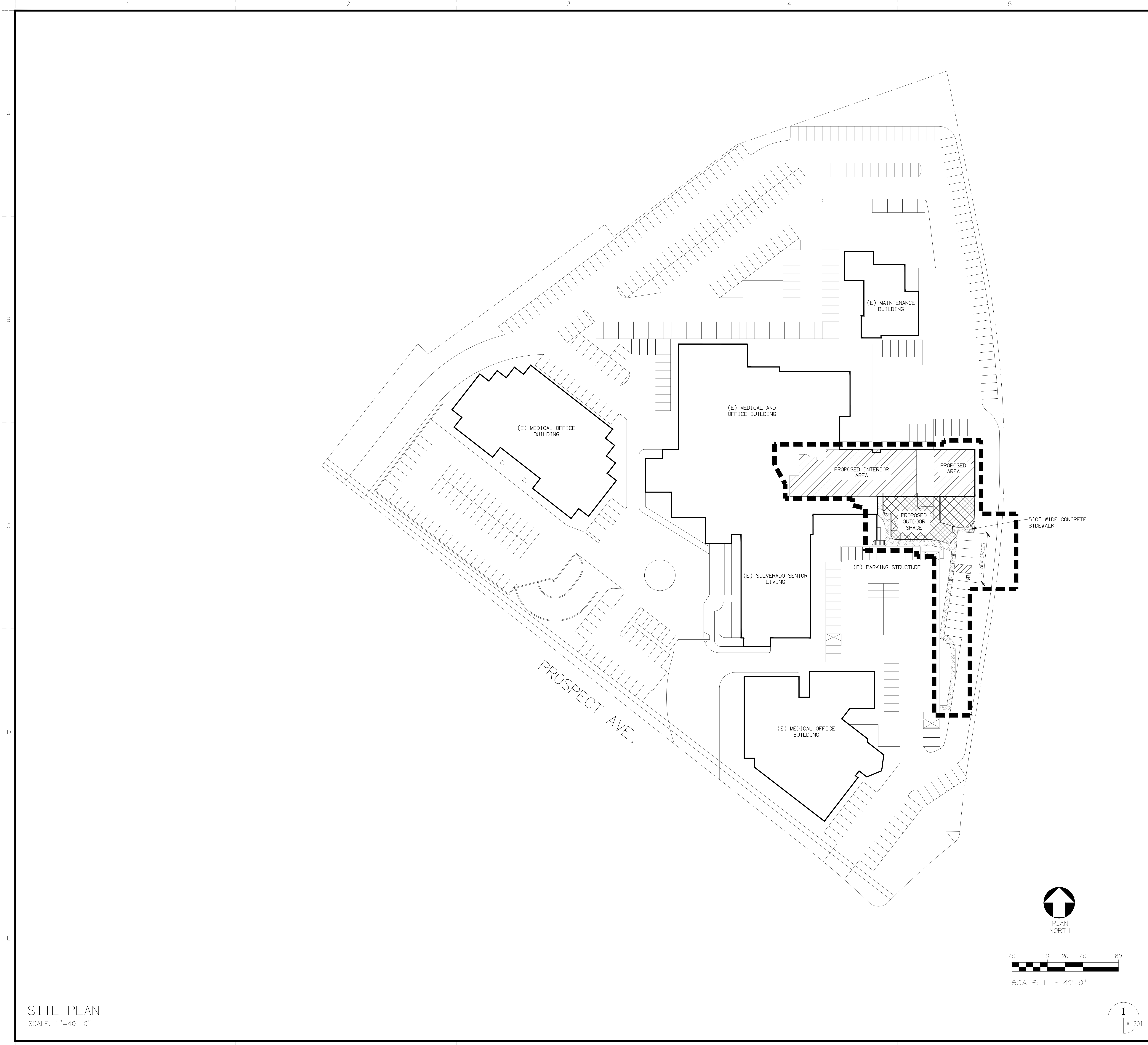
SOUTH-BAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

ISSUES & REVISIONS

NO.	DATE	DESCRIPTION

AERIAL PHOTO

CITY SUBMITTAL
JULY 29, 2024
ISSUED FOR CONSTRUCTION
XXX
SHEET #



PLAN LEGEND

- SCOPE OF WORK (AREA)
- PROPOSED INTERIOR SPACES
- PROPOSED OUTDOOR SPACE

STAMP

CONSULTANT:

TITLE

CLIENT

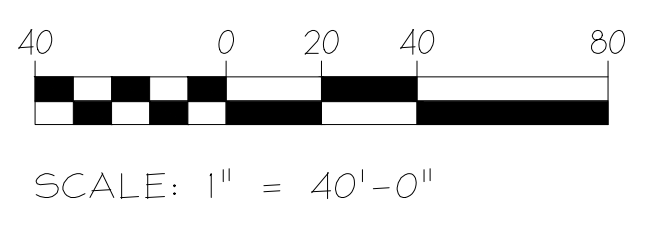
BCHD
Beach Cities Health District

SOUTH BAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

ISSUES & REVISIONS

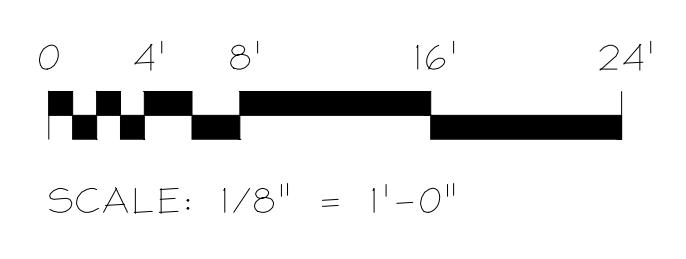
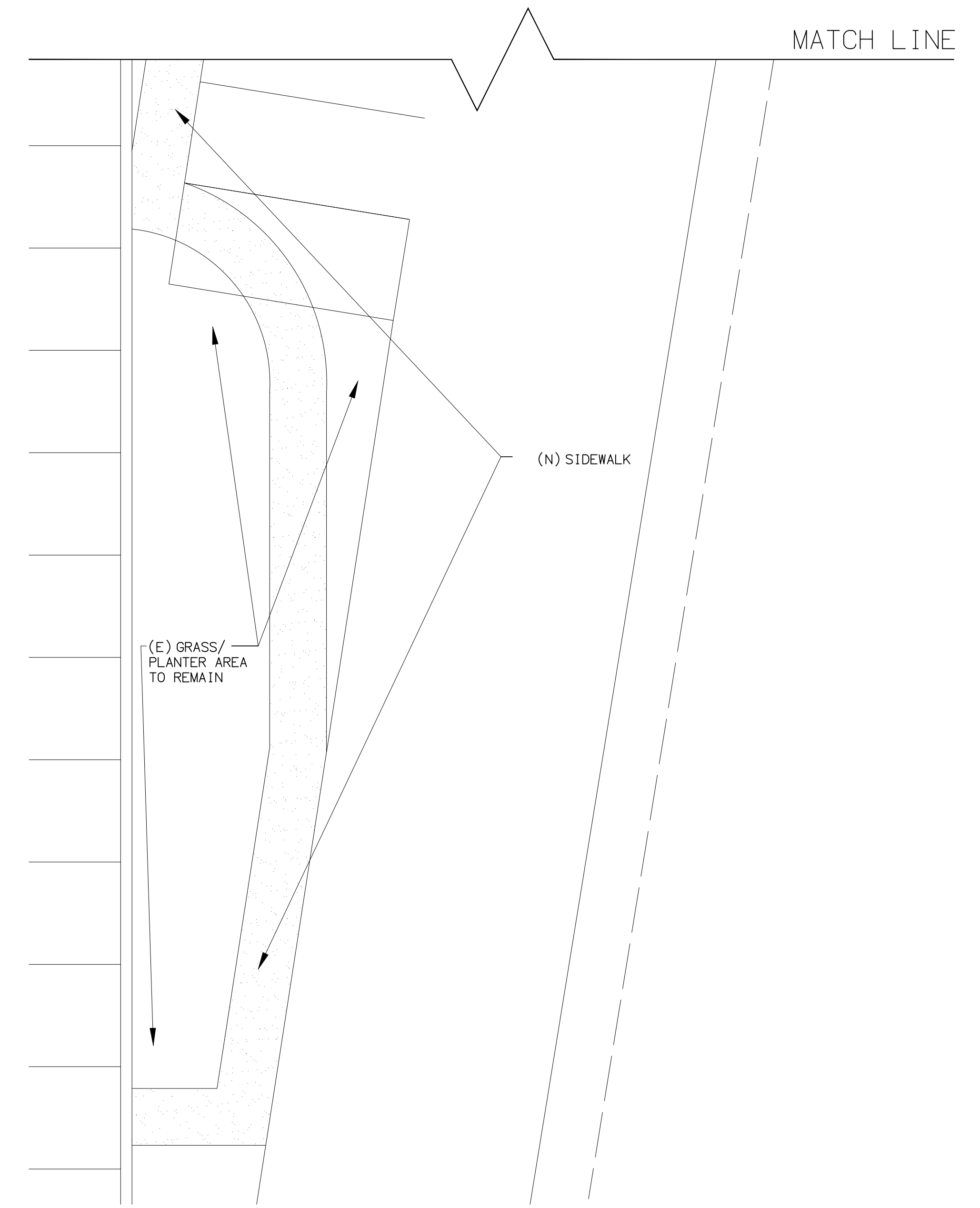
DETAIL AREA

CITY SUBMITTAL
JULY 29, 2024
ISSUED FOR CONSTRUCTION
XXX
SHEET #



1
- A-201

SITE PLAN
SCALE: 1"=40'-0"



STAMP

CONSULTANT

TITLE

Beach Cities
LITTLE FISH THEATER CUP
514 North Prospect Avenue
Redondo Beach, California 90277

CLIENT

SOUTHBAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

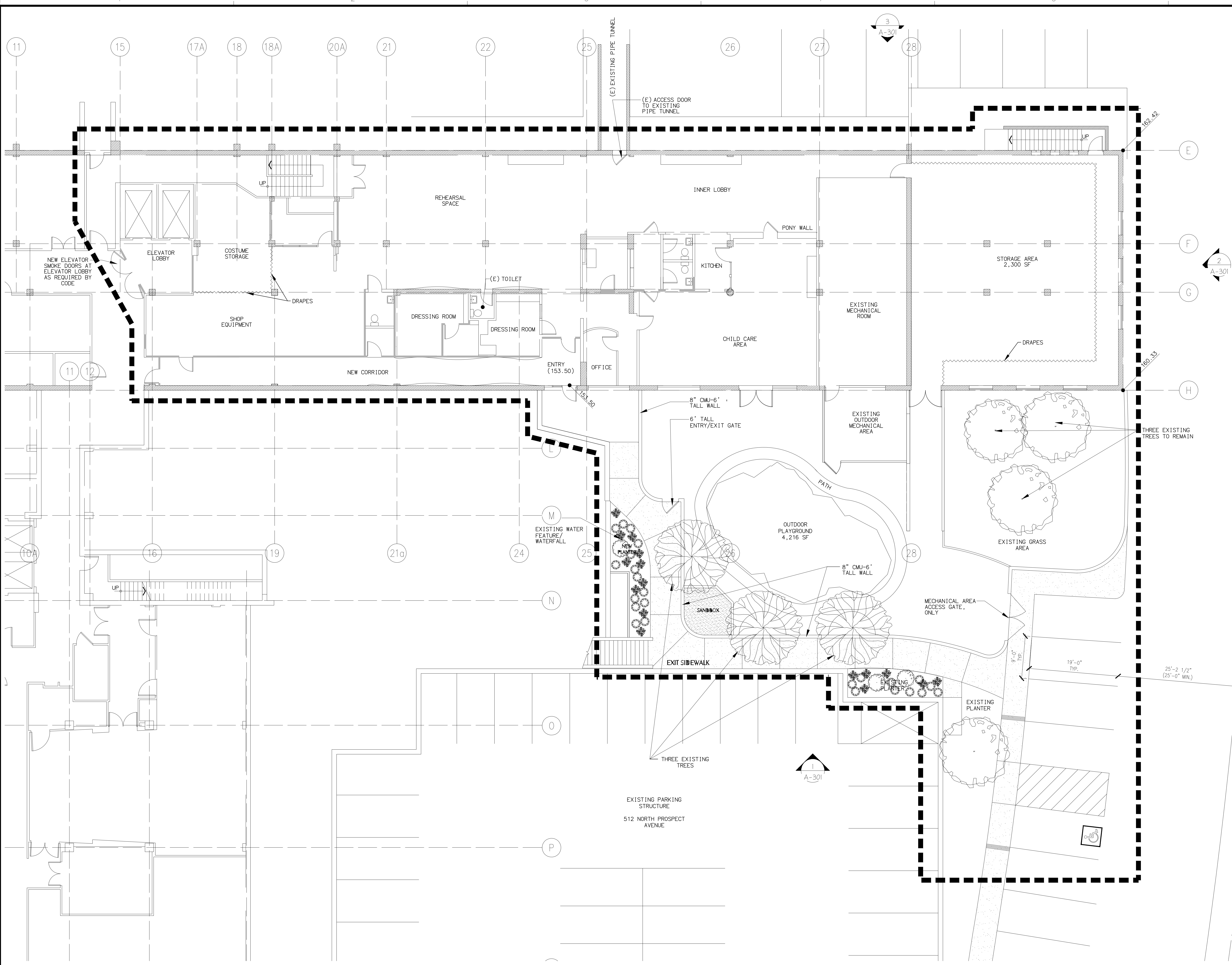
ISSUES & REVISIONS

NO.	DATE	DESCRIPTION

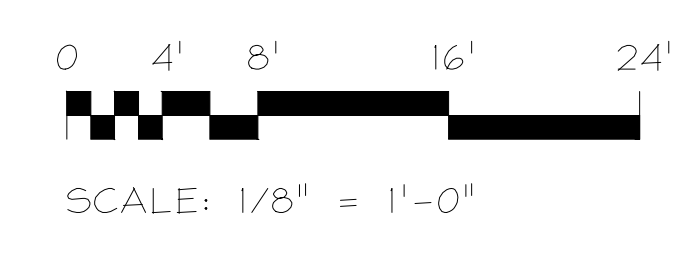
SHEET TITLE

EXISTING LANDSCAPE PLAN

CITY SUBMITTAL
JULY 29, 2024
ISSUED FOR CONSTRUCTION
XXX
SHEET #



FLOOR PLAN
SCALE: 1/4" = 1'-0"



STAMP

CONSULTANT:

TITLE

Beach Cities
LITTLE FISH THEATER CUP

514 North Prospect Avenue
Redondo Beach, California 90277

CLIENT:

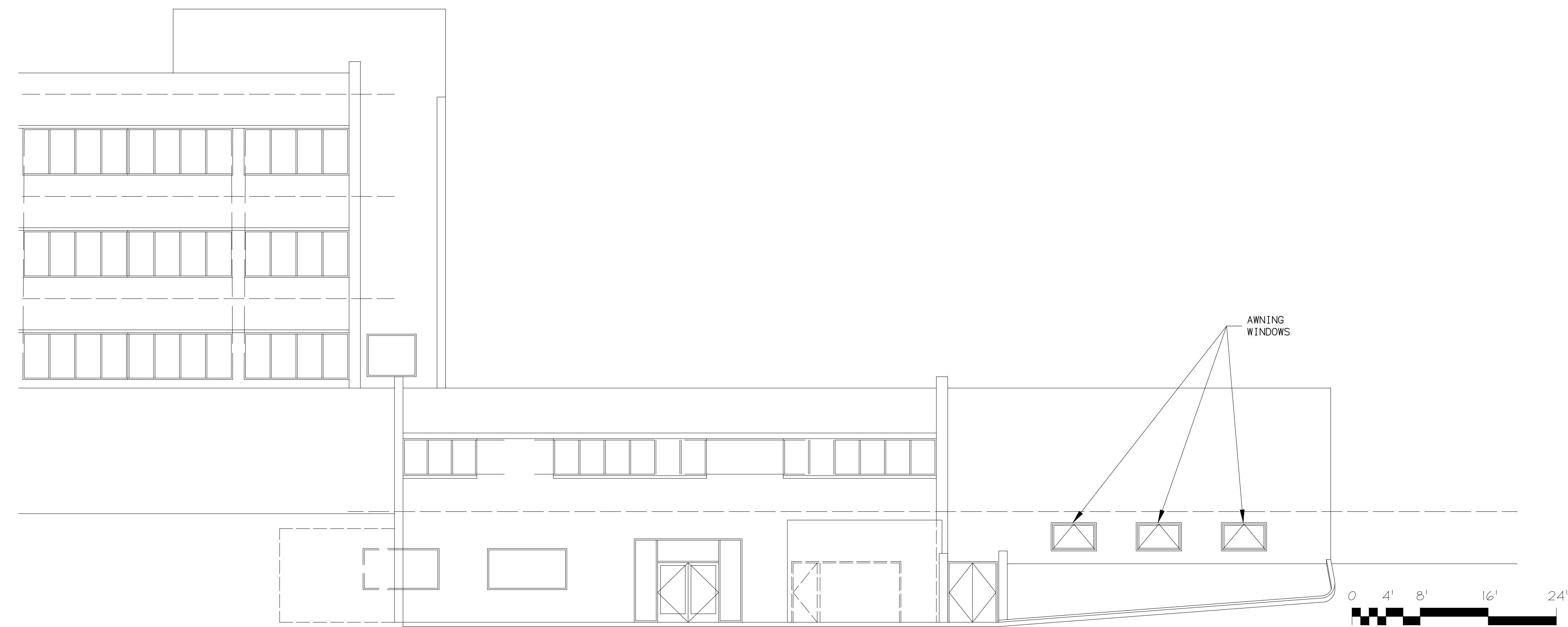
SOUTH BAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

ISSUES & REVISIONS

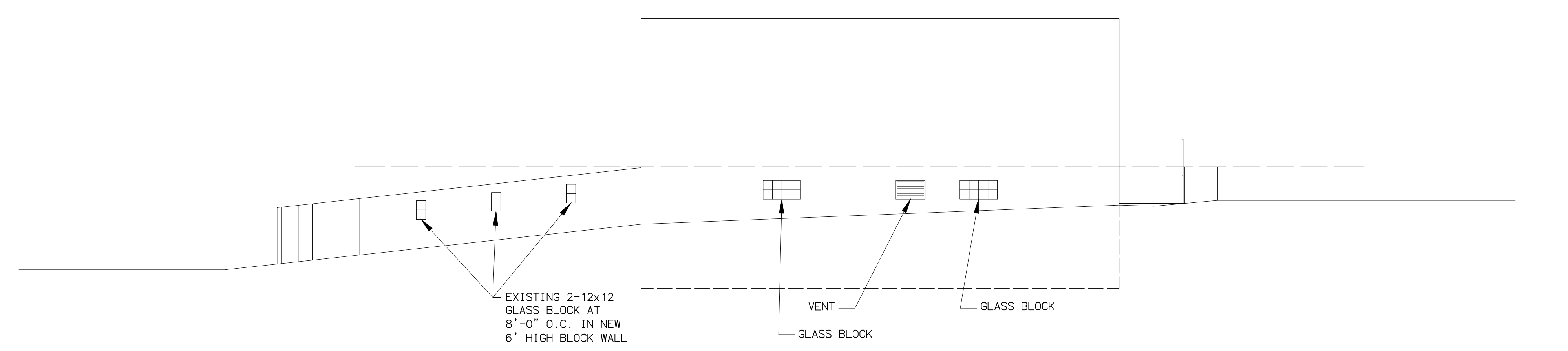
SHEET TITLE

EXISTING FLOOR PLAN

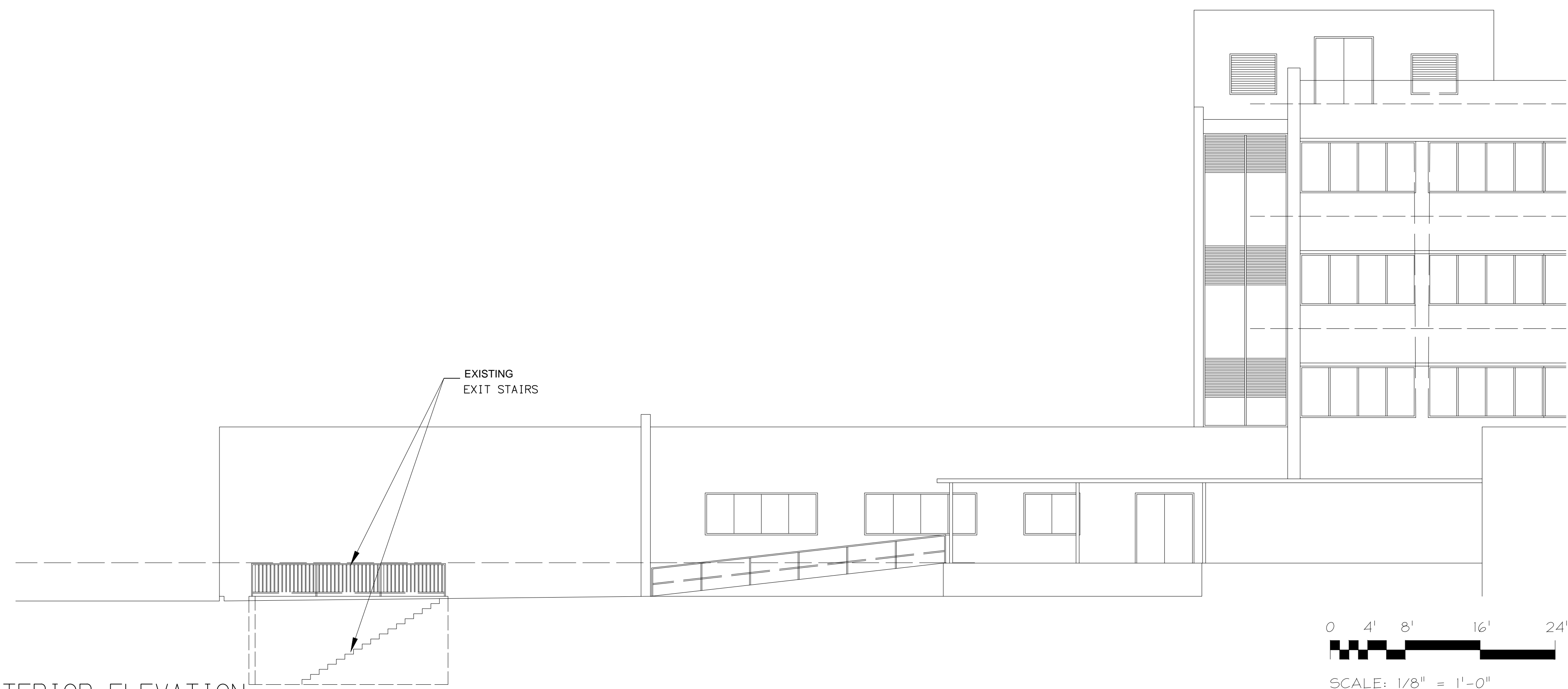
CITY SUBMITTAL
JULY 29, 2024
ISSUED FOR CONSTRUCTION
XXX
SHEET #



SOUTHERN EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"



NORTHERN EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

STAMP

CONSULTANT:

TITLE

Beach Cities
LITTLE FISH THEATER CUP
514 North Prospect Avenue
Redondo Beach, California 90277

CLIENT

2
A-301



SOUTHBAY MEDICAL CENTER
514 NORTH PROSPECT AVENUE
REDONDO BEACH, CA 90277

ISSUES & REVISIONS

NO.	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

CITY SUBMITTAL
JULY 29, 2024
ISSUED FOR CONSTRUCTION
XXX
SHEET #

A-301

Steven Giang

From: Doris <selvad333@gmail.com>
Sent: Tuesday, December 10, 2024 9:33 AM
To: Steven Giang
Subject: in support of LFT/SBTS

You don't often get email from selvad333@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

I appreciate your time, thank you for taking time to read why I support LFT/SBTS live performances.

Our communities need the Arts , my sons are Amazing men and had the benefits of experiencing live Community theatre as an addition to overall civic growth and purpose. These experiences brought an amazing balance to their lives. Also Shakespeare by the Sea visits many communities -having more local theatre's will extend reaching our most richest and most vulnerable communities. Please be apart of the greater vision that extends beyond the immediate community and approve this request for LFT/SBTS live performances- you will be contributing to enrichment of all surrounding residents and communities.

Thank you.

Sincerely,

Doris Selva
Psalm 100:2
Consider supporting:

Life Impact International

<https://lifeimpactintl.org/>

Teen Challenge of So CA

<https://www.teenchallenge.org/>

Surf and Turf Therapy

<https://surfandturftherapy.org/home-2>

Unidos South OC

<https://unidosouthoc.networkforgood.com/projects/194280-support-unidos-south-oc>

Camp Victoria

<https://www.campvictoriapr.com/give/>

Steven Giang

From: Jess Morton <jmorton@igc.org>
Sent: Tuesday, December 10, 2024 5:54 PM
To: Steven Giang
Subject: 12/19 Planning Commission - In favor of Little Fish theater CUP

[You don't often get email from jmorton@igc.org. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Dear Mr. Giang and Members of the Planning Commission,

Please approve the conditional use permit for Little Fish Theater, an organization whose productions will be a valuable cultural resource for the residents of Redondo Beach and beyond. As a long-time supporter of Little Fish, and regular attendee of its theatrical ventures, I can vouch for the luster it will add to the City's entertainment offerings. Yours is an opportunity too valuable to pass up.

Jess Morton
4034 South Pacific Avenue #3
San Pedro, CA 90731
310 748-5622

Steven Giang

From: kelly dwyer <kelldwyer@yahoo.com>
Sent: Tuesday, December 10, 2024 8:02 AM
To: Steven Giang
Subject: Little Fish Theatre

You don't often get email from kelldwyer@yahoo.com. [Learn why this is important](#)

CAUTION: Email is from an external source; *Stop, Look, and Think* before opening attachments or links.

Hello, there:

I cannot attend the public meeting, but I wanted to let you know of my support for Little Fish Theatre, which has impacted me greatly. The live shows have enriched my life as an audience member and a playwright, and they have enriched my community life as well. Two years ago, 18 of my friends and I got together before the Halloween show to have brunch at a nearby restaurant; afterwards, five of my friends and I went out for drinks. The impact to the community of live theatre is healthy in terms of economic health and wellbeing of its members.

Thank you for listening,
Kelly Dwyer

Kelly Dwyer
<http://www.kelldwyerauthor.com/>

To order GHOST MOTHER
[Barnes & Noble](#)
[Amazon](#)
[Bookshop.org](#)
[Audible](#)

Steven Giang

From: Bridget Garwood <bridget.garwood@gmail.com>
Sent: Tuesday, December 10, 2024 8:42 AM
To: Steven Giang
Subject: Little Fish Theater CUP Approval

You don't often get email from bridget.garwood@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Dear Mr. Giang,

I am writing to express my full-throated support of Little Fish Theater. Since 2013 Little Fish has been an integral part of my life as a happy, thriving resident of Los Angeles County. I have met many life-long friends there as an actor and volunteer. Everyone involved in the theater from the audience members to the producers are kind, supportive, intelligent people who know the value of the arts in a community and on an interpersonal level.

In these fraught times, I believe fostering spaces for the arts and specifically theater is vital. Theater helps people understand each other by displaying the universal human struggles we all face, people can connect to it in a way that is difficult in conversation and online. Live theater unites people of all creeds into one place to witness the magic of storytelling in an experience that is not replicable ever, it's a bit of magic and everyone in the theater from the actors to the stage manager to the audience feels it.

I hope you can see the value of theater, and Little Fish in particular, and grant the CUP approval so you can see for yourself what a boon to the community this will be.

Thank you for your time and consideration,
Bridget Garwood

--

Bridget Garwood
301.305.6284

Steven Giang

From: Kaitlyn Tavernelli <littlefoxhat@gmail.com>
Sent: Tuesday, December 10, 2024 9:05 AM
To: Steven Giang
Subject: I am in support of LFT/SBTS

You don't often get email from littlefoxhat@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Hello Mr. Giang,

I am writing to you in regards to the upcoming public hearing for the Little Fish Theatre/Shakespeare by the Sea Conditional Use Permit. I would like to lend my voice in support of the approval of their permit. The community of Redondo Beach would be remiss not to allow this amazing and dedicated theatre group to continue bringing art, music, and joy to the people of Redondo Beach.

I have been a supporter of the Little Fish Theatre/Shakespeare by the Sea for many years now and every year I attend multiple performances to show my support. The people involved, from the Artistic Directors to the actors, are extremely talented and dedicated to bringing Shakespeare's work to the community. Their ability to convert their new space into a theatre will be a great boon to Redondo Beach as well as the surrounding Beach City communities. They will be able to create a community hub where people can come to enjoy theatrical arts and performances. Children of the community will be able to grow up with the joy of seeing live performances of some of the greatest plays of all time. Shakespeare should not be relegated to the classroom - the community at large needs Shakespeare!

Please vote in favor of granting LFT/SBTS their Conditional Use Permit for their new space.



Sincerely,
Kaitlyn Tavernelli

Steven Giang

From: Doris <selvad333@gmail.com>
Sent: Tuesday, December 10, 2024 9:33 AM
To: Steven Giang
Subject: in support of LFT/SBTS

You don't often get email from selvad333@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

I appreciate your time, thank you for taking time to read why I support LFT/SBTS live performances.

Our communities need the Arts , my sons are Amazing men and had the benefits of experiencing live Community theatre as an addition to overall civic growth and purpose. These experiences brought an amazing balance to their lives. Also Shakespeare by the Sea visits many communities -having more local theatre's will extend reaching our most richest and most vulnerable communities. Please be apart of the greater vision that extends beyond the immediate community and approve this request for LFT/SBTS live performances- you will be contributing to enrichment of all surrounding residents and communities.

Thank you.

Sincerely,

Doris Selva
Psalm 100:2
Consider supporting:

Life Impact International

<https://lifeimpactintl.org/>

Teen Challenge of So CA

<https://www.teenchallenge.org/>

Surf and Turf Therapy

<https://surfandturftherapy.org/home-2>

Unidos South OC

<https://unidosouthoc.networkforgood.com/projects/194280-support-unidos-south-oc>

Camp Victoria

<https://www.campvictoriapr.com/give/>

Steven Giang

From: Kaitlyn Tavernelli <littlefoxhat@gmail.com>
Sent: Tuesday, December 10, 2024 9:05 AM
To: Steven Giang
Subject: I am in support of LFT/SBTS

You don't often get email from littlefoxhat@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Hello Mr. Giang,

I am writing to you in regards to the upcoming public hearing for the Little Fish Theatre/Shakespeare by the Sea Conditional Use Permit. I would like to lend my voice in support of the approval of their permit. The community of Redondo Beach would be remiss not to allow this amazing and dedicated theatre group to continue bringing art, music, and joy to the people of Redondo Beach.

I have been a supporter of the Little Fish Theatre/Shakespeare by the Sea for many years now and every year I attend multiple performances to show my support. The people involved, from the Artistic Directors to the actors, are extremely talented and dedicated to bringing Shakespeare's work to the community. Their ability to convert their new space into a theatre will be a great boon to Redondo Beach as well as the surrounding Beach City communities. They will be able to create a community hub where people can come to enjoy theatrical arts and performances. Children of the community will be able to grow up with the joy of seeing live performances of some of the greatest plays of all time. Shakespeare should not be relegated to the classroom - the community at large needs Shakespeare!

Please vote in favor of granting LFT/SBTS their Conditional Use Permit for their new space.



Sincerely,
Kaitlyn Tavernelli

Steven Giang

From: Doris <selvad333@gmail.com>
Sent: Tuesday, December 10, 2024 9:33 AM
To: Steven Giang
Subject: in support of LFT/SBTS

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I appreciate your time, thank you for taking time to read why I support LFT/SBTS live performances.

Our communities need the Arts , my sons are Amazing men and had the benefits of experiencing live Community theatre as an addition to overall civic growth and purpose. These experiences brought an amazing balance to their lives. Also Shakespeare by the Sea visits many communities -having more local theatre's will extend reaching our most richest and most vulnerable communities. Please be apart of the greater vision that extends beyond the immediate community and approve this request for LFT/SBTS live performances- you will be contributing to enrichment of all surrounding residents and communities.

Thank you.

Sincerely,

Doris Selva
Psalm 100:2
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Life Impact International

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Unidos South OC

<https://unidosouthoc.networkforgood.com/projects/194280-support-unidos-south-oc>

Camp Victoria

<https://www.campvictoriapr.com/give/>

Steven Giang

From: Paul Hill <424paulhill@gmail.com>
Sent: Tuesday, December 10, 2024 11:52 AM
To: Steven Giang
Subject: LFT going to Redondo Beach

Follow Up Flag: Follow up
Flag Status: Flagged

[You don't often get email from 424paulhill@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

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I am so glad that LFT is getting the chance to move their theater to Redondo Beach. Not only is it in an area much closer to my residence, but I would feel much better attending than at the prior location in San Pedro. Also, the parking in Redondo Beach would be much better and safer. In San Pedro, I usually had to street park some distance away. I was always leery about walking back to my car late at night and was hoping it would still be there or not burglarized. Or me getting robbed for that matter.

Hooray for the move to Redondo Beach!

Paul Hill
Torrance

Steven Giang

From: Gayle Taylor <gaylentaylor@gmail.com>
Sent: Tuesday, December 10, 2024 4:43 PM
To: Steven Giang
Subject: Little Fish Theater and Shakespeare by the Sea

You don't often get email from gaylentaylor@gmail.com. [Learn why this is important](#)

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Hi,

For years I have enjoyed attending performances at the Little Fish Theater in San Pedro and the performances by Shakespeare by the Sea at public parks throughout Los Angeles. I love theater, and I believe, as L.A. Times theater critic Charles McNulty recently wrote, "The theater is still the finest university I've attended."

There is a lot of theater in Los Angeles County; there is not a lot in the South Bay. This theater group is a cultural gem and should be eagerly supported by anyone who wants to see serious theater but is not able to drive to downtown L.A. or Pasadena, where established theaters are more readily available. Please expedite the establishment of this theater troupe in Redondo Beach.

Sincerely,
Gayle Taylor

Steven Giang

From: Jess Morton <jmorton@igc.org>
Sent: Tuesday, December 10, 2024 5:54 PM
To: Steven Giang
Subject: 12/19 Planning Commission - In favor of Little Fish theater CUP

[You don't often get email from jmorton@igc.org. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Dear Mr. Giang and Members of the Planning Commission,

Please approve the conditional use permit for Little Fish Theater, an organization whose productions will be a valuable cultural resource for the residents of Redondo Beach and beyond. As a long-time supporter of Little Fish, and regular attendee of its theatrical ventures, I can vouch for the luster it will add to the City's entertainment offerings. Yours is an opportunity too valuable to pass up.

Jess Morton
4034 South Pacific Avenue #3
San Pedro, CA 90731
310 748-5622

Steven Giang

From: Barbara Young <bjy62@yahoo.com>
Sent: Tuesday, December 10, 2024 8:00 PM
To: Steven Giang
Subject: Shakespeare By the Sea

You don't often get email from b jy62@yahoo.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Hello.

I am pleased to send my unfaltering support for Shakespeare By the Sea performances at Little Fish Theater.

I completely recommend these magnificent performances that preserve the classic arts and pass them down to future generations. The fun and phantasm is combined with family and community bonding that occurs most subtly in a such magical environments as Little Fish Theater.

Full support for these artists and "long live the Bard"

Thank you,

Barbara Young

Steven Giang

From: Jeanne Kula <jeannekula0@gmail.com>
Sent: Wednesday, December 11, 2024 10:58 AM
To: Steven Giang
Subject: Little Fish Theatre

You don't often get email from jeannekula0@gmail.com. [Learn why this is important](#)

CAUTION: Email is from an external source; Stop, Look, and Think before opening attachments or links.

Please approve. Great theatre. We need them in Redondo Beach.

Jeanne Kula
240 The Village #311
Redondo Beach, CA 90277

Draft Memorandum

Date: September 10, 2024

To: Monica Suua, Beach Cities Health District
Nick Biro, Blue Mountain Development

From: Michael Kennedy, Alex Melaragno and Dylan Di, Fehr & Peers

Subject: Parking Analysis Technical Memorandum for the Beach Cities Health District Campus, City of Redondo Beach

LB24-0123

This memorandum describes the parking analysis conducted for a proposed project on the Beach Cities Health District (BCHD) campus, located at the northeast corner of Prospect Avenue and Diamond Street in the City of Redondo Beach. This memorandum includes an analysis of existing parking supply and utilization counts at the BCHD campus, as well as an estimation of future parking requirements for the relocation and expansion of the Allcove facility (the "Project") to a currently vacant outparcel lot on the campus.

Project Description

The Project would consist of a 9,342 square foot (SF) two-story building intended for teen mental health services (Allcove). The Project will provide 8 parking spaces and use 24 spaces from the BCHD parking supply as overflow parking spaces.

Existing Parking Supply & Demand

Currently, there are 812 total parking spaces at the existing BCHD campus, including 20 accessible spaces. 391 spaces (11 accessible) are located in surface lots and 421 spaces (6 accessible) are located within parking structures.¹

In accordance with direction from City staff, two sample days (different days from two different weeks) were selected as the basis for the study. Hourly parking utilization counts were collected at

¹ Based on parking supply/utilization counts.



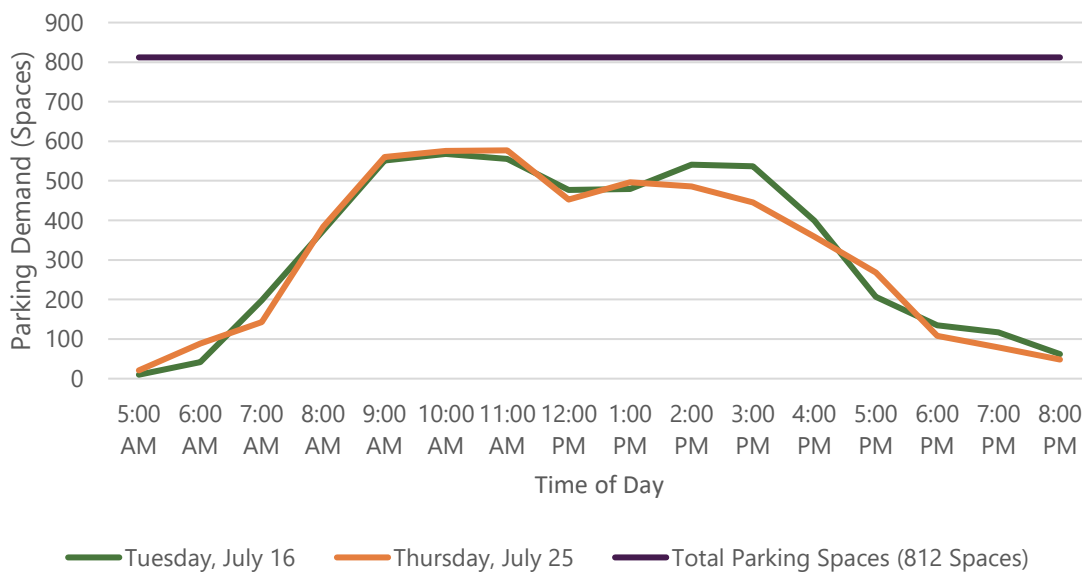
the BCHD campus from 5:00am until 8:00pm (to capture Allcove business hours) on Tuesday, July 16th and Thursday, July 25th. Allcove does not operate on weekends.

The maximum daily parking demand for the study period was observed to be 577 spaces (71 % utilization) on Thursday, July 25th at 11:00 am. Tuesday, July 16th experienced a maximum parking demand of 568 spaces at 10:00 am.

Figure 1 presents the fluctuation in observed parking demand by time of day for the two sample days. Higher demand was observed between the hours of 8am and 3pm, which is typical of medical offices, which is one of the major uses on the BCHD campus.

The detailed parking supply and demand count data collected for the Project site are attached to this memorandum as **Appendix A**.

Figure 1. Existing Land Use Parking Demand by Time of Day



Parking Ratios per City Code

This section describes the number of parking spaces required for the proposed Project site per the City of Redondo Beach Code of Ordinances (City Code), Article 5, Parking Regulations, (10-2.1706) "Commercial, industrial, and other nonresidential parking standards".

The required onsite parking is summarized in **Table 1**. For medical offices, one parking space is required for every 150 SF of gross floor area, except that chiropractic, acupuncture, physical therapy and psychotherapy office, which are required to provide one space for every 300 SF of



gross floor area. Because the Project site will be used for outpatient mental health services and general office use, it is allotted one space per 300 SF of GFA.

Table 1. Required Project Parking per City Code

SF GFA	Proposed Use	Required Parking (City Code Text)	Parking Ratio (spaces per KSF GFA)	Required Spaces
9,342	Medical/Psychotherapy Office	One space for each 300 square feet of gross floor area.	3.3	32

Source: City of Redondo Beach Code of Ordinances, [Article 5 "Parking Regulations", 10-2.1706](#)
 Notes: KSF = 1,000 SF

Conclusion

Table 2 compares the Code required parking with the available parking supply from the existing parking utilization counts.

Table 2. Parking Demand and Supply Summary for Existing and Proposed Uses

BCHD Campus Parking Supply	BCHD Campus Parking Demand Estimation per Utilization Counts	The Project Parking Requirement per City Code	New Parking Spaces on Project Site	Additional Parking Needed to Meet Code on BCHD Campus	Surplus of Parking Space with Existing and the Project Demand
812	577	32	8	24	211

Source: Fehr & Peers

As shown in **Table 2**, the Project would need 24 spaces from the BCHD campus parking supply to meet Code requirements. A surplus of 244 spaces and 235 spaces was representatively observed during the two days of parking utilization counts collected at BCHD campus. Therefore, the typical parking surplus at BCHD campus is expected to be in excess of 200 spaces during a typical day, which is able to accommodate the 24-space parking supply needed to support the Project's Code requirements.

Appendix A - Parking Utilization Counts

(Next Page)

Parking Study

Location: 514 N Prospect Ave

City: Redondo Beach, CA

Date: 7/16/2024

Day: Tuesday

Lot	Level	Space Type	Space	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM
Lot 001		1 hr Limit Visitor	58	0	2	27	23	57	56	57	57	51	56	57	54	22	14	22	4
		Handicap	11	0	0	6	3	7	1	10	11	11	10	9	8	3	3	5	3
		Patient + Visitor Parking	35	1	9	11	16	32	31	31	31	29	31	29	28	26	13	11	7
		Compact	17	0	0	0	8	10	14	13	8	9	11	11	10	0	1	1	0
		Regular	186	0	1	54	79	122	138	124	106	109	118	124	68	36	28	21	9
		EV Only	3	1	1	1	1	1	1	2	2	2	2	2	2	1	2	2	1
		Vendor & Contract Parking Only	10	4	5	5	5	1	1	3	2	3	2	3	1	1	1	1	2
		Silverado Reserved	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
		Engineers	4	0	0	0	2	2	2	2	1	1	1	1	1	0	0	0	0
		Yellow Star Area	12	0	0	0	1	1	1	1	1	1	0	1	1	1	1	0	0
		Doctors Parking Only	8	0	1	1	1	7	4	5	3	2	3	4	3	2	2	0	0
	Please allow our Disabled Visitors	20	2	5	14	14	13	17	16	19	19	17	18	16	15	13	12	6	
	Physician Parking	26	0	12	16	20	20	20	20	21	22	22	22	18	5	5	4	4	
Lot 001 (Structured)	Basement	Regular	35	0	0	1	2	8	7	8	5	5	6	5	5	1	1	2	1
	Level 1	Regular	51	1	1	4	16	43	47	39	38	40	51	49	27	8	9	8	5
		Handicap	2	0	0	0	2	2	2	2	2	2	2	2	2	0	1	0	0
	Level 2	Regular	47	0	3	21	47	47	40	43	28	31	39	34	28	19	13	11	7
		Doctor Parking	6	0	0	2	3	2	4	4	4	4	5	5	3	3	1	1	0
	Level 3	Regular	6	0	0	1	1	6	0	0	0	0	5	3	3	1	1	0	0
Please allow our Disabled Visitors		54	0	1	4	4	3	9	5	3	3	6	5	6	4	4	5	4	
Lot 001 (Additional Parking)	P1 1st Level	Visitor 2 hr Limit	69	0	0	26	62	64	68	69	47	46	66	68	47	28	11	6	4
		Handicap	4	0	0	3	2	4	4	4	3	3	4	4	2	0	0	0	0
		Physician Parking	34	1	1	1	10	27	29	28	21	21	28	28	25	15	7	4	4
	P2 Lower Level	Regular	113	0	0	0	52	72	71	69	64	65	56	53	41	16	4	1	1
North Area		-	-																

Note: Lot 001 - 2 Trucks occupying 1 Handicap space and 4 Yellow Star spaces (excluded in occupancy counts) during the study.

Lot 001 - Waste bins occupying 2 Regular spaces (excluded in occupancy counts) during the study.

Lot 001 (Additional Parking) - Waste bin occupying 1 Physician space (excluded in occupancy counts) during the study.

North Area - Lot is closed.

Parking Study

Location: 514 N Prospect Ave

City: Redondo Beach, CA

Date: 7/25/2024

Day: Thursday

Lot	Level	Space Type	Space	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM
Lot 001		1 hr Limit Visitor	58	6	12	23	58	55	56	55	38	56	58	49	33	26	2	2	1
		Handicap	11	0	0	3	7	11	10	10	10	8	10	9	10	6	5	3	2
		Patient + Visitor Parking	35	2	3	8	26	32	33	34	29	33	31	34	30	15	8	12	5
		Compact	17	0	0	0	4	4	4	4	3	3	3	3	3	1	1	1	1
		Regular	186	1	11	19	71	135	133	137	111	116	105	77	67	51	36	24	12
		EV Only	3	1	1	1	1	2	2	2	2	3	3	3	3	3	3	1	1
		Vendor & Contract Parking Only	10	1	1	1	2	2	1	1	2	1	0	1	0	0	0	0	1
		Silverado Reserved	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
		Engineers	4	1	1	1	0	1	1	2	2	2	2	2	2	0	0	0	0
		Yellow Star Area	12	2	2	2	2	3	4	4	3	3	2	1	1	1	2	1	1
		Doctors Parking Only	8	0	0	0	1	4	5	5	6	4	4	7	6	6	1	0	0
	Please allow our Disabled Visitors	20	5	8	9	17	19	16	19	18	18	18	11	11	11	8	12	8	
	Physician Parking	26	0	0	1	15	24	24	23	15	18	20	19	16	10	5	3	2	
Lot 001 (Structured)	Basement	Regular	35	0	1	1	2	3	8	8	5	5	4	5	3	3	0	0	0
	Level 1	Regular	51	0	19	27	33	43	48	47	40	48	47	48	28	15	5	5	4
		Handicap	2	0	1	1	1	2	2	2	2	2	2	2	2	1	0	0	0
	Level 2	Regular	47	0	6	9	21	40	46	40	30	32	28	32	27	19	10	3	1
		Doctor Parking	6	0	0	0	1	3	3	3	2	3	3	5	4	2	2	1	0
	Level 3	Regular	6	0	0	0	1	0	4	6	3	2	2	3	3	3	2	1	0
Please allow our Disabled Visitors		54	0	0	0	2	7	9	8	9	8	8	6	5	3	1	0	0	
Lot 001 (Additional Parking)	P1 1st Level	Visitor 2 hr Limit	69	0	6	10	49	69	67	64	41	47	53	53	38	31	6	3	3
		Handicap	4	0	0	0	0	3	2	3	3	3	4	2	0	0	0	0	0
		Physician Parking	34	0	2	6	22	32	31	31	25	25	25	25	21	17	6	5	4
	P2 Lower Level	Regular	113	1	14	20	47	65	66	68	53	55	53	47	45	43	4	1	1
North Area		-	-																

Note: Lot 001 - 2 Trucks occupying 1 Handicap space and 4 Yellow Star spaces (excluded in occupancy counts) during the study.

Lot 001 - Waste bins occupying 2 Regular spaces (excluded in occupancy counts) during the study.

Lot 001 (Additional Parking) - Waste bin occupying 1 Physician space (excluded in occupancy counts) during the study.

North Area - Lot is closed.



Administrative Report

J.3., File # PC24-2004

Meeting Date: 12/19/2024

TO: PLANNING COMMISSION
FROM: STEVEN GIANG, SENIOR PLANNER

TITLE

PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667)

EXECUTIVE SUMMARY

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a massage treatment center (The NOW) in an approximately 2,630 square foot tenant space within an existing multi-tenant commercial building. The business would occupy one existing suite, which is currently vacant.

The proposed massage treatment center will provide a variety of massage techniques such as Swedish, deep tissue, cupping, Gua Sha, and prenatal massage. The hours of operation will be from 10:00am to 10:00pm seven days a week. Peak customer hours are expected to be between 1:00pm - 5:00pm. Interior improvements are proposed to change the existing singular room gym style layout to multiple private rooms. The interior layout will consist of ten (10) individual massage rooms ranging in

size from 90 ft² to 97 ft² each. The remaining areas are dedicated to the front lobby/reception, a rest room, a storage room, transition room, and a break room for employees. Five (5) massage therapists will rotate between the various rooms, sometimes assisting multiple rooms at once while other clients are waiting in their respective rooms. Additionally, there will be one (1) manager and two (2) receptionists on site for a total of eight (8) employees total at any given time. No changes to the exterior of the building are proposed except for a new sign to be processed under a separate permit.

BACKGROUND

Existing Site, Surroundings, Zoning, and Project Description

The subject site is located on the west side of N. Pacific Coast Highway, just north of Carnelian Street, and is currently developed with a multi-tenant commercial shopping center, also known as the Redondo Shores Shopping Center. The properties to the north and west are zoned low density multi-family residential (R-3A). The properties to the east (across N. Pacific Coast Highway) are zoned Commercial (C-2A). The properties to the south (across Carnelian Street) are zoned Public and Institutional (P-CIV) and developed with the Redondo Beach Civic Center.

The existing site is developed with a two-story, 107,396 ft², multiple-tenant commercial building on a 257,349 ft² property. The proposed massage use would occupy one (1) existing tenant space, Suite 100, within an approximate area of 2,630 ft². The building is situated so that the parking is located centrally with the structures along the perimeter of the property and is setback from the nearest adjacent residentially zoned and developed properties by approximately 90 feet. The property is served by approximately 468 parking spaces at the ground and subterranean level for the existing structures. Vehicular access to/from the property is off of N. Pacific Coast Highway or Carnelian Street.

The applicant intends to remodel the interior of the tenant space, creating ten (10) massage rooms, front lobby/reception, a rest room, a storage room, transition room, and a break room for employees. No changes to the exterior of the building are proposed except for a new sign advertising the proposed business to be processed under a separate permit. The hours of operation will be from 10:00am to 10:00pm seven days a week. Five (5) massage therapists will rotate between the various rooms, sometimes assisting multiple rooms at once while other clients are waiting in their respective rooms. Additionally, there will be one (1) manager and two (2) receptionists on site for a total of eight (8) employees total at any given time.

ANALYSIS

Article 4 Special Use Regulations, Section 10-2.1628 Massage Businesses

Massage businesses are subject to Article 4 Special Use Regulations, Section 10-2.1628 of the Redondo Beach Municipal Code to ensure compliance with State and City requirements regarding health and safety, and maintain the compatibility of this particularly sensitive land use with surrounding land uses, the following criteria shall be met in addition to all other applicable land use and development standards in this chapter. The following italicized text is the specific response to the individual criteria:

Massage businesses shall comply with all provisions of Title 6, Chapter 2 of this code. The massage business will be required to obtain all certificates and licenses required by the State and City of Redondo Beach before being issued a valid business license to operate the business in the City as defined in Title 6 Chapter 2 (Massage/Bodyworks Businesses) of this code. The City's business license application process requires that the business owner provide State Certification verification, general business information, corporate information, and a signed statement of conduct for all employees and contractors related to the business, and inspection processes.

Massage business owners shall obtain and maintain compliance of all permits required by the County of Los Angeles, Department of Public Health.

The massage business will be required to obtain and maintain compliance of all permits required by the County of Los Angeles, Department of Health prior to the issuance of their Business License and all annual renewals.

No massage business may be operated from a location where illegal activity has occurred within three years of submission of an application for a massage business at that location.

This site has no history of infractions or illegal activity within the last three years of submission of an application at 409 N. Pacific Coast Highway, this criterion has been met. This information was provided by the City of Redondo Beach Police Department.

Massage establishment owner(s) must submit proof of a valid business registration certificate or proof of consideration of such a certificate is in process.

The massage establishment owners have begun the process for business registration with the City of Redondo Beach, this criterion has been met.

The minimum separation between site boundaries of properties containing massage businesses shall be 1,000 feet, except that this standard may be waived by the decision-making body upon finding that the addition of the massage business will not contribute to or create a blighting influence in its vicinity.

The proposed business has been mapped and is currently outside of the 1,000 feet buffer to the nearest other massage business, as illustrated in Figure No. 1 below, this criterion has been met.

Alcohol shall not be sold, consumed or purchased in any massage business.

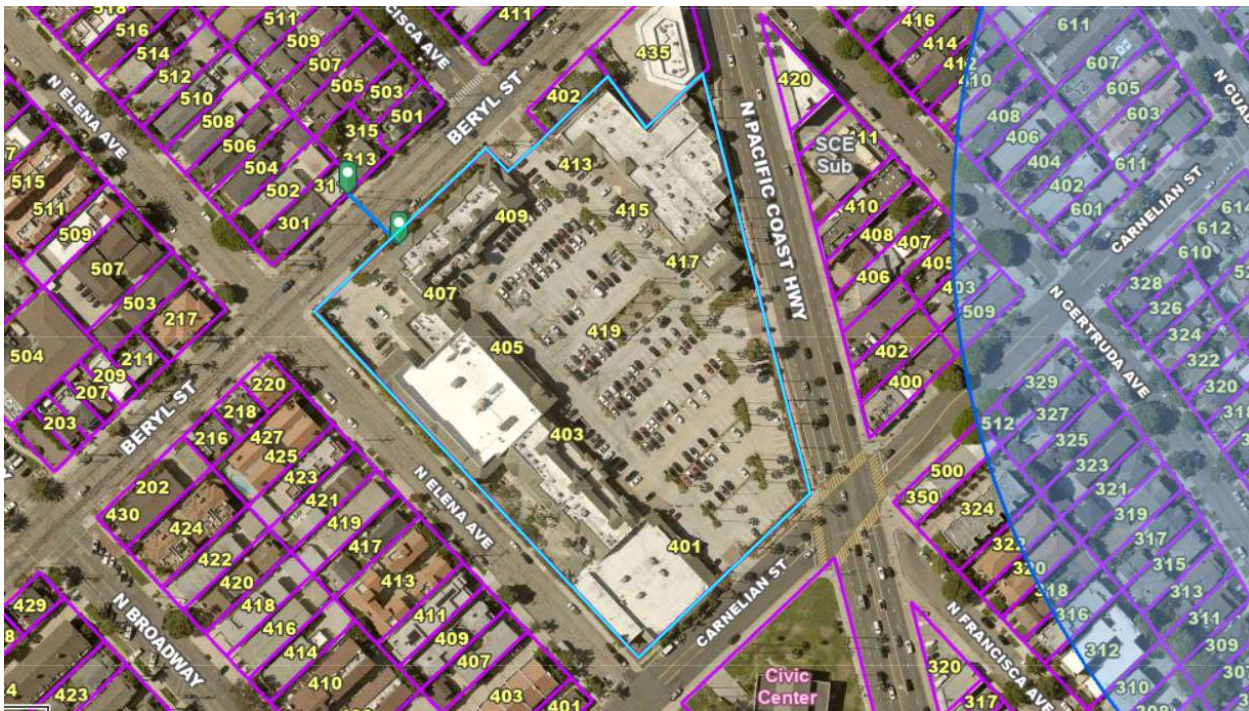
The business does not propose any alcohol consumption or sales, this criterion has been met.

Condoms shall not be sold or purchased in any massage business.

The business does not propose any retail sales, including the retail sales of condoms, as such this criterion has been met.

Specific conditions of approval have been included in the attached Resolution to ensure compliance with the above criteria.

Figure No. 1 - Massage Business 1,000 ft Buffer (shown in blue)



In addition to the specific “criteria” pursuant to Section 10-5.1628 noted above, massage businesses require a Conditional Use Permit in the Commercial (C-2A) zone and per Section 10-5.1628. Subsequently in this ANALYSIS section are component discussions for each body of applicable regulations and an additional section concerning “Parking and Operations”.

Conditional Use Permit

Pursuant to Redondo Beach Municipal Code Sections 10-5.620 and 10-5.1628, the proposed massage business requires the issuance of a Conditional Use Permit with Planning Commission approval. The Conditional Use Permit serves to ensure that certain uses possessing unique characteristics will not adversely affect surrounding uses and properties, nor disrupt the orderly development of the community. For approval of the project, the Planning Commission must make the following findings in the affirmative. The following italicized text is the specific response to the individual criteria:

- a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.
The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The massage business use will be housed within an existing commercial building. The proposed use is in conformity with the General Plan land use designation of Commercial (C-2) which allows various commercial uses, which include “personal services and similar uses”. Additionally, all setbacks, landscaping, and the parking spaces provided comply with the minimum number required by code.

- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.

The site is directly adjacent to a signalized intersection at N. Pacific Coast Highway, a major arterial street, and Carnelian Street. The access to the subject property is available on N. Pacific Coast Highway or Carnelian Street. However, traffic moving northbound on Pacific Coast Highway must use the accessway off Carnelian Street as turns into the plaza from N. Pacific Coast Highway is not allowed when moving northbound. The existing driveways on N. Pacific Coast Highway and Carnelian Street complies with RBMC driveway standards. Pedestrian access is also provided by an existing ADA compliant walkway from the public sidewalk on N. Pacific Coast Highway and Carnelian Street.

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The massage business will operate within an existing tenant space with a use that is inherently silent due to the peaceful atmosphere of the business. Additionally, there is an approximate 90-foot distance to the adjacent residentially zoned properties which will further mitigate any potential noise impacts. Adequate parking exists on site for the proposed massage business use and no other exterior changes are planned.

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:

- a. Additional setbacks, open spaces, and buffers;
 - i. *The existing rear setback complies with applicable RBMC development standards as the adjacent uses west of the site are residentially zoned.*
- b. Provision of fences and walls;
 - i. *Not applicable. No new fences or walls are proposed as a part of this project scope.*
- c. Street dedications and improvements, including service roads and alleys;
 - i. *A change in use does not trigger street dedications. The existing right-of-way is 80'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the subject property (Pacific Coast Highway) are consistent with Caltrans standards.*
- d. The control of vehicular ingress, egress, and circulation;
 - i. *Existing two-way access driveway complies with Zoning Ordinance and Public Works standards.*
- e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. *Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
- f. Provision of landscaping and the maintenance thereof;
 - i. *Existing compliant landscaping to remain.*
- g. The regulation of noise, vibration, odor and the like;
 - i. *The proposed use is entirely indoors and will not produce any excessive noise,*

vibration, or odor.

- h. Requirements for off-street loading facilities;
 - i. As a massage business use with no retail operations, loading facilities can be accommodated by small vans that utilize the immediate adjacent ground floor parking lot.*
- i. A time period within which the proposed use shall be developed;
 - i. The proposed tenant improvement will comply with required building construction and inspections days/hours.*
- j. Hours of permitted operation and similar restrictions;
 - i. Hours of operation are proposed to be 10:00AM to 10:00PM with peak hours expected between 1:00PM to 5:00PM. Based on the total number of parking available, there is ample parking during peak times for the proposed use.*
- k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. Not applicable. No billboards are located on this subject property.*
- l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. The conditions of approval address all noted issues of concern, namely potential parking and the acquisition of all related certificates and licenses required by the State, County of Los Angeles, and City of Redondo Beach, resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.*

Additionally, the project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of commercial services which provide for the needs of current and future residents. The massage business will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce additional noise and there is an existing 90-foot setback from the adjacent residential uses to the west. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the massage business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed massage business use.

Additional conditions of approval have been added that require the following:

- That the business obtains all necessary licenses from the State of California, County of Los Angeles Department of Health, and the City of Redondo Beach, as defined by Title 6, Chapter 2 of the RBMC.
- That the business be permitted to operate between the hours of 10:00am to 10:00pm, Seven (7) days a week;
- Maximum number of eight (8) employees in the massage business at any given time; and
- The use shall occur exclusively within the interior of the tenant space.

Parking and Operations

In addition to the analysis of the specific use regulations applicable to this land use type, staff conducted additional analysis concerning parking to ensure compliance with the RBMC standards and potential “actual” parking conditions.

Based on a parking study of the plaza performed in 2016, five-hundred and forty-two (542) parking spaces are required for the entire multiple-tenant building per applicable municipal code parking. Per Municipal Code Section 10-2.1706 related to commercial parking regulations, a massage business use requires a parking ratio of one (1) parking space per 250 ft² of gross floor area. Therefore, the proposed business will need a total of eleven (11) parking spaces to accommodate the use. Despite the code requirements indicating a need for more parking spaces, a parking study performed in 2016 concluded that the Redondo Shores Shopping Center parking supply of 468 spaces is more than adequate to accommodate the proposed use assuming full occupancy of all tenant spaces. According to the study, a minimum parking surplus of 53 spaces are noted during the peak weekday conditions and a minimum parking surplus of 76 spaces are noted during the peak weekend conditions for the center. This allows for the proposed massage business service to utilize a total of fifteen (15) spaces with ample parking available for the remaining tenants. Based on the proposed business operation and particularly the surplus parking on-site the allocated parking spaces should be sufficient. The shared parking analysis and conclusions were achieved pursuant to and consistent with the City’s “Overlap Parking Requirements” as required by RBMC 10-5.1706 (d).

Based upon the project’s compliance with RBMC parking standards and the anticipated staggered peak times for the various existing commercial tenants and the proposed personal improvement service, parking is not anticipated to be an issue.

Based on a review of the application, business operations, massage licenses, and the plans by the Planning Division, approval of the project is recommended.

ENVIRONMENTAL STATUS

The proposed project is Categorically Exempt from the preparation of environmental analyses, pursuant to Sections 15301(a) (Existing Facilities) of the California Environmental Quality Act (CEQA). This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

CONCLUSION

Staff recommends that the Planning Commission approve the Exemption Declaration and grant the Conditional Use Permit subject to the findings and conditions contained within the attached draft resolution.

Prepared by:

Approved by:

Steven Giang, AICP

Sean Scully

Senior Planner

Planning Manger

ATTACHMENTS

1. 409 N. Pacific Coast Highway - Exemption Declaration
2. 409 N. Pacific Coast Highway - Draft Resolution
3. 409 N. Pacific Coast Highway - Plans
4. Redondo Shores Shopping Center Parking Assessment (2016)
5. Title 6, Chapter 2 Massage/Bodywork Businesses



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: December 12, 2024

PROJECT ADDRESS: 409 N. Pacific Coast Highway – The NOW

PROPOSED PROJECT: CONSIDERATION OF AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667)

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

Section 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA) states, in part, that the minor alteration or use of an existing structure involving no expansion does not have a significant effect upon the environment and is categorically exempt from environmental review. This finding is supported by the fact that the proposed project consists of a new business combining and occupying three adjacent tenant spaces within an existing commercial building. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

The subject site is not located within an area designated as an environmental resource of hazardous or critical concern, or within the California Coastal Zone, or within an officially designated, state scenic highway, or within a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.

Steven Giang
Senior Planner

RESOLUTION NO. 2024-12-PCR-**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667)

WHEREAS, an application was filed on behalf of the owner of property located at 409 N. Pacific Coast Highway for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a massage business on property located within the Commercial (C-2A) zone; and

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinance by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet of the exterior boundaries of the subject property; and

WHEREAS, after noticing the project pursuant to the City's noticing requirements, no comments were received on the project from either adjacent businesses and residences; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other interested parties at the public hearing held on the 19th day of December, 2024 with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-2.620 of the Redondo Beach Municipal Code, the massage business use, is a conditionally permitted use within the Commercial (C-2) zone and subject to additional regulations pursuant to Redondo Beach Municipal Code Section 10-2.1628 Massage Businesses.
 - a. Massage businesses shall comply with all provisions of Title 6, Chapter 2 of this code.
 - i. *The massage business will be required to obtain all certificates and licenses required by the State and City of Redondo Beach before being issued a valid business license to operate the business in the City as defined in Title 6 Chapter 2 (Massage/Bodyworks Businesses) of this code. The City's business license application process requires that the business*

owner provide State Certification verification, general business information, corporate information, and a signed statement of conduct for all employees and contractors related to the business, and inspection processes.

- b.** Massage business owners shall obtain and maintain compliance of all permits required by the County of Los Angeles, Department of Public Health.
 - i.* *The massage business will be required to obtain and maintain compliance of all permits required by the County of Los Angeles, Department of Health prior to the issuance of their Business License and all annual renewals.*
 - c.** No massage business may be operated from a location where illegal activity has occurred within three years of submission of an application for a massage business at that location.
 - i.* *This site has no history of infractions or illegal activity within the last three years of submission of an application at 409 N. Pacific Coast Highway, this criterion has been met. This information was provided by the City of Redondo Beach Police Department.*
 - d.** Massage establishment owner(s) must submit proof of a valid business registration certificate or proof of consideration of such a certificate is in process.
 - i.* *The massage establishment owners have begun the process for business registration with the City of Redondo Beach, this criterion has been met.*
 - e.** The minimum separation between site boundaries of properties containing massage businesses shall be 1,000 feet, except that this standard may be waived by the decision-making body upon finding that the addition of the massage business will not contribute to or create a blighting influence in its vicinity.
 - i.* *The proposed business has been mapped and is currently outside of the 1,000 feet buffer to the nearest other massage business.*
 - f.** Alcohol shall not be sold, consumed or purchased in any massage business.
 - i.* *The business does not propose any alcohol consumption or sales, this criterion has been met.*
 - g.** Condoms shall not be sold or purchased in any massage business.
 - i.* *The business does not propose any retail sales, including the retail sales of condoms, as such this criterion has been met.*
2. In accordance with Section 10-2.1628(c) of the Redondo Beach Municipal Code, approval of the Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
- a.** The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and

Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

- i. The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The massage business use will be housed within an existing commercial building previously used by commercial tenants. The proposed use is in conformity with the General Plan land use designation of Commercial (C-2) which allows all C-2 commercial uses, which include “personal services and similar uses”. Additionally, the parking spaces provided comply with the minimum number required by code.*
- b. The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.
 - i. The site is directly adjacent to a signalized intersection at N. Pacific Coast Highway, a major arterial street, and Carnelian Street. The access to the subject property is available on N. Pacific Coast Highway or Carnelian Street. However, traffic moving northbound on Pacific Coast Highway must use the accessway off Carnelian Street as turns into the plaza from N. Pacific Coast Highway is not allowed when moving northbound. The existing driveways on N. Pacific Coast Highway and Carnelian Street complies with RBMC driveway standards. Pedestrian access is also provided by an existing ADA compliant walkway from the public sidewalk on N. Pacific Coast Highway and Carnelian Street.*
- c. The proposed use shall have no adverse effect on abutting property or the permitted use thereof.
 - i. The massage business will operate within an existing tenant space with a use that is inherently silent due to the peaceful atmosphere of the business. Additionally, there is an approximate 90-foot distance to the adjacent residentially zoned properties which will further mitigate any potential noise impacts. Adequate parking exists on site for the proposed massage business use and no other exterior changes are planned.*
- d. The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:

- i. Additional setbacks, open spaces, and buffers;
The existing rear setback complies with applicable RBMC development standards as the adjacent uses west of the site are residentially zoned.
- ii. Provision of fences and walls;
Not applicable. No new fences or walls are proposed as a part of this project scope.
- iii. Street dedications and improvements, including service roads and alleys;
A change in use does not trigger street dedications. The existing right-of-way is 80'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the subject property (Pacific Coast Highway) are consistent with Caltrans standards.
- iv. The control of vehicular ingress, egress, and circulation;
The existing two-way access driveway complies with Zoning Ordinance and Public Works standards.
- v. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.
- vi. Provision of landscaping and the maintenance thereof;
Existing compliant landscaping to remain.
- vii. The regulation of noise, vibration, odor and the like;
The proposed use is entirely indoors and will not produce any excessive noise, vibration, or odor.
- viii. Requirements for off-street loading facilities;
As a massage business use with no retail operations, loading facilities can be accommodated by small vans that utilize the immediate adjacent ground floor parking lot.
- ix. A time period within which the proposed use shall be developed;
The proposed tenant improvement will comply with required building construction and inspections days/hours
- x. Hours of permitted operation and similar restrictions;
Hours of operation are proposed to be 10:00AM to 10:00PM with peak hours expected between 1:00PM to 5:00PM. Based on the total number of parking available, there is ample parking during peak times for the proposed use.

- x. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and

Not applicable. No billboards are located on this subject property.

- xii. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.

The conditions of approval address all noted issues of concern, namely potential parking and the acquisition of all related certificates and licenses required by the State, County of Los Angeles, and City of Redondo Beach, resulting in a project that is in conformity with the intentions and purposes of the applicable provisions of the City's Zoning Ordinance and its General Plan.

Additionally, the project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of commercial services which provide for the needs of current and future residents. The massage business will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce additional noise and there is an existing 90-foot setback from the adjacent residential uses to the west. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-2.1802. No new landscaping is required. As conditioned, the massage business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed massage business use. Additional conditions of approval have been added that require the following:

- That the business obtains all necessary licenses from the State of California, County of Los Angeles Department of Health, and the City of Redondo Beach, as defined by Title 6, Chapter 2 of the RBMC.*
- That the business be permitted to operate between the hours of 10:00am to 10:00pm, Seven (7) days a week;*

- *Maximum number of eight (8) employees in the massage business at any given time; and*
 - *The use shall occur exclusively within the interior of the tenant space.*
3. The plans, specifications, and drawings submitted with the application have been reviewed by the Planning Commission.
 4. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Sections 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. Based on the above findings, the Planning Commission does hereby approve the California Environmental Quality Act Exemption Declaration and grant the Conditional Use Permit pursuant to the plans, specifications, drawings, and application considered by the Planning Commission at its meeting of the 17th day of October, 2024.

SECTION 2. The Conditional Use Permit shall be void in the event that the applicant does not comply with the following conditions:

1. The approval granted herein is for massage business on a C-2A Commercial property. The property shall be maintained and operated in substantial compliance with the plans reviewed and approved by the Planning Commission at its meeting on December 19, 2024.
2. The proposed project shall comply with all applicable codes, regulations, and requirements and the applicant shall obtain all necessary permits from the Building Division, Engineering Division, Fire Department, and any other agency with jurisdiction over the improvements to the site.
3. That the business be permitted to operate between the hours of 10:00am to 10:00pm only.
4. That the business shall obtain all necessary licenses from the State of California, the County of Los Angeles Department of Health, and the City of

Redondo Beach, as defined by Title 6, Chapter 2 of the Redondo Beach Municipal Code.

5. That the business shall not be permitted to serve or sell alcohol from the premises.
6. That the business shall not conduct retail sales, inclusive of condoms, from the premises.
7. That the business shall have a maximum number of eight (8) full-time employees at any given time.
8. That the use shall occur exclusively within the interior of the tenant space.
9. The Planning Division shall be authorized to approve minor changes.
10. In the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
11. The Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.
12. In the event that complaints are filed with the City and the City determines that a violation of the City's municipal code has occurred, these entitlements may be brought back to the Planning Commission for additional business operations restrictions up to and including revocation of these entitlements in the event the business is determined to be non-compliant with Title 6 (Businesses, Professions, and Trades) and Title 10 (Planning and Zoning) of this code.

SECTION 3. The approved Conditional Use Permit shall become null and void if not vested within 36 months after the Planning Commission's approval.

SECTION 4. Prior to seeking judicial review of this Resolution, the applicant is required to appeal to the City Council. The applicant has ten (10) days from the date of adoption of this Resolution in which to file an appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this Resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED, AND ADOPTED this 19th day of December, 2024.

Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Sean Scully, Planning Manager of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2024-12-PCR-** was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 19th day of December 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sean Scully
Planning Manager

APPROVED AS TO FORM:

City Attorney's Office

REDONDO BEACH, CALIFORNIA

INTERIOR TENANT IMPROVEMENT

409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA
90277
7503-018-040

CITY OF REDONDO BEACH PERMIT NUMBER:
TBD

DRAWING INDEX

GENERAL
G-1.0 COVER SHEET
G-1.2 BUILDING AREA DATA

DEMOLITION
D-2.0 FLOOR PLAN -- EXISTING CONDITIONS & DEMOLITION

ARCHITECTURAL
A-1.0 SITE PLAN
A-2.0 FLOOR PLAN -- NOTES
A-2.1 FLOOR PLAN -- DIMENSIONS

PROJECT LOCATION

ASSESSOR'S PARCEL NUMBER: 7503-018-040

PROJECT ADDRESS: 409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA
90277

PROJECT JURISDICTION: BUILDING: CITY OF REDONDO BEACH
ENVIRONMENTAL HEALTH: COUNTY OF LOS ANGELES
FIRE DEPARTMENT: CITY OF REDONDO FIRE PREVENTION BUREAU
WATER DISTRICT: CALIFORNIA WATER SERVICE
SEWER DISTRICT: CITY OF REDONDO BEACH
STORM DRAIN DISTRICT: CITY OF REDONDO BEACH

PROJECT GENERAL PLAN: C-2

PROJECT ZONING: C-2A

DEVELOPMENT / MUNICIPAL CODE: CITY OF REDONDO BEACH MUNICIPAL CODE

APPLICABLE BUILDING CODES -- STATE OF CALIFORNIA

BUILDING: CALIFORNIA BUILDING CODE, 2022 EDITION
STRUCTURAL: CALIFORNIA BUILDING CODE, 2022 EDITION
FIRE: CALIFORNIA FIRE CODE, 2022 EDITION
PLUMBING: CALIFORNIA PLUMBING CODE, 2022 EDITION
MECHANICAL: CALIFORNIA MECHANICAL CODE, 2022 EDITION
ELECTRICAL: CALIFORNIA ELECTRICAL CODE, 2022 EDITION
GREEN: CALIFORNIA GREEN BUILDING CODE, 2022 EDITION
ENERGY: CALIFORNIA ENERGY CODE, 2022 EDITION

DEVELOPMENT DATA

OCCUPANCY: B

PROJECT AREA: 2,713 SF

STORIES: 2

TYPE OF CONSTRUCTION: VB

FIRE SPRINKLERS: YES, MODIFICATIONS BY DEFERRED SUBMITTAL

FIRE ALARM: YES, MODIFICATIONS BY DEFERRED SUBMITTAL

OCCUPANT LOAD: REFER TO DRAWING G-1.2

EXITS REQUIRED / PROVIDED: REFER TO DRAWING A-2.2

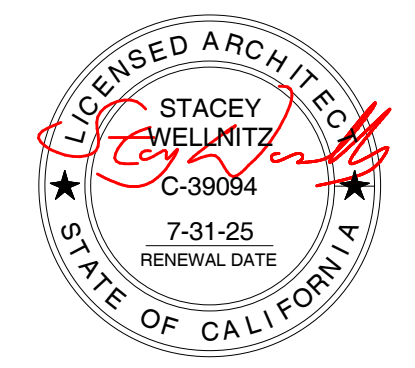
RESTROOMS: REFER TO DRAWING G-1.2

#	REVISION	BY
2	PLNG REV 1	TAF



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modesto - california • 95354
www.commercialarch.com
ph. 209.571.8158



REDONDO BEACH, CALIFORNIA

INTERIOR TENANT IMPROVEMENT

LOCATION
409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA
90277

PARCEL
7503-018-040

OWNER
THE NOW
MARJANEH MANAVI

PERMIT NUMBERS

CITY OF REDONDO BEACH
TBD

COUNTY OF LOS ANGELES

CITY OF REDONDO FIRE PREVENTION BUREAU

DATE
11/27/2024 11:43:00 AM
COMMARCH #
24-122

G-1.0

COVER SHEET

ARCHITECTURAL SYMBOL LEGEND

NORTH ARROW NORTH DIRECTION ARROW		ROOM IDENTIFICATION ROOM DESIGNATION		NAME
		ROOM IDENTIFICATION NUMBER		#
INTERIOR ELEVATION INTERIOR ELEVATION NUMBER		KEYED NOTES KEYED NOTED		#
DRAWING NUMBER LOCATION		ELEVATION HEIGHT ELEVATION HEIGHT		0' 0" FLOOR FINISH
SECTION VIEW DIRECTION		REVISIONS ADDENDUM NUMBER		#
SECTION NUMBER		REVISION AREA CLOUD		A-#
DRAWING NUMBER LOCATION				
DETAIL DETAIL NUMBER				
CUT DIRECTION				
DRAWING NUMBER LOCATION				

PROJECT TEAM

ARCHITECT

COMMERCIALARCH
STACEY WELLNITZ
616 14TH STREET
MODESTO, CA
95354
PH. (209) 571-8158
EMAIL SWELLNITZ@COMMERCIALARCH.COM

OWNERS

THE NOW
MARJANEH MANAVI
10338 LOUISIANA AVENUE
LOS ANGELES, CA
90025
PH. (310) 704-1678
EMAIL MARJANEH.MANAVI@THENOWMESSAGE.COM

DEFERRED APPROVAL NOTES

- COMPLETE PLANS, SPECIFICATIONS, MATERIAL DATA AND/OR CALCULATIONS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER (BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION) FOR JURISDICTIONAL REVIEW AND APPROVAL.
- THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL, WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.

THE FOLLOWING ITEMS SHALL BE CLASSIFIED AS A DEFERRED SUBMITTAL:

- FIRE SPRINKLER SYSTEM MODIFICATIONS
- FIRE ALARM SYSTEM MODIFICATIONS

SCOPE OF WORK

INTERIOR TENANT IMPROVEMENT

MESSAGE / DAY SPA

EXISTING TO REMAIN

DEMISING WALLS
EXTERIOR STOREFRONT
ELECTRICAL SERVICE PANEL

DEMOLITION

INTERIOR PARTITION WALLS
PLUMBING FIXTURES
ELECTRICAL DEVICES
MECHANICAL DUCTWORK

NEW CONSTRUCTION

INTERIOR WALLS, FINISHES, TRANSACTION COUNTERS AND EQUIPMENT
MECHANICAL DUCTWORK AND AIR TERMINALS
PLUMBING PIPING, FIXTURES AND EQUIPMENT
ELECTRICAL POWER, LIGHTING, FIXTURES AND EQUIPMENT

SEE DRAWING G-1.1 FOR ADDITIONAL PROJECT NOTES & REQUIREMENTS

VICINITY MAP

PROJECT LOCATION
409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA
90277

PROJECT AREA DATA -- GROSS

ROOM #	ROOM NAME	AREA	CALIFORNIA BUILDING CODE - CHAPTER 10, SECTION 1004		
			ROOM FUNCTION	OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS (GROSS)
FINISH FLOOR					
1	MESSAGE ROOM	103 SF	BUSINESS	150 SF	0.69
2	MESSAGE ROOM	96 SF	BUSINESS	150 SF	0.64
3	MESSAGE ROOM	96 SF	BUSINESS	150 SF	0.64
4	MESSAGE ROOM	107 SF	BUSINESS	150 SF	0.71
5	MESSAGE ROOM	103 SF	BUSINESS	150 SF	0.68
6	MESSAGE ROOM	101 SF	BUSINESS	150 SF	0.67
7	MESSAGE ROOM	101 SF	BUSINESS	150 SF	0.67
8	MESSAGE ROOM	101 SF	BUSINESS	150 SF	0.67
9	MESSAGE ROOM	101 SF	BUSINESS	150 SF	0.67
10	MESSAGE ROOM	112 SF	BUSINESS	150 SF	0.75
100	LOBBY	226 SF	UNCONCENTRATED ASSEMBLY	15 SF	15.09
101	TRANSITION COUNTER	44 SF	BUSINESS	150 SF	0.29
102	TRANSITION ROOM	150 SF	BUSINESS	150 SF	1.00
103	HALL	265 SF	ANCILLARY -- CIRCULATION	0 SF	
103	VESTIBULE	93 SF	ANCILLARY -- CIRCULATION	0 SF	
104	UNISEX RESTROOM	74 SF	ANCILLARY -- RESTROOM	0 SF	
105	BREAK ROOM	491 SF	UNCONCENTRATED ASSEMBLY	15 SF	32.73
106	OFFICE	87 SF	BUSINESS	150 SF	0.58
107	UNISEX RESTROOM	69 SF	ANCILLARY -- RESTROOM	0 SF	
108	STORAGE	110 SF	ACCESSORY -- STORAGE	300 SF	0.37
		2630 SF			56.86

PROJECT AREA TABULATIONS - NET

ROOM #	ROOM NAME	NET AREA	CALIFORNIA BUILDING CODE - CHAPTER 10, SECTION 1004		
			ROOM FUNCTION	BUILDING OCCUPANT LOAD FACTOR	NUMBER OF OCCUPANTS (NET)
FINISH FLOOR					
1	MESSAGE ROOM	94 SF	BUSINESS	150 SF	0.63
2	MESSAGE ROOM	94 SF	BUSINESS	150 SF	0.63
3	MESSAGE ROOM	94 SF	BUSINESS	150 SF	0.63
4	MESSAGE ROOM	97 SF	BUSINESS	150 SF	0.65
5	MESSAGE ROOM	90 SF	BUSINESS	150 SF	0.60
6	MESSAGE ROOM	92 SF	BUSINESS	150 SF	0.62
7	MESSAGE ROOM	92 SF	BUSINESS	150 SF	0.62
8	MESSAGE ROOM	92 SF	BUSINESS	150 SF	0.62
9	MESSAGE ROOM	92 SF	BUSINESS	150 SF	0.62
10	MESSAGE ROOM	95 SF	BUSINESS	150 SF	0.63
100	LOBBY	232 SF	UNCONCENTRATED ASSEMBLY	15 SF	15.46
101	TRANSITION ROOM	135 SF	BUSINESS	150 SF	0.90
102	HALL	259 SF	ANCILLARY -- CIRCULATION	0 SF	
103	VESTIBULE	81 SF	ANCILLARY -- CIRCULATION	0 SF	
104	GUEST RESTROOM	62 SF	ANCILLARY -- RESTROOM	0 SF	
105	BREAK ROOM	440 SF	UNCONCENTRATED ASSEMBLY	15 SF	29.36
106	EMPLOYEE RESTROOM	55 SF	BUSINESS	150 SF	0.36
107	OFFICE	72 SF	ANCILLARY -- RESTROOM	0 SF	
108	STORAGE	97 SF	ACCESSORY - STORAGE	300 SF	0.32
		2368 SF			52.64

OCCUPANT LOAD TABULATION

ROOM #	ROOM NAME	OCCUPANT LOAD CALCULATED NET OR GROSS PER CALIFORNIA BUILDING CODE	BUILDING OCCUPANT LOAD
FINISH FLOOR			
1	MESSAGE ROOM	GROSS	1
2	MESSAGE ROOM	GROSS	1
3	MESSAGE ROOM	GROSS	1
4	MESSAGE ROOM	GROSS	1
5	MESSAGE ROOM	GROSS	1
6	MESSAGE ROOM	GROSS	1
7	MESSAGE ROOM	GROSS	1
8	MESSAGE ROOM	GROSS	1
9	MESSAGE ROOM	GROSS	1
10	MESSAGE ROOM	GROSS	1
100	LOBBY	NET	13
101	TRANSITION ROOM	GROSS	1
102	HALL	--	0
103	VESTIBULE	--	0
104	GUEST RESTROOM	--	0
105	BREAK ROOM	NET	28
106	EMPLOYEE RESTROOM	GROSS	1
107	OFFICE	--	0
108	STORAGE	GROSS	1
			54

REQUIRED PLUMBING FIXTURES

REQUIRED PLUMBING FIXTURES	CPC TABLE 422.1						
	MEN			WOMEN		UNISEX	
	WATER CLOSET	URINAL	LAVATORY	WATER CLOSET	LAVATORY	SERVICE SINK	DRINKING FOUNTAIN
B OCCUPANCY 50 TOTAL OCCUPANTS (25 MEN / 25 WOMEN)	1	0	1	1	1	1	0
B OCCUPANCY FIXTURES PROVIDED	1*	0*	1*	1*	1*	1	0

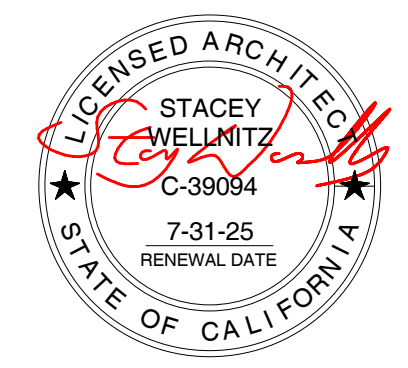
NOTE:
PER CPC 422.2, EXCEPTION 3, SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 50 OR FEWER.
OCCUPANT LOAD IS 25 FOR EACH GENDER, ONE UNISEX RESTROOM PROVIDED

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REDONDO BEACH, CALIFORNIA

INTERIOR TENANT IMPROVEMENT

LOCATION
409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA
90277

PARCEL
7503-018-040

OWNER
THE NOW
MARJANEH MANAVI

PERMIT NUMBERS

CITY OF REDONDO BEACH
TBD

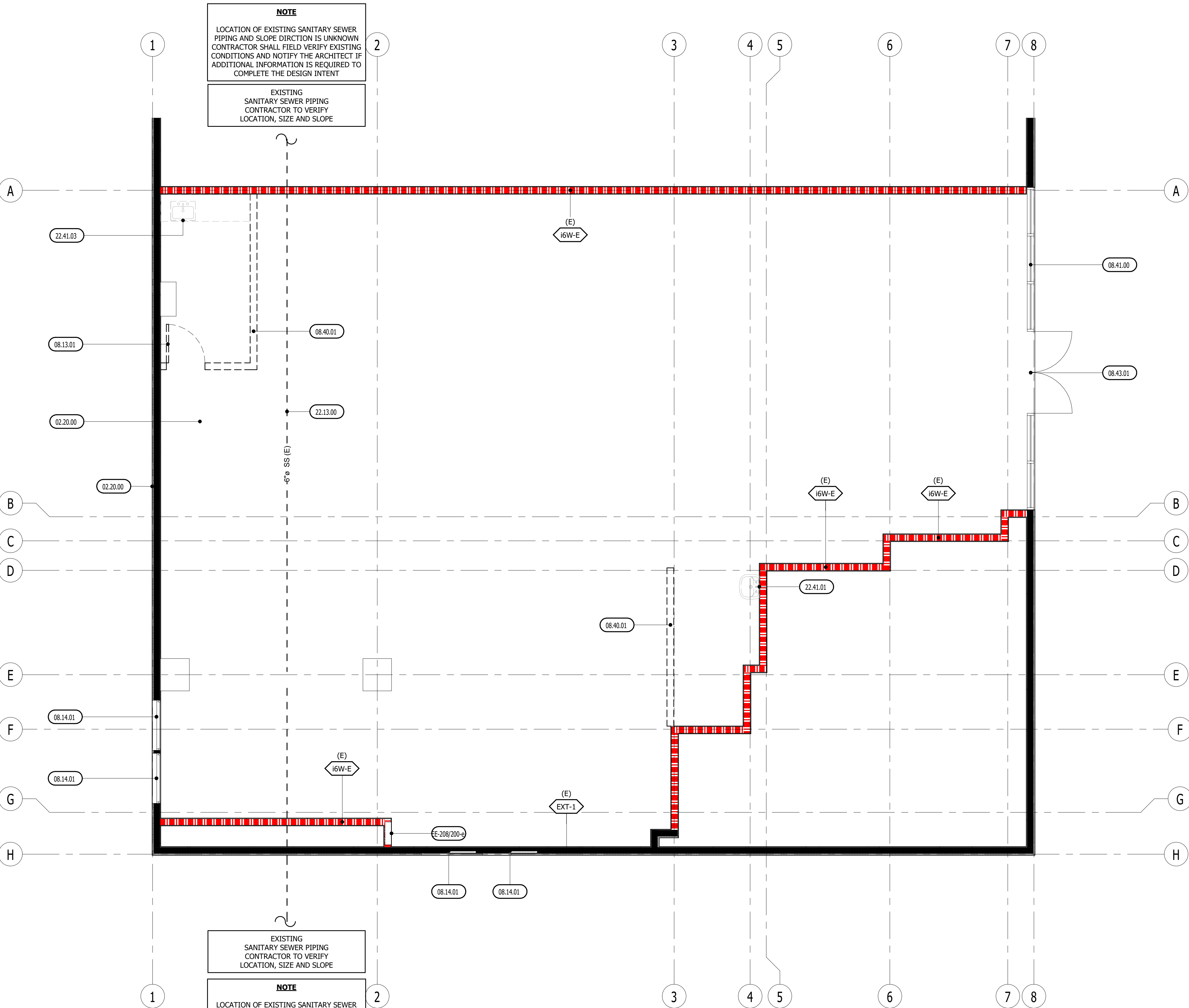
COUNTY OF LOS ANGELES

CITY OF REDONDO FIRE PREVENTION BUREAU

DATE
11/27/2024 11:43:01 AM
COMMARCH #
24-122

G-1.2

BUILDING AREA DATA



1 FLOOR PLAN -- EXISTING CONDITIONS & DEMOLITION

SCALE:
1/4" = 1'-0"

KEYED NOTE SCHEDULE -- D-2.0	
#	NOTE
Doors	
08.13.01	EXISTING DOOR TO BE DEMOLISHED
08.43.01	EXISTING STOREFRONT DOOR, TO REMAIN -- NO WORK
Electrical Equipment	
EE-208/200-e	EXISTING, 42 CIRCUIT, 120/208V, 3 PHASE, 4 WIRE, 200 AMP, RECESSED ELECTRICAL PANEL -- REFER TO ELECTRICAL ONE-LINE DIAGRAM FOR FEEDERS AND CIRCUITING INFORMATION -- CONTRACTOR TO VERIFY THAT PANEL IS IN GOOD, WORKING ORDER -- NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED TO COMPLETE THE DESIGN INTENT
Floors	
02.20.00	EXISTING 4" CONCRETE SLAB TO REMAIN
Pipes	
22.13.00	EXISTING SANITARY SEWER PIPING TO REMAIN -- CONTRACTOR TO VERIFY LOCATION AND SLOPE -- NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED TO COMPLETE DESIGN INTENT
Plumbing Fixtures	
22.41.01	EXISTING LAVATORY TO BE DEMOLISHED
22.41.03	EXISTING SINK AND CASEWORK TO BE DEMOLISHED
Walls	
08.40.01	EXISTING WALL TO BE DEMOLISHED, TYPICAL
08.41.00	EXISTING ALUMINUM STOREFRONT SYSTEM TO REMAIN -- NO WORK
08.41.03	EXISTING FIRE-RATED WALL, TO REMAIN -- NO WORK
Windows	
08.14.01	EXISTING EXTERIOR WINDOW TO REMAIN

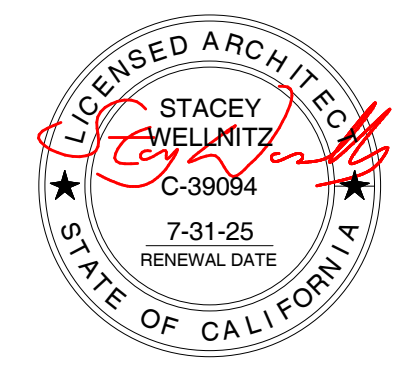
WALL LEGEND - EXISTING	
MARK	WALL SYMBOL
EXTERIOR WALL	
EXT-1	
INTERIOR WALL -- 1 HR. FIRE RATED	
i6W-E	

WALL SCHEDULE - EXISTING				
MARK	FRAMING	FIRE RATING	INS.	DETAIL
EXTERIOR WALL				
EXT-1	EXISTING EXTERIOR WALL FRAMING			
INTERIOR WALL -- 1 HR. FIRE RATED				
i6W-E	2x6 WOOD STUDS @ 16" O.C	1 HR	R-19 UNFACED BATTS	

SEE DEMOLITION NOTES ON DRAWING D-1.0

NOTE
CONTRACTOR TO VERIFY EXISTING CONDITIONS IF EXISTING FIXTURES, DUCTWORK AND/OR PIPING LEFT BY PREVIOUS TENANT MEET THE PERFORMANCE AND ACCESSIBILITY REQUIREMENTS OF BUILDING CODE AND PROJECT SPECIFICATIONS, EXISTING PIPING, DUCTWORK FIXTURES AND EQUIPMENT MAY BE UTILIZED
NOTIFY ARCHITECT IF REVISIONS AND/OR ADDITIONAL INFORMATION IS REQUIRED TO MEET PROJECT CRITERIA

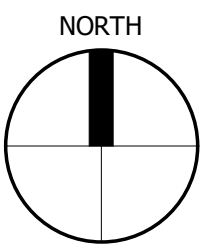
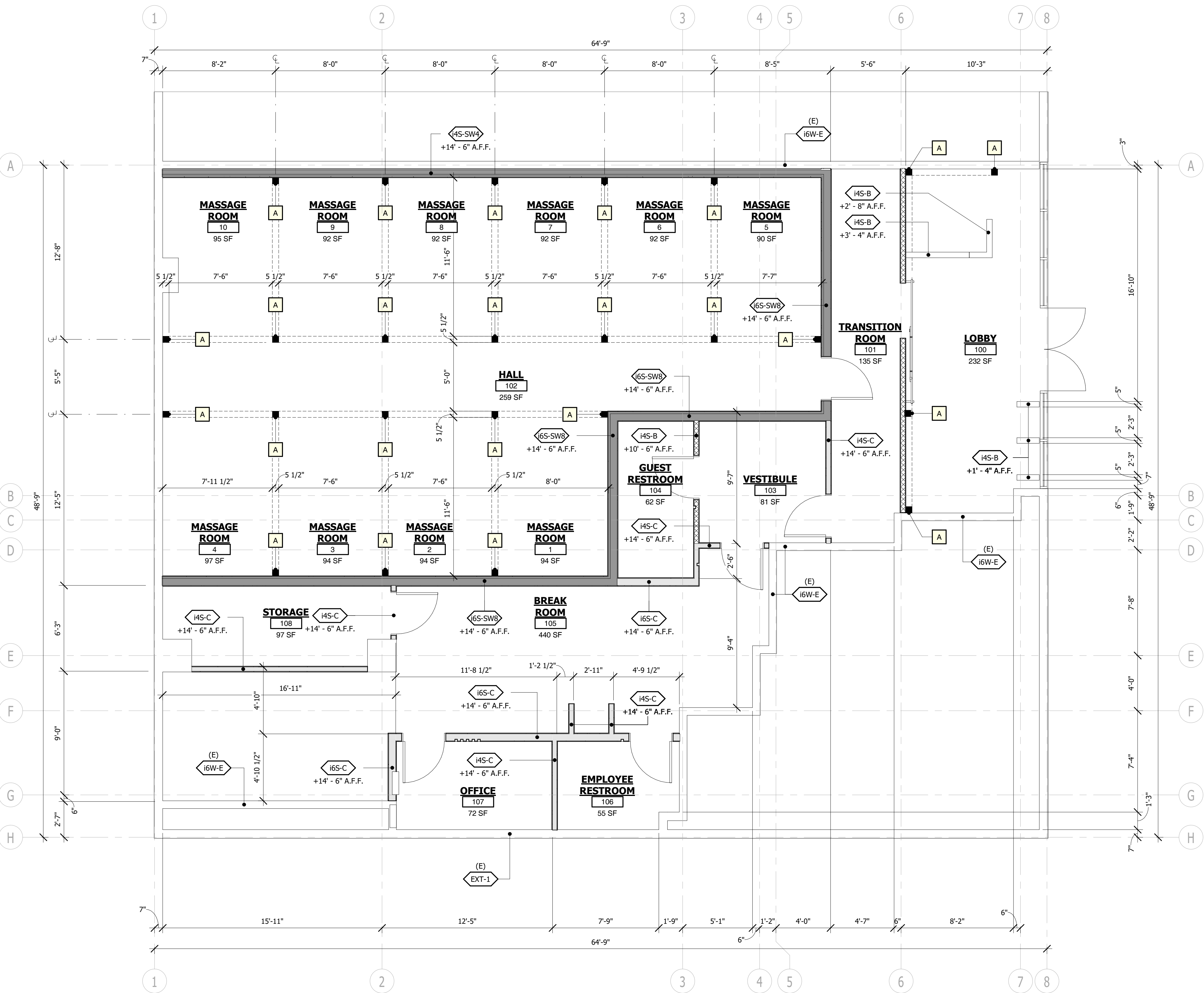
#	REVISION	BY



INTERIOR TENANT IMPROVEMENT
LOCATION
409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA 90277
PARCEL
7503-018-040
OWNER
THE NOW
MARJANEH MANAVI

PERMIT NUMBERS
CITY OF REDONDO BEACH
TBD
COUNTY OF LOS ANGELES
CITY OF REDONDO FIRE PREVENTION BUREAU

D-2.0
DATE
11/27/2024 11:43:00 AM
COMMARCH #
24-122
FLOOR PLAN -- EXISTING CONDITIONS & DEMOLITION



2 FLOOR PLAN -- DIMENSIONS

SCALE:
1/4" = 1'-0"

WALL LEGEND - NEW

MARK	WALL SYMBOL
I4S-B	
I4S-C	
I6S-C	
I4S-SW4	
I6S-SW8	

WALL SCHEDULE

MARK	FRAMING	FIRE RATING	INS.	DETAIL
I4S-B	INTERIOR PARTITION 3-5/8" STEEL STUDS @ 16" O.C. PARTIAL HEIGHT FRAMING PARTIAL HEIGHT WALL FINISH	-	R-13 UNFACED BATTS	I-B / A-10.0
I4S-C	INTERIOR PARTITION 3-5/8" STEEL STUDS @ 16" O.C. FULL HEIGHT FRAMING PARTIAL HEIGHT WALL FINISH	-	R-13 UNFACED BATTS	I-C / A-10.0
I6S-C	INTERIOR PARTITION 6" STEEL STUDS @ 16" O.C. FULL HEIGHT FRAMING PARTIAL HEIGHT WALL FINISH	-	R-19 UNFACED BATTS	I-C / A-10.0
I4S-SW4	INTERIOR SOUND PARTITION 1" AIR GAP FROM (E) CONSTRUCTION 3-5/8" STEEL STUDS @ 16" O.C. 7/8" RESILIENT CHANNEL 1-1/4" SOUND CLIP 2-LAYERS, 5/8" GYPSUM BOARD TAPE, TEXTURE, PAINT PER FINISH SCHEDULE	-	THERMAFIBER SAFB	SW4 / A-10.0
I6S-SW8	INTERIOR SOUND PARTITION 6" STEEL STUDS @ 16" O.C. 7/8" RESILIENT CHANNEL 1-1/4" SOUND CLIP 2-LAYERS, 5/8" GYPSUM BOARD TAPE, TEXTURE, PAINT PER FINISH SCHEDULE	-	THERMAFIBER SAFB	SW8 / A-10.0

DECORATIVE COLUMN SCHEDULE

MARK	QTY	DESCRIPTION	LENGTH	BASE / HOLD DOWN	DETAIL
A	24	6x6, D.F. #1	9' - 0"		

CONTRACTOR SHALL VERIFY EXACT LENGTHS OF COLUMNS AND BEAMS PRIOR TO FABRICATION

FLOOR PLAN NOTES

- FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL DIMENSIONS FROM EXISTING WALLS ARE FROM EDGE OF EXISTING WALL FINISH.
- ALL DIMENSIONS FROM NEW WALLS ARE MEASURED TO FACE OF STUD, UNLESS OTHERWISE NOTED.

SEE DRAWING A-2.1 FOR WALL SCHEDULE AND SPECIFICATIONS

SEE DRAWING A-2.1 FOR STRUCTURAL COLUMN SCHEDULE & SPECIFICATIONS

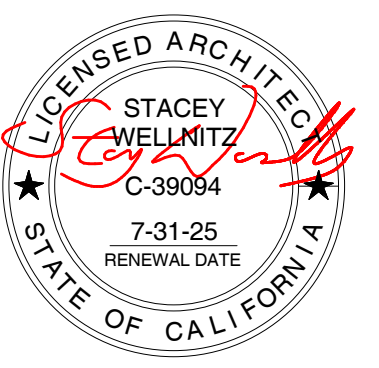
NOTE

CONTRACTOR TO VERIFY EXISTING CONDITIONS
IF EXISTING FIXTURES, DUCTWORK AND/OR PIPING LEFT BY PREVIOUS TENANT
MEET THE PERFORMANCE AND ACCESSIBILITY REQUIREMENTS OF BUILDING CODE AND PROJECT SPECIFICATIONS, EXISTING PIPING, DUCTWORK FIXTURES AND EQUIPMENT MAY BE UTILIZED
NOTIFY ARCHITECT IF REVISIONS AND/OR ADDITIONAL INFORMATION IS REQUIRED TO MEET PROJECT CRITERIA

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The NOW
A MESSAGE BOUTIQUE
REDONDO BEACH, CALIFORNIA

INTERIOR TENANT IMPROVEMENT

LOCATION
409 N. PACIFIC COAST HWY
SUITE 100
REDONDO BEACH, CA 90277

PARCEL
7503-018-040

OWNER
THE NOW
MARJANEH MANAVI

PERMIT NUMBERS

CITY OF REDONDO BEACH
TBD

COUNTY OF LOS ANGELES

CITY OF REDONDO FIRE PREVENTION BUREAU

DATE
11/27/2024 11:43:00 AM
COMMARCH #
24-122

A-2.1

FLOOR PLAN -- DIMENSIONS

MEMORANDUM

To: Chris Fahey
Haagen Company, LLC

Date: November 21, 2016

From: Clare M. Look-Jaeger, P.E. *CL-Jaeger* LLG Ref: 1-16-4195-1
Alfred C. Ying, P.E., PTP *ACY*
LLG, Engineers

Subject: **Redondo Shores Shopping Center Parking Assessment**
City of Redondo Beach, California

This memorandum has been prepared by Linscott, Law & Greenspan, Engineers (LLG) to summarize the parking analysis associated with the Redondo Shores Shopping Center project located in the City of Redondo Beach, California. Haagen Company, LLC is currently considering the potential conversion of a vacant 3,800 square-foot retail suite on the first floor into a dental office. As such, this parking assessment has been prepared to evaluate existing parking conditions for the Redondo Shores Shopping Center and to determine the adequacy of the center's parking supply to meet the anticipated peak site-wide parking demand following the subject conversion and with 100% tenant occupancy of the center. The following sections provide a review of the following:

- A description of the existing site conditions, including a review of the existing site-wide parking supply;
- Off-street parking requirements applicable to the project site pursuant to the City of Redondo Beach Municipal Code, assuming all land uses as stand-alone uses;
- A summary of the existing weekday and weekend parking accumulation surveys conducted at the project site;
- A forecast of peak parking demand for the project site with 100% tenant occupancy utilizing the shared parking analysis methodologies (i.e., which account for the changes in parking demand that occur based on time of day for the various land use components); and
- A conclusion regarding adequacy of the parking supply to accommodate the forecast future peak parking demand.

Project Setting and Parking Supply

The Redondo Shores Shopping Center is located at 401-417 North Pacific Coast Highway in the City of Redondo Beach, California. The project site is bounded by Beryl Street to the north, Carnelian Street to the south, Pacific Coast Highway to the east, and Elena Avenue to the west. The site location and general vicinity are shown in the aerial photograph contained in *Figure 1*.



Engineers & Planners
Traffic
Transportation
Parking

Linscott, Law &
Greenspan, Engineers

600 S. Lake Avenue
Suite 500
Pasadena, CA 91106

626.796.2322 T
626.792.0941 F
www.llgengineers.com

Pasadena
Irvine
San Diego
Woodland Hills





FIGURE 1
AERIAL PHOTOGRAPH OF EXISTING PROJECT SITE

MAP SOURCE: GOOGLE EARTH
 PROJECT SITE
 EXISTING DRIVEWAY

NOT TO SCALE

REDONDO SHORES SHOPPING CENTER PROJECT

LINSCOTT, LAW & GREENSPAN, engineers

Based on information provided by Haagen Company representatives, the existing Redondo Shores Shopping Center provides 107,396 gross square feet (GSF) of building floor area with a mix of retail, restaurant, dental/medical office, and personal training/fitness land uses, as well as an associated surface parking lot and one level of subterranean parking. A total of 95,322 SF (88.8%) of the center is currently occupied while 12,074 SF (11.2%) is presently vacant.

The location of the parking areas are shown in **Figure 2A** for street level parking and **Figure 2B** for lower level parking. An independent inventory of the number of parking spaces for each area was conducted and documented in October 2016 by LLG Engineers. A summary of the existing parking inventory by level and by space type is provided in **Table 1**. As shown in **Table 1**, a total of 468 parking spaces (including 15 handicap accessible spaces) were provided at the time that the parking accumulation surveys were conducted. Therefore, this total is considered as the site's parking supply for purposes of this parking assessment.

Definition of Terms

The following parking-related definitions and explanations are provided in order to clarify the terms employed in this analysis.

Inventory refers to a field review of a parking facility or parking system to determine the number of spaces (i.e., supply of spaces), typically by designation type (i.e., standard, compact, carpool, etc.), for each individual facility and on a campus-wide or total development basis. The field review includes an inventory of the number of marked stalls (i.e., striped parking spaces) and excludes informal parking spaces and unmarked parking areas used for valet park operations, if applicable. In this study, measurements were not taken to determine if the striped parking spaces meet local jurisdiction and federal government dimension requirements.

Occupancy refers to the number of parked vehicles observed in spaces compared to the number of available spaces for a parking facility or parking system. This information is obtained by verifying and validating entry and exit transaction data for each parking facility access point or by conducting parking accumulation counts of vehicles parked in each facility in the study area over a period of time. This information then is compared with the parking supply to determine parking adequacy.

Parking Accumulation refers to the number of parked vehicles in a study area (i.e., surface lot, parking structure, etc.) at any specified time.

Parking Adequacy refers to the difference between the parking supply and either the existing or estimated future parking demand. The calculation of a positive result indicates a parking surplus and a negative result indicates a parking deficit.

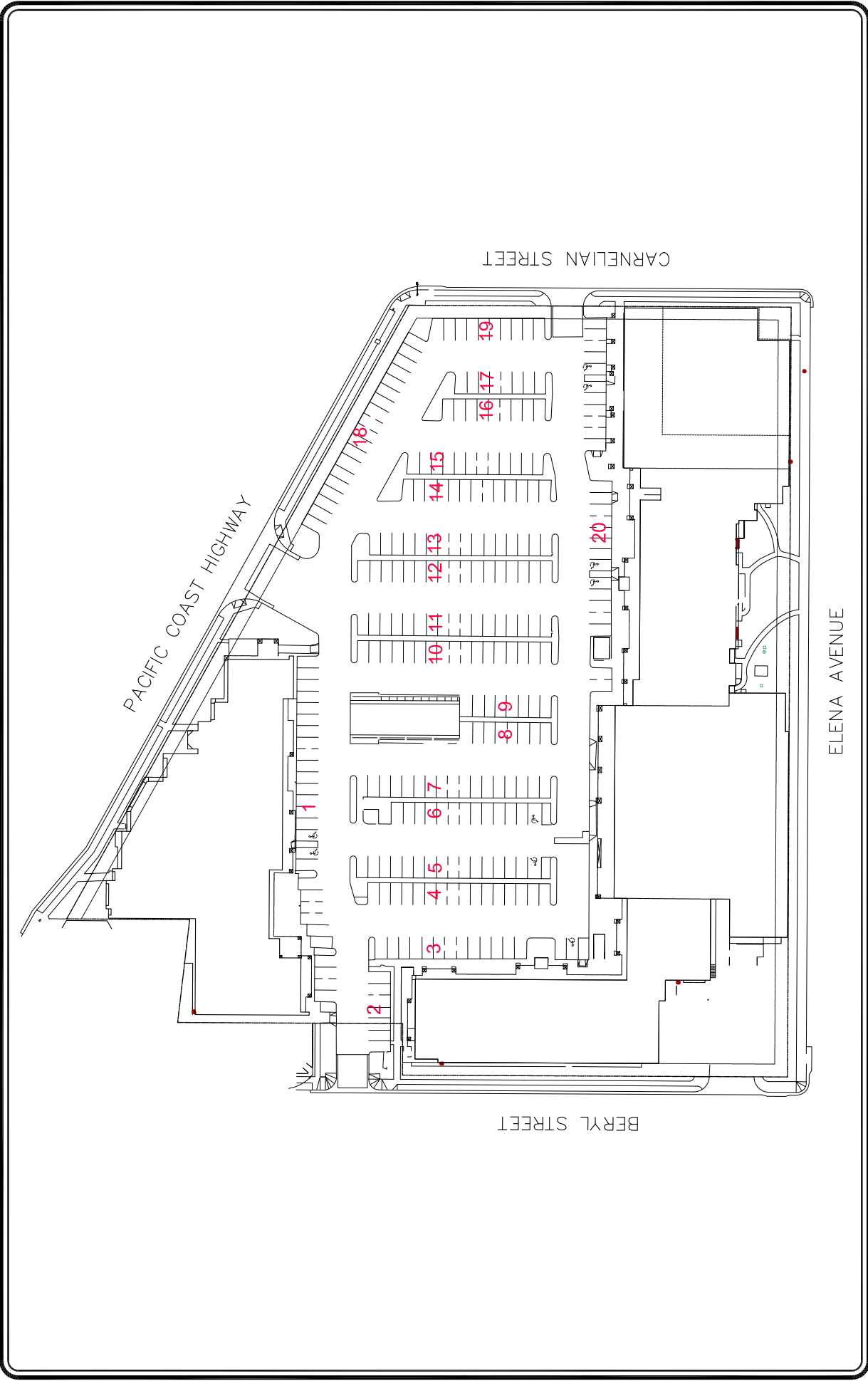


FIGURE 2A
PARKING AREAS - STREET LEVEL

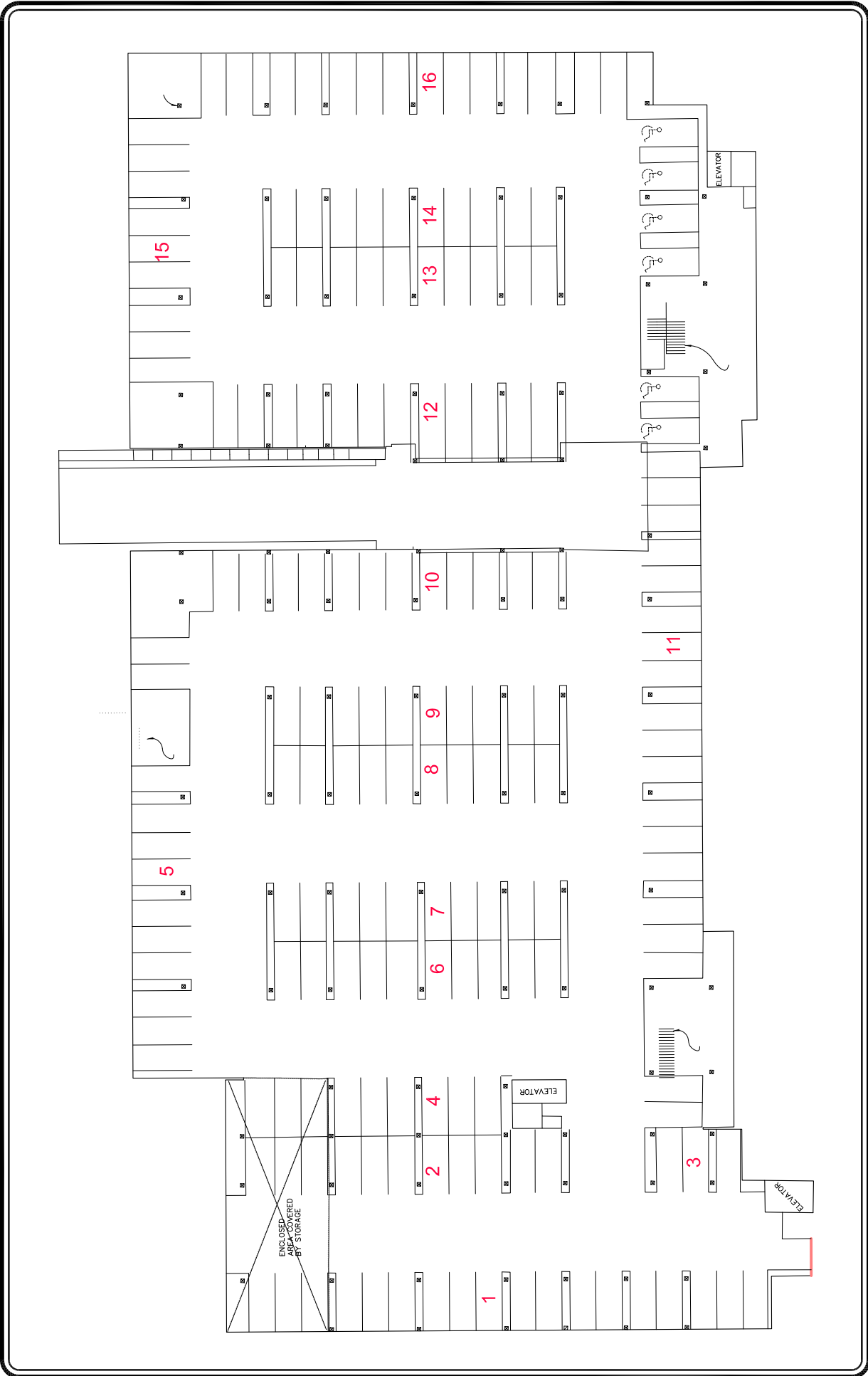
SOURCE: HAAGEN COMPANY, LLC
 XX = PARKING AISLE NUMBER



NOT TO SCALE

REDONDO SHORES SHOPPING CENTER PROJECT

LINSCOTT, LAW & GREENSPAN, engineers



NOT TO SCALE

SOURCE: HAAGEN COMPANY, LLC
 XX = PARKING AISLE NUMBER

FIGURE 2B PARKING AREAS - LOWER LEVEL

Table 1
SUMMARY OF EXISTING PARKING INVENTORY [1]

AREA	SPACE TYPE					TOTAL
	STANDARD	ADA	TIME RESTRICTED	ELECTRIC VEHICLE	LOADING	
Surface Lot	258	9	22	0	3	292
Below Grade	167	6	0	3	0	176
Total						468

Note:
[1] Parking inventory conducted by LLG Engineers.

Parking Demand refers to the number of parking spaces needed to meet motorists' needs on a given day.

Parking Supply refers to the number of parking spaces in a parking facility or parking system obtained in the inventory.

Survey Day refers to the day that the parking accumulation surveys of the parking facility or parking system were conducted, or for which parking facility entry and exit transaction data was evaluated.

City of Redondo Beach Code Parking Requirements

The City of Redondo Beach Municipal Code off-street parking requirements for commercial, industrial, and other non-residential land uses are set forth in Section 10-2.1706(a) of the Municipal Code. LLG obtained the current tenant occupancy and land use data for the Redondo Shores Shopping Center from Haagen Company representatives (i.e., occupancy data as of October 2016). This listing also contained the square footages associated with the tenant spaces/suites that are currently vacant. Appropriate assumptions were subsequently made with respect to future tenant occupancy in terms of land use so as to calculate the parking requirements for the Redondo Shores Shopping Center based on full occupancy. **Table 2** summarizes the parking requirements for the Center in accordance with the Municipal Code parking regulations. As shown, the Redondo Shores Shopping Center code parking requirement would total 542 spaces assuming full occupancy and utilization of all tenant spaces, including the applicant's current consideration to potentially convert one retail suite into a dental office as well as the re-occupancy of all remaining vacant spaces.

Thus, direct application of Municipal Code parking requirements to the project at full occupancy would result in a shortfall of 74 parking spaces. It is important to note that the above Code parking requirement calculations assume all tenants as stand-alone uses and therefore do not account for potential shared parking (i.e., joint use) between the shopping center's mix of land uses. Accumulated experience in parking demand characteristics indicates that a mixing of land uses results in an overall parking need that is less than the sum of the individual peak requirements for each land use. Due to the existing and proposed mixed-use characteristics of the Redondo Shores Shopping Center, opportunities to share parking now occur and can be expected to continue in the future. Furthermore, the City of Redondo Beach Municipal Code [Section 10-2.1706(d)] contains provisions which allow for the joint use (overlap) of parking spaces, subject to administrative review. The following sections summarize the corresponding technical analyses.

Table 2
SUMMARY OF CODE PARKING REQUIREMENTS [1]

Land Use	Size	Parking Rate [1]	Number of Code Required Spaces
<u>Existing/Occupied</u>			
Bank	3,621 GSF	1 Space/ 250 GSF	14
Medical/Dental Office	2,770 GSF	1 Space/ 150 GSF	18
Medical Office - Chiropractic	3,000 GSF	1 Space/ 300 GSF	10
Personal Improvement Service	4,830 GSF	[2]	17 [3]
Restaurant - Fast Food	3,966 GSF	1 Space/ 75 GSF	53
Restaurant - Sit Down	10,518 GSF	1 Space/ 50 GSF [4]	92
Restaurant - Take Out	1,300 GSF	1 Space/ 250 GSF	5
Retail	62,993 GSF	1 Space/ 250 GSF	252
Snack Shop	1,107 GSF	1 Space/ 250 GSF	4
Snack Shop > 12 Seats	<u>1,217</u> GSF	1 Space/ 100 GSF	<u>12</u>
Total	95,322 GSF		477
<u>Vacant/Proposed</u>			
Medical/Dental Office	3,800 GSF	1 Space/ 150 GSF	25
Personal Improvement Service	2,030 GSF	[2]	15 [5]
Retail	4,104 GSF	1 Space/ 250 GSF	16
Snack Shop	2,140 GSF	1 Space/ 250 GSF	9
Total	12,074 GSF		65
Total Number of Parking Spaces Required by Code			542

[1] Source: City of Redondo Beach Municipal Code Section 10-2.1706 "Commercial, Industrial, and Other Non-Residential Parking Standards".

[2] According to the Code, one parking space per employee plus one parking space per each two students are required for personal improvement service land use.

[3] Based on information provided by the applicant, two tenants currently provide personal improvement services. One tenant accommodates up to 18 students and two employees, and that the other tenant accommodates up to nine students and one employee.

[4] According to the Code, one parking space for every four seats, but not less than one space for every 50 square feet of gross floor area designated for seating, including aisles, are required for sit-down restaurant land use. Based on information provided by the applicant, a gross floor area of 4,607 square feet designated for seating has been utilized in the calculation of the number of required parking spaces.

[5] Based on information provided by the applicant, one proposed tenant will provide personal improvement services and will accommodate up to 26 students and two employees.

Existing Site Parking Demand

Based on coordination with the project applicant and the City of Redondo Beach staff, parking accumulation surveys were conducted at the existing site to document on-site parking demand. These surveys were conducted by a traffic count subconsultant (The Traffic Solution) in hourly time increments from 8:00 AM to 8:00 PM over a total of four typical days in October 2016, including three weekdays and one weekend day (Saturday). All vehicles on-site were accounted for in the surveys, including any vehicles that were circulating, pulling into or out of parking stalls, as well as those vehicles parked in areas which were not formally striped. Summaries of the parking accumulation counts for the observations days are presented as follows:

- Tuesday, October 18, 2016. As indicated in **Table 3**, the peak demand for parking for the overall center on this observation day occurred at 12:00 PM when a total of 295 vehicles were parked (i.e., 63.0% occupancy). Thus, a total of 173 parking spaces was available during the highest peak hour of parking demand at the site during this observation day. Furthermore, it is determined that during other time periods of the day, a greater parking surplus (i.e., more than 173 spaces) was available.
- Thursday, October 20, 2016. As indicated in **Table 4**, the peak demand for parking for the overall center on this observation day occurred at 2:00 PM when a total of 298 vehicles were parked (i.e., 63.7% occupancy). Thus, a total of 170 parking spaces was available during the highest peak hour of parking demand at the site during this observation day. Furthermore, it is determined that during other time periods of the day, a greater parking surplus (i.e., more than 170 spaces) was available.
- Friday, October 21, 2016. As indicated in **Table 5**, the peak demand for parking for the overall center on this observation day occurred at 1:00 PM and 2:00 PM when a total of 357 vehicles were parked (i.e., 76.3% occupancy). Thus, a total of 111 parking spaces was available during the highest peak hour of parking demand at the site during this observation day. Furthermore, it is determined that during other time periods of the day, a greater parking surplus (i.e., more than 111 spaces) was available.
- Saturday, October 22, 2016. As indicated in **Table 6**, the peak demand for parking for the overall center on this observation day occurred at 1:00 PM when a total of 354 vehicles were parked (i.e., 75.6% occupancy). Thus, a total of 114 parking spaces was available during the highest peak hour of parking demand at the site during this observation day. Furthermore, it is determined that during other time periods of the day, a greater parking surplus (i.e., more than 114 spaces) was available. It should be noted that on this observation day, one tenant (i.e., a juice bar) hosted a grand opening where free samples were provided for customers. Therefore, the observed parking

Table 3
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: TUESDAY, OCTOBER 18, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- HC Spaces	2	0	0.0%	0	0.0%	0	0.0%	1	50.0%	1	50.0%	2	100.0%	2	100.0%	2	100.0%
	- Standard Spaces	26	1	3.8%	2	7.7%	8	30.8%	14	53.8%	16	61.5%	15	57.7%	15	57.7%	15	57.7%
2	- Standard Spaces	7	1	14.3%	3	42.9%	4	57.1%	5	71.4%	7	100.0%	7	100.0%	6	85.7%	5	71.4%
	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%
3	- Standard Spaces	14	4	28.6%	10	71.4%	11	78.6%	11	78.6%	12	85.7%	12	85.7%	12	85.7%	12	85.7%
	- Standard Spaces	16	3	18.8%	7	43.8%	11	68.8%	14	87.5%	15	93.8%	14	87.5%	12	75.0%	12	75.0%
5	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%
	- Standard Spaces	15	3	20.0%	6	40.0%	11	73.3%	12	80.0%	15	100.0%	12	80.0%	10	66.7%	11	73.3%
6	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%
	- Standard Spaces	12	2	16.7%	3	25.0%	6	50.0%	8	66.7%	10	83.3%	8	66.7%	7	58.3%	8	66.7%
7	- Standard Spaces	17	4	23.5%	7	41.2%	9	52.9%	10	58.8%	12	70.6%	10	58.8%	10	58.8%	15	88.2%
	- Standard Spaces	8	1	12.5%	2	25.0%	2	25.0%	5	62.5%	6	75.0%	10	125.0%	10	125.0%	8	100.0%
9	- Standard Spaces	8	3	37.5%	5	62.5%	6	75.0%	7	87.5%	7	87.5%	7	87.5%	5	62.5%	5	62.5%
	- Standard Spaces	17	4	23.5%	7	41.2%	9	52.9%	12	70.6%	15	88.2%	12	70.6%	10	58.8%	9	52.9%
11	- Standard Spaces	17	2	11.8%	4	23.5%	7	41.2%	10	58.8%	14	82.4%	10	58.8%	8	47.1%	9	52.9%
	- Standard Spaces	17	2	11.8%	4	23.5%	9	52.9%	12	70.6%	14	82.4%	11	64.7%	10	58.8%	9	52.9%
13	- Standard Spaces	16	2	12.5%	5	31.3%	8	50.0%	9	56.3%	9	56.3%	7	43.8%	7	43.8%	7	43.8%
	- Standard Spaces	13	3	23.1%	5	38.5%	8	61.5%	7	53.8%	5	38.5%	6	46.2%	7	53.8%	8	61.5%
15	- Standard Spaces	12	3	25.0%	6	50.0%	6	50.0%	5	41.7%	4	33.3%	5	41.7%	5	41.7%	5	41.7%
	- Standard Spaces	9	2	22.2%	4	44.4%	4	44.4%	5	55.6%	6	66.7%	5	55.6%	5	55.6%	5	55.6%
17	- Standard Spaces	8	1	12.5%	2	25.0%	4	50.0%	3	37.5%	2	25.0%	3	37.5%	3	37.5%	4	50.0%
	- Standard Spaces	19	4	21.1%	8	42.1%	10	52.6%	11	57.9%	11	57.9%	7	36.8%	5	26.3%	6	31.6%
19	- Standard Spaces	10	3	30.0%	5	50.0%	5	50.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%
	- HC Spaces	4	0	0.0%	0	0.0%	0	0.0%	0	0.0%	2	50.0%	2	50.0%	2	50.0%	1	25.0%
20	- Standard Spaces	22	5	22.7%	10	45.5%	12	54.5%	12	54.5%	11	50.0%	12	54.5%	15	68.2%	17	77.3%
	Subtotal Street Level	292	53	18.2%	105	36.0%	150	51.4%	178	61.0%	201	68.8%	184	63.0%	173	59.2%	180	61.6%

[1] The parking survey was conducted by The Traffic Solution.

Table 3 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: TUESDAY, OCTOBER 18, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- Standard Spaces	15	7	46.7%	13	86.7%	14	93.3%	14	93.3%	14	93.3%	12	80.0%	10	66.7%	10	66.7%
2	- Standard Spaces	8	1	12.5%	2	25.0%	1	12.5%	2	25.0%	2	25.0%	3	37.5%	5	62.5%	5	62.5%
3	- Standard Spaces	3	1	33.3%	3	100.0%	2	66.7%	3	100.0%	3	100.0%	2	66.7%	1	33.3%	1	33.3%
4	- Standard Spaces	6	2	33.3%	4	66.7%	5	83.3%	5	83.3%	4	66.7%	5	83.3%	5	83.3%	5	83.3%
5	- Standard Spaces	12	3	25.0%	8	66.7%	8	66.7%	7	58.3%	7	58.3%	7	58.3%	5	41.7%	5	41.7%
6	- Standard Spaces	10	1	10.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	2	20.0%
7	- Standard Spaces	10	4	40.0%	7	70.0%	8	80.0%	8	80.0%	7	70.0%	7	70.0%	7	70.0%	5	50.0%
8	- Standard Spaces	10	1	10.0%	1	10.0%	2	20.0%	3	30.0%	3	30.0%	2	20.0%	2	20.0%	1	10.0%
9	- Standard Spaces	10	2	20.0%	5	50.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%	5	50.0%	6	60.0%
10	- Standard Spaces	12	1	8.3%	1	8.3%	3	25.0%	4	33.3%	4	33.3%	5	41.7%	5	41.7%	5	41.7%
11	- HC Spaces	6	0	0.0%	0	0.0%	0	0.0%	2	33.3%	2	33.3%	2	33.3%	2	33.3%	1	16.7%
	- Standard Spaces	19	3	15.8%	7	36.8%	10	52.6%	11	57.9%	11	57.9%	11	57.9%	10	52.6%	10	52.6%
12	- Standard Spaces	12	4	33.3%	6	50.0%	7	58.3%	7	58.3%	6	50.0%	7	58.3%	7	58.3%	7	58.3%
13	- Standard Spaces	9	2	22.2%	4	44.4%	9	100.0%	9	100.0%	9	100.0%	8	88.9%	7	77.8%	7	77.8%
14	- Standard Spaces	10	1	10.0%	1	10.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%	3	30.0%	1	10.0%
15	- Standard Spaces	10	0	0.0%	0	0.0%	1	10.0%	1	10.0%	1	10.0%	1	10.0%	1	10.0%	1	10.0%
16	- Standard Spaces	14	4	28.6%	6	42.9%	8	57.1%	7	50.0%	9	64.3%	8	57.1%	8	57.1%	8	57.1%
Subtotal Lower Level		176	37	21.0%	71	40.3%	89	50.6%	94	53.4%	94	53.4%	91	51.7%	81	46.0%	79	44.9%
TOTAL PARKING		468	90	19.2%	176	37.6%	239	51.1%	272	58.1%	295	63.0%	275	58.8%	254	54.3%	259	55.3%

[1] The parking survey was conducted by The Traffic Solution.

Table 3 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: TUESDAY, OCTOBER 18, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY																							
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM															
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT		
1	- HC Spaces	2	1	50.0%	1	50.0%	1	50.0%	2	100.0%	1	50.0%	1	50.0%												
	- Standard Spaces	26	14	53.8%	14	53.8%	17	65.4%	17	65.4%	17	65.4%														
2	- Standard Spaces	7	4	57.1%	4	57.1%	4	57.1%	3	42.9%	3	42.9%														
	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%														
3	- Standard Spaces	14	12	85.7%	11	78.6%	12	85.7%	12	85.7%	12	85.7%														
	- Standard Spaces	16	14	87.5%	15	93.8%	15	93.8%	15	93.8%	15	93.8%														
4	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%														
	- Standard Spaces	15	12	80.0%	14	93.3%	14	93.3%	15	100.0%	15	100.0%														
5	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	0	0.0%	0	0.0%														
	- Standard Spaces	12	9	75.0%	10	83.3%	11	91.7%	12	100.0%	12	100.0%														
6	- Standard Spaces	17	15	88.2%	16	94.1%	15	88.2%	14	82.4%	14	82.4%														
	- Standard Spaces	8	5	62.5%	5	62.5%	5	62.5%	5	62.5%	5	62.5%														
7	- Standard Spaces	8	5	62.5%	5	62.5%	5	62.5%	5	62.5%	4	50.0%														
	- Standard Spaces	17	10	58.8%	12	70.6%	13	76.5%	14	82.4%	14	82.4%														
8	- Standard Spaces	17	10	58.8%	10	58.8%	12	70.6%	12	70.6%	11	64.7%														
	- Standard Spaces	17	7	41.2%	7	41.2%	10	58.8%	10	58.8%	10	58.8%														
9	- Standard Spaces	16	8	50.0%	9	56.3%	8	50.0%	8	50.0%	6	37.5%														
	- Standard Spaces	13	10	76.9%	11	84.6%	10	76.9%	9	69.2%	9	69.2%														
10	- Standard Spaces	12	5	41.7%	6	50.0%	5	41.7%	5	41.7%	5	41.7%														
	- Standard Spaces	9	5	55.6%	5	55.6%	4	44.4%	4	44.4%	3	33.3%														
11	- Standard Spaces	8	5	62.5%	5	62.5%	5	62.5%	5	62.5%	2	25.0%														
	- Standard Spaces	19	7	36.8%	8	42.1%	8	42.1%	8	42.1%	8	42.1%														
12	- Standard Spaces	10	4	40.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%														
	- HC Spaces	4	1	25.0%	1	25.0%	1	25.0%	1	25.0%	0	0.0%														
13	- Standard Spaces	22	18	81.8%	19	86.4%	18	81.8%	18	81.8%	18	81.8%														
	Subtotal Street Level	292	184	63.0%	194	66.4%	199	68.2%	186	63.7%	174	59.6%														

[1] The parking survey was conducted by The Traffic Solution.

Table 3 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: TUESDAY, OCTOBER 18, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY													
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM					
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT		
1	- Standard Spaces	15	9	60.0%	7	46.7%	7	46.7%	7	46.7%	7	46.7%	7	46.7%		
2	- Standard Spaces	8	4	50.0%	4	50.0%	3	37.5%	2	25.0%	2	25.0%	2	25.0%		
3	- Standard Spaces	3	1	33.3%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%		
4	- Standard Spaces	6	5	83.3%	5	83.3%	4	66.7%	4	66.7%	3	50.0%	3	50.0%		
5	- Standard Spaces	12	4	33.3%	4	33.3%	3	25.0%	1	8.3%	1	8.3%	1	8.3%		
6	- Standard Spaces	10	3	30.0%	4	40.0%	3	30.0%	3	30.0%	2	20.0%	2	20.0%		
7	- Standard Spaces	10	5	50.0%	6	60.0%	4	40.0%	2	20.0%	1	10.0%	1	10.0%		
8	- Standard Spaces	10	1	10.0%	1	10.0%	2	20.0%	2	20.0%	2	20.0%	2	20.0%		
9	- Standard Spaces	10	5	50.0%	5	50.0%	3	30.0%	2	20.0%	2	20.0%	1	10.0%		
10	- Standard Spaces	12	5	41.7%	5	41.7%	5	41.7%	4	33.3%	4	33.3%	3	25.0%		
11	- HC Spaces	6	1	16.7%	1	16.7%	1	16.7%	1	16.7%	1	16.7%	1	16.7%		
	- Standard Spaces	19	9	47.4%	8	42.1%	8	42.1%	8	42.1%	8	42.1%	8	42.1%		
12	- Standard Spaces	12	7	58.3%	6	50.0%	5	41.7%	5	41.7%	4	33.3%	4	33.3%		
13	- Standard Spaces	9	8	88.9%	8	88.9%	7	77.8%	6	66.7%	5	55.6%	5	55.6%		
14	- Standard Spaces	10	2	20.0%	2	20.0%	2	20.0%	2	20.0%	2	20.0%	2	20.0%		
15	- Standard Spaces	10	1	10.0%	1	10.0%	1	10.0%	2	20.0%	2	20.0%	2	20.0%		
16	- Standard Spaces	14	9	64.3%	9	64.3%	7	50.0%	4	28.6%	3	21.4%	3	21.4%		
Subtotal Lower Level		176	79	44.9%	76	43.2%	65	36.9%	55	31.3%	47	26.7%	47	26.7%		
TOTAL PARKING		468	263	56.2%	270	57.7%	264	56.4%	241	51.5%	221	47.2%	221	47.2%		

[1] The parking survey was conducted by The Traffic Solution.

Table 4
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: THURSDAY, OCTOBER 20, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- HC Spaces	2	0	0.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%
	- Standard Spaces	26	2	7.7%	5	19.2%	8	30.8%	15	57.7%	20	76.9%	15	57.7%	9	34.6%	8	30.8%
2	- Standard Spaces	7	5	71.4%	4	57.1%	3	42.9%	4	57.1%	5	71.4%	5	71.4%	6	85.7%	6	85.7%
	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%
3	- Standard Spaces	14	9	64.3%	8	57.1%	7	50.0%	9	64.3%	11	78.6%	7	50.0%	7	50.0%	10	71.4%
	- Standard Spaces	16	9	56.3%	8	50.0%	7	43.8%	11	68.8%	14	87.5%	12	75.0%	10	62.5%	11	68.8%
5	- HC Spaces	1	0	0.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%
	- Standard Spaces	15	9	60.0%	10	66.7%	10	66.7%	11	73.3%	12	80.0%	12	80.0%	12	80.0%	12	80.0%
6	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	0	0.0%
	- Standard Spaces	12	5	41.7%	5	41.7%	6	50.0%	8	66.7%	9	75.0%	9	75.0%	9	75.0%	9	75.0%
7	- Standard Spaces	17	6	35.3%	7	41.2%	7	41.2%	11	64.7%	14	82.4%	12	70.6%	12	70.6%	12	70.6%
	- Standard Spaces	8	2	25.0%	4	50.0%	5	62.5%	4	50.0%	2	25.0%	3	37.5%	4	50.0%	4	50.0%
9	- Standard Spaces	8	3	37.5%	5	62.5%	6	75.0%	5	62.5%	6	75.0%	5	62.5%	6	75.0%	7	87.5%
	- Standard Spaces	17	2	11.8%	5	29.4%	7	41.2%	10	58.8%	12	70.6%	12	70.6%	12	70.6%	12	70.6%
11	- Standard Spaces	17	3	17.6%	5	29.4%	8	47.1%	8	47.1%	8	47.1%	8	47.1%	10	58.8%	12	70.6%
	- Standard Spaces	17	5	29.4%	5	29.4%	6	35.3%	9	52.9%	10	58.8%	10	58.8%	10	58.8%	10	58.8%
13	- Standard Spaces	16	6	37.5%	8	50.0%	9	56.3%	10	62.5%	11	68.8%	10	62.5%	10	62.5%	10	62.5%
	- Standard Spaces	13	4	30.8%	5	38.5%	7	53.8%	6	46.2%	5	38.5%	7	53.8%	8	61.5%	10	76.9%
15	- Standard Spaces	12	4	33.3%	5	41.7%	5	41.7%	5	41.7%	6	50.0%	5	41.7%	5	41.7%	5	41.7%
	- Standard Spaces	9	4	44.4%	5	55.6%	5	55.6%	5	55.6%	5	55.6%	5	55.6%	5	55.6%	6	66.7%
17	- Standard Spaces	8	2	25.0%	3	37.5%	3	37.5%	3	37.5%	3	37.5%	3	37.5%	5	62.5%	5	62.5%
	- Standard Spaces	19	7	36.8%	9	47.4%	10	52.6%	10	52.6%	9	47.4%	10	52.6%	10	52.6%	7	36.8%
19	- Standard Spaces	10	5	50.0%	5	50.0%	6	60.0%	7	70.0%	7	70.0%	7	70.0%	7	70.0%	5	50.0%
	- HC Spaces	4	0	0.0%	0	0.0%	0	0.0%	1	25.0%	1	25.0%	1	25.0%	2	50.0%	2	50.0%
20	- Standard Spaces	22	12	54.5%	11	50.0%	10	45.5%	12	54.5%	14	63.6%	17	77.3%	19	86.4%	18	81.8%
	Subtotal Street Level	292	104	35.6%	124	42.5%	137	46.9%	167	57.2%	186	63.7%	183	62.7%	181	62.0%	182	62.3%

[1] The parking survey was conducted by The Traffic Solution.

Table 4 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: THURSDAY, OCTOBER 20, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- Standard Spaces	15	11	73.3%	13	86.7%	13	86.7%	13	86.7%	13	86.7%	14	93.3%	14	93.3%	10	66.7%
2	- Standard Spaces	8	2	25.0%	2	25.0%	1	12.5%	2	25.0%	2	25.0%	3	37.5%	5	62.5%	5	62.5%
3	- Standard Spaces	3	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%
4	- Standard Spaces	6	4	66.7%	5	83.3%	5	83.3%	5	83.3%	5	83.3%	5	83.3%	6	100.0%	4	66.7%
5	- Standard Spaces	12	5	41.7%	6	50.0%	7	58.3%	8	66.7%	9	75.0%	8	66.7%	7	58.3%	7	58.3%
6	- Standard Spaces	10	2	20.0%	3	30.0%	3	30.0%	4	40.0%	4	40.0%	4	40.0%	5	50.0%	6	60.0%
7	- Standard Spaces	10	5	50.0%	6	60.0%	6	60.0%	6	60.0%	6	60.0%	6	60.0%	7	70.0%	7	70.0%
8	- Standard Spaces	10	2	20.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	4	40.0%	4	40.0%	3	30.0%
9	- Standard Spaces	10	3	30.0%	4	40.0%	5	50.0%	5	50.0%	5	50.0%	5	50.0%	7	70.0%	7	70.0%
10	- Standard Spaces	12	4	33.3%	5	41.7%	6	50.0%	7	58.3%	7	58.3%	7	58.3%	7	58.3%	5	41.7%
11	- HC Spaces	6	0	0.0%	0	0.0%	1	16.7%	1	16.7%	1	16.7%	1	16.7%	1	16.7%	1	16.7%
	- Standard Spaces	19	5	26.3%	7	36.8%	10	52.6%	11	57.9%	12	63.2%	12	63.2%	12	63.2%	12	63.2%
12	- Standard Spaces	12	4	33.3%	5	41.7%	6	50.0%	7	58.3%	9	75.0%	9	75.0%	9	75.0%	8	66.7%
13	- Standard Spaces	9	4	44.4%	4	44.4%	5	55.6%	7	77.8%	8	88.9%	8	88.9%	9	100.0%	8	88.9%
14	- Standard Spaces	10	1	10.0%	1	10.0%	3	30.0%	5	50.0%	6	60.0%	7	70.0%	8	80.0%	7	70.0%
15	- Standard Spaces	10	0	0.0%	0	0.0%	0	0.0%	1	10.0%	1	10.0%	3	30.0%	4	40.0%	3	30.0%
16	- Standard Spaces	14	4	28.6%	5	35.7%	9	64.3%	9	64.3%	8	57.1%	8	57.1%	8	57.1%	7	50.0%
Subtotal Lower Level		176	59	33.5%	72	40.9%	86	48.9%	97	55.1%	102	58.0%	111	63.1%	117	66.5%	101	57.4%
TOTAL PARKING		468	163	34.8%	196	41.9%	223	47.6%	264	56.4%	288	61.5%	294	62.8%	298	63.7%	283	60.5%

[1] The parking survey was conducted by The Traffic Solution.

Table 4 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: THURSDAY, OCTOBER 20, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY																							
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM		8:00 PM		8:00 PM		8:00 PM		8:00 PM		8:00 PM		8:00 PM			
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- HC Spaces	2	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	0	0.0%										
	- Standard Spaces	26	8	30.8%	14	53.8%	17	65.4%	19	73.1%	18	69.2%														
2	- Standard Spaces	7	6	85.7%	5	71.4%	5	71.4%	6	85.7%	6	85.7%														
	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	0	0.0%	0	0.0%														
3	- Standard Spaces	14	11	78.6%	12	85.7%	14	100.0%	14	100.0%	14	100.0%														
	- Standard Spaces	16	12	75.0%	14	87.5%	15	93.8%	16	100.0%	15	93.8%														
4	- HC Spaces	1	1	100.0%	1	100.0%	0	0.0%	0	0.0%	0	0.0%														
	- Standard Spaces	15	10	66.7%	15	100.0%	14	93.3%	15	100.0%	14	93.3%														
5	- HC Spaces	1	1	100.0%	1	100.0%	0	0.0%	0	0.0%	0	0.0%														
	- Standard Spaces	12	9	75.0%	12	100.0%	12	100.0%	12	100.0%	12	100.0%														
6	- Standard Spaces	17	14	82.4%	14	82.4%	14	82.4%	15	88.2%	14	82.4%														
	- Standard Spaces	8	3	37.5%	3	37.5%	8	100.0%	8	100.0%	8	100.0%														
7	- Standard Spaces	8	7	87.5%	6	75.0%	7	87.5%	7	87.5%	7	87.5%														
	- Standard Spaces	17	12	70.6%	14	82.4%	14	82.4%	14	82.4%	14	82.4%														
8	- Standard Spaces	17	7	41.2%	10	58.8%	12	70.6%	10	58.8%	12	70.6%														
	- Standard Spaces	17	10	58.8%	10	58.8%	11	64.7%	11	64.7%	12	70.6%														
9	- Standard Spaces	16	10	62.5%	10	62.5%	8	50.0%	8	50.0%	8	50.0%														
	- Standard Spaces	13	10	76.9%	10	76.9%	8	61.5%	10	76.9%	10	76.9%														
10	- Standard Spaces	12	6	50.0%	7	58.3%	7	58.3%	7	58.3%	7	58.3%														
	- Standard Spaces	9	6	66.7%	4	44.4%	5	55.6%	6	66.7%	5	55.6%														
11	- Standard Spaces	8	5	62.5%	5	62.5%	5	62.5%	5	62.5%	5	62.5%														
	- Standard Spaces	19	4	21.1%	4	21.1%	4	21.1%	4	21.1%	5	26.3%														
12	- Standard Spaces	10	3	30.0%	4	40.0%	5	50.0%	5	50.0%	5	50.0%														
	- HC Spaces	4	2	50.0%	1	25.0%	0	0.0%	0	0.0%	0	0.0%														
13	- Standard Spaces	22	17	77.3%	15	68.2%	12	54.5%	12	54.5%	15	68.2%														
	Subtotal Street Level	292	176	60.3%	193	66.1%	199	68.2%	212	72.6%	197	67.5%														

[1] The parking survey was conducted by The Traffic Solution.

Table 4 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: THURSDAY, OCTOBER 20, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY													
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM		PERCENT OCCUPIED			
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT		
1	- Standard Spaces	15	6	40.0%	7	46.7%	5	33.3%	7	46.7%	7	46.7%				
2	- Standard Spaces	8	6	75.0%	5	62.5%	4	50.0%	5	62.5%	4	50.0%				
3	- Standard Spaces	3	3	100.0%	2	66.7%	1	33.3%	1	33.3%	1	33.3%				
4	- Standard Spaces	6	1	16.7%	2	33.3%	2	33.3%	4	66.7%	3	50.0%				
5	- Standard Spaces	12	6	50.0%	4	33.3%	2	16.7%	4	33.3%	4	33.3%				
6	- Standard Spaces	10	3	30.0%	4	40.0%	5	50.0%	6	60.0%	5	50.0%				
7	- Standard Spaces	10	6	60.0%	5	50.0%	5	50.0%	4	40.0%	3	30.0%				
8	- Standard Spaces	10	2	20.0%	2	20.0%	1	10.0%	3	30.0%	2	20.0%				
9	- Standard Spaces	10	6	60.0%	4	40.0%	1	10.0%	1	10.0%	1	10.0%				
10	- Standard Spaces	12	3	25.0%	3	25.0%	3	25.0%	4	33.3%	3	25.0%				
11	- HC Spaces	6	1	16.7%	1	16.7%	1	16.7%	0	0.0%	0	0.0%				
	- Standard Spaces	19	12	63.2%	11	57.9%	10	52.6%	10	52.6%	9	47.4%				
12	- Standard Spaces	12	7	58.3%	7	58.3%	7	58.3%	7	58.3%	5	41.7%				
13	- Standard Spaces	9	7	77.8%	7	77.8%	7	77.8%	7	77.8%	5	55.6%				
14	- Standard Spaces	10	5	50.0%	5	50.0%	4	40.0%	3	30.0%	2	20.0%				
15	- Standard Spaces	10	2	20.0%	2	20.0%	2	20.0%	2	20.0%	2	20.0%				
16	- Standard Spaces	14	5	35.7%	5	35.7%	4	28.6%	2	14.3%	2	14.3%				
Subtotal Lower Level		176	81	46.0%	76	43.2%	64	36.4%	70	39.8%	58	33.0%				
TOTAL PARKING		468	257	54.9%	269	57.5%	263	56.2%	282	60.3%	255	54.5%				

[1] The parking survey was conducted by The Traffic Solution.

Table 5
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: FRIDAY, OCTOBER 21, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- HC Spaces	2	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	50.0%	1	50.0%	1	50.0%
	- Standard Spaces	26	2	7.7%	3	11.5%	8	30.8%	11	42.3%	17	65.4%	20	76.9%	20	76.9%	20	76.9%
2	- Standard Spaces	7	1	14.3%	1	14.3%	2	28.6%	3	42.9%	5	71.4%	6	85.7%	7	100.0%	7	100.0%
	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%
3	- Standard Spaces	14	2	14.3%	5	35.7%	8	57.1%	11	78.6%	11	78.6%	10	71.4%	11	78.6%	12	85.7%
	- Standard Spaces	16	5	31.3%	9	56.3%	11	68.8%	16	100.0%	14	87.5%	15	93.8%	15	93.8%	16	100.0%
4	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%
	- Standard Spaces	15	4	26.7%	8	53.3%	10	66.7%	14	93.3%	14	93.3%	14	93.3%	14	93.3%	14	93.3%
5	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%
	- Standard Spaces	12	3	25.0%	5	41.7%	8	66.7%	10	83.3%	11	91.7%	12	100.0%	12	100.0%	12	100.0%
6	- Standard Spaces	17	7	41.2%	14	82.4%	14	82.4%	15	88.2%	16	94.1%	17	100.0%	17	100.0%	17	100.0%
	- Standard Spaces	8	2	25.0%	5	62.5%	7	87.5%	8	100.0%	8	100.0%	8	100.0%	8	100.0%	8	100.0%
7	- Standard Spaces	8	3	37.5%	5	62.5%	6	75.0%	7	87.5%	7	87.5%	8	100.0%	8	100.0%	8	100.0%
	- Standard Spaces	17	5	29.4%	8	47.1%	11	64.7%	14	82.4%	15	88.2%	15	88.2%	15	88.2%	15	88.2%
8	- Standard Spaces	17	4	23.5%	6	35.3%	9	52.9%	11	64.7%	14	82.4%	15	88.2%	15	88.2%	16	94.1%
	- Standard Spaces	17	3	17.6%	6	35.3%	10	58.8%	14	82.4%	14	82.4%	14	82.4%	14	82.4%	16	94.1%
9	- Standard Spaces	16	4	25.0%	7	43.8%	10	62.5%	11	68.8%	14	87.5%	16	100.0%	14	87.5%	12	75.0%
	- Standard Spaces	13	2	15.4%	4	30.8%	8	61.5%	10	76.9%	11	84.6%	13	100.0%	12	92.3%	10	76.9%
10	- Standard Spaces	12	2	16.7%	5	41.7%	5	41.7%	6	50.0%	6	50.0%	9	75.0%	9	75.0%	7	58.3%
	- Standard Spaces	9	1	11.1%	2	22.2%	4	44.4%	5	55.6%	6	66.7%	8	88.9%	8	88.9%	7	77.8%
11	- Standard Spaces	8	1	12.5%	3	37.5%	4	50.0%	4	50.0%	5	62.5%	7	87.5%	7	87.5%	7	87.5%
	- Standard Spaces	19	5	26.3%	11	57.9%	12	63.2%	14	73.7%	14	73.7%	14	73.7%	14	73.7%	10	52.6%
12	- Standard Spaces	10	2	20.0%	4	40.0%	5	50.0%	7	70.0%	7	70.0%	9	90.0%	9	90.0%	8	80.0%
	- HC Spaces	4	0	0.0%	0	0.0%	1	25.0%	1	25.0%	1	25.0%	2	50.0%	2	50.0%	2	50.0%
13	- Standard Spaces	22	4	18.2%	9	40.9%	14	63.6%	17	77.3%	17	77.3%	20	90.9%	20	90.9%	18	81.8%
	Subtotal Street Level	292	62	21.2%	120	41.1%	167	57.2%	209	71.6%	231	79.1%	255	87.3%	255	87.3%	246	84.2%

[1] The parking survey was conducted by The Traffic Solution.

Table 5 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: FRIDAY, OCTOBER 21, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- Standard Spaces	15	8	53.3%	12	80.0%	11	73.3%	11	73.3%	12	80.0%	10	66.7%	8	53.3%		
2	- Standard Spaces	8	2	25.0%	0	0.0%	2	25.0%	4	50.0%	3	37.5%	2	25.0%	4	50.0%		
3	- Standard Spaces	3	1	33.3%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	2	66.7%		
4	- Standard Spaces	6	3	50.0%	5	83.3%	5	83.3%	5	83.3%	4	66.7%	4	66.7%	5	83.3%		
5	- Standard Spaces	12	5	41.7%	9	75.0%	8	66.7%	7	58.3%	8	66.7%	8	66.7%	7	58.3%		
6	- Standard Spaces	10	2	20.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%		
7	- Standard Spaces	10	2	20.0%	5	50.0%	4	40.0%	4	40.0%	5	50.0%	5	50.0%	4	40.0%		
8	- Standard Spaces	10	2	20.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%		
9	- Standard Spaces	10	3	30.0%	5	50.0%	4	40.0%	4	40.0%	4	40.0%	3	30.0%	4	40.0%		
10	- Standard Spaces	12	4	33.3%	6	50.0%	7	58.3%	7	58.3%	7	58.3%	6	50.0%	5	41.7%		
11	- HC Spaces	6	0	0.0%	0	0.0%	0	0.0%	0	0.0%	1	16.7%	1	16.7%	0	0.0%		
	- Standard Spaces	19	11	57.9%	15	78.9%	15	78.9%	15	78.9%	15	78.9%	15	78.9%	14	73.7%		
12	- Standard Spaces	12	5	41.7%	8	66.7%	9	75.0%	9	75.0%	10	83.3%	10	83.3%	8	66.7%		
13	- Standard Spaces	9	3	33.3%	5	55.6%	7	77.8%	9	100.0%	9	100.0%	9	100.0%	8	88.9%		
14	- Standard Spaces	10	1	10.0%	2	20.0%	5	50.0%	7	70.0%	7	70.0%	7	70.0%	7	70.0%		
15	- Standard Spaces	10	0	0.0%	0	0.0%	1	10.0%	2	20.0%	3	30.0%	3	30.0%	5	50.0%		
16	- Standard Spaces	14	4	28.6%	7	50.0%	8	57.1%	8	57.1%	7	50.0%	7	50.0%	9	64.3%		
Subtotal Lower Level		176	56	31.8%	89	50.6%	97	55.1%	102	58.0%	104	59.1%	102	58.0%	102	58.0%		
TOTAL PARKING		468	118	25.2%	209	44.7%	264	56.4%	311	66.5%	335	71.6%	357	76.3%	343	73.3%		

[1] The parking survey was conducted by The Traffic Solution.

Table 5 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: FRIDAY, OCTOBER 21, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM		PERCENT OCCUPIED					
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT				
1	- HC Spaces	2	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%	1	50.0%				
	- Standard Spaces	26	20	76.9%	18	69.2%	17	65.4%	17	65.4%	15	57.7%						
2	- Standard Spaces	7	6	85.7%	6	85.7%	6	85.7%	6	85.7%	5	71.4%						
	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%						
3	- Standard Spaces	14	14	100.0%	14	100.0%	14	100.0%	13	92.9%	12	85.7%						
	- Standard Spaces	16	16	100.0%	16	100.0%	16	100.0%	16	100.0%	14	87.5%						
4	- HC Spaces	1	1	100.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%						
	- Standard Spaces	15	14	93.3%	15	100.0%	15	100.0%	14	93.3%	12	80.0%						
5	- HC Spaces	1	1	100.0%	1	100.0%	0	0.0%	0	0.0%	0	0.0%						
	- Standard Spaces	12	12	100.0%	11	91.7%	10	83.3%	12	100.0%	12	100.0%						
6	- Standard Spaces	17	17	100.0%	17	100.0%	17	100.0%	16	94.1%	14	82.4%						
	- Standard Spaces	8	7	87.5%	7	87.5%	6	75.0%	8	100.0%	7	87.5%						
7	- Standard Spaces	8	7	87.5%	7	87.5%	5	62.5%	6	75.0%	5	62.5%						
	- Standard Spaces	17	12	70.6%	12	70.6%	9	52.9%	13	76.5%	11	64.7%						
8	- Standard Spaces	17	16	94.1%	15	88.2%	15	88.2%	15	88.2%	13	76.5%						
	- Standard Spaces	17	17	100.0%	15	88.2%	12	70.6%	12	70.6%	10	58.8%						
9	- Standard Spaces	16	10	62.5%	14	87.5%	14	87.5%	10	62.5%	9	56.3%						
	- Standard Spaces	13	5	38.5%	7	53.8%	9	69.2%	6	46.2%	7	53.8%						
10	- Standard Spaces	12	6	50.0%	5	41.7%	4	33.3%	5	41.7%	5	41.7%						
	- Standard Spaces	9	5	55.6%	5	55.6%	5	55.6%	2	22.2%	3	33.3%						
11	- Standard Spaces	8	6	75.0%	7	87.5%	7	87.5%	5	62.5%	5	62.5%						
	- Standard Spaces	19	6	31.6%	7	36.8%	5	26.3%	2	10.5%	2	10.5%						
12	- Standard Spaces	10	8	80.0%	8	80.0%	6	60.0%	3	30.0%	4	40.0%						
	- HC Spaces	4	1	25.0%	1	25.0%	0	0.0%	1	25.0%	1	25.0%						
13	- Standard Spaces	22	15	68.2%	14	63.6%	14	63.6%	17	77.3%	15	68.2%						
	Subtotal Street Level	292	224	76.7%	225	77.1%	209	71.6%	200	68.5%	182	62.3%						

[1] The parking survey was conducted by The Traffic Solution.

Table 5 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: FRIDAY, OCTOBER 21, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY													
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM					
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT		
1	- Standard Spaces	15	5	33.3%	7	46.7%	7	46.7%	6	40.0%	5	33.3%				
2	- Standard Spaces	8	5	62.5%	7	87.5%	7	87.5%	4	50.0%	4	50.0%				
3	- Standard Spaces	3	1	33.3%	1	33.3%	1	33.3%	1	33.3%	1	33.3%				
4	- Standard Spaces	6	5	83.3%	4	66.7%	3	50.0%	2	33.3%	2	33.3%				
5	- Standard Spaces	12	7	58.3%	4	33.3%	1	8.3%	1	8.3%	1	8.3%				
6	- Standard Spaces	10	3	30.0%	4	40.0%	5	50.0%	5	50.0%	4	40.0%				
7	- Standard Spaces	10	4	40.0%	4	40.0%	4	40.0%	4	40.0%	4	40.0%				
8	- Standard Spaces	10	4	40.0%	3	30.0%	2	20.0%	0	0.0%	0	0.0%				
9	- Standard Spaces	10	5	50.0%	3	30.0%	2	20.0%	3	30.0%	2	20.0%				
10	- Standard Spaces	12	5	41.7%	5	41.7%	5	41.7%	5	41.7%	5	41.7%				
11	- HC Spaces	6	0	0.0%	0	0.0%	0	0.0%	1	16.7%	1	16.7%				
	- Standard Spaces	19	14	73.7%	11	57.9%	8	42.1%	8	42.1%	7	36.8%				
12	- Standard Spaces	12	7	58.3%	7	58.3%	7	58.3%	7	58.3%	7	58.3%				
13	- Standard Spaces	9	7	77.8%	5	55.6%	4	44.4%	4	44.4%	3	33.3%				
14	- Standard Spaces	10	6	60.0%	7	70.0%	6	60.0%	6	60.0%	5	50.0%				
15	- Standard Spaces	10	6	60.0%	5	50.0%	5	50.0%	3	30.0%	2	20.0%				
16	- Standard Spaces	14	9	64.3%	8	57.1%	8	57.1%	4	28.6%	3	21.4%				
Subtotal Lower Level		176	93	52.8%	85	48.3%	75	42.6%	64	36.4%	56	31.8%				
TOTAL PARKING		468	317	67.7%	310	66.2%	284	60.7%	264	56.4%	238	50.9%				

[1] The parking survey was conducted by The Traffic Solution.

Table 6
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: SATURDAY, OCTOBER 22, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- HC Spaces	2	0	0.0%	0	0.0%	0	0.0%	1	50.0%	2	100.0%	2	100.0%	1	50.0%	1	50.0%
	- Standard Spaces	26	3	11.5%	7	26.9%	13	50.0%	16	61.5%	22	84.6%	16	61.5%	21	80.8%	19	73.1%
2	- Standard Spaces	7	0	0.0%	1	14.3%	2	28.6%	4	57.1%	6	85.7%	6	85.7%	6	85.7%	6	85.7%
	- HC Spaces	1	0	0.0%	1	100.0%	0	0.0%	1	100.0%	0	0.0%	1	100.0%	0	0.0%	1	100.0%
3	- Standard Spaces	14	9	64.3%	10	71.4%	14	100.0%	11	78.6%	14	100.0%	14	100.0%	14	100.0%	14	100.0%
	- Standard Spaces	16	5	31.3%	11	68.8%	16	100.0%	12	75.0%	11	68.8%	15	93.8%	16	100.0%	16	100.0%
5	- HC Spaces	1	1	100.0%	0	0.0%	0	0.0%	1	100.0%	1	100.0%	1	100.0%	1	100.0%	0	0.0%
	- Standard Spaces	15	5	33.3%	6	40.0%	9	60.0%	12	80.0%	13	86.7%	15	100.0%	15	100.0%	15	100.0%
6	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	1	100.0%	0	0.0%	1	100.0%	1	100.0%	0	0.0%
	- Standard Spaces	12	3	25.0%	5	41.7%	8	66.7%	6	50.0%	8	66.7%	12	100.0%	12	100.0%	12	100.0%
7	- Standard Spaces	17	3	17.6%	7	41.2%	7	41.2%	17	100.0%	14	82.4%	16	94.1%	17	100.0%	17	100.0%
	- Standard Spaces	8	0	0.0%	5	62.5%	3	37.5%	6	75.0%	5	62.5%	7	87.5%	8	100.0%	7	87.5%
9	- Standard Spaces	8	2	25.0%	3	37.5%	5	62.5%	6	75.0%	6	75.0%	4	50.0%	8	100.0%	6	75.0%
	- Standard Spaces	17	3	17.6%	4	23.5%	10	58.8%	13	76.5%	13	76.5%	16	94.1%	17	100.0%	17	100.0%
11	- Standard Spaces	17	2	11.8%	8	47.1%	13	76.5%	15	88.2%	15	88.2%	15	88.2%	12	70.6%	17	100.0%
	- Standard Spaces	17	5	29.4%	8	47.1%	12	70.6%	14	82.4%	14	82.4%	15	88.2%	14	82.4%	14	82.4%
13	- Standard Spaces	16	7	43.8%	11	68.8%	15	93.8%	12	75.0%	15	93.8%	16	100.0%	12	75.0%	11	68.8%
	- Standard Spaces	13	6	46.2%	7	53.8%	13	100.0%	11	84.6%	13	100.0%	13	100.0%	12	92.3%	10	76.9%
15	- Standard Spaces	12	4	33.3%	9	75.0%	10	83.3%	9	75.0%	11	91.7%	9	75.0%	8	66.7%	8	66.7%
	- Standard Spaces	9	2	22.2%	5	55.6%	6	66.7%	6	66.7%	5	55.6%	8	88.9%	5	55.6%	8	88.9%
17	- Standard Spaces	8	0	0.0%	4	50.0%	6	75.0%	6	75.0%	7	87.5%	5	62.5%	4	50.0%	5	62.5%
	- Standard Spaces	19	8	42.1%	10	52.6%	14	73.7%	11	57.9%	15	78.9%	14	73.7%	13	68.4%	11	57.9%
19	- Standard Spaces	10	3	30.0%	4	40.0%	7	70.0%	6	60.0%	8	80.0%	5	50.0%	7	70.0%	6	60.0%
	- HC Spaces	4	0	0.0%	0	0.0%	2	50.0%	1	25.0%	3	75.0%	2	50.0%	1	25.0%	2	50.0%
20	- Standard Spaces	22	7	31.8%	12	54.5%	14	63.6%	13	59.1%	18	81.8%	17	77.3%	17	77.3%	20	90.9%
	Subtotal Street Level	292	78	26.7%	138	47.3%	199	68.2%	211	72.3%	237	81.2%	249	85.3%	242	82.9%	243	83.2%

[1] The parking survey was conducted by The Traffic Solution.

Table 6 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: SATURDAY, OCTOBER 22, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM		2:00 PM		3:00 PM	
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT
1	- Standard Spaces	15	10	66.7%	12	80.0%	11	73.3%	13	86.7%	14	93.3%	14	93.3%	14	93.3%	10	66.7%
2	- Standard Spaces	8	2	25.0%	6	75.0%	6	75.0%	7	87.5%	8	100.0%	6	75.0%	4	50.0%	4	50.0%
3	- Standard Spaces	3	2	66.7%	2	66.7%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%	3	100.0%
4	- Standard Spaces	6	4	66.7%	4	66.7%	4	66.7%	3	50.0%	5	83.3%	6	100.0%	4	66.7%	2	33.3%
5	- Standard Spaces	12	1	8.3%	1	8.3%	1	8.3%	4	33.3%	3	25.0%	5	41.7%	3	25.0%	3	25.0%
6	- Standard Spaces	10	3	30.0%	3	30.0%	4	40.0%	4	40.0%	4	40.0%	5	50.0%	8	80.0%	7	70.0%
7	- Standard Spaces	10	5	50.0%	5	50.0%	4	40.0%	5	50.0%	5	50.0%	7	70.0%	5	50.0%	4	40.0%
8	- Standard Spaces	10	3	30.0%	3	30.0%	3	30.0%	4	40.0%	5	50.0%	5	50.0%	4	40.0%	4	40.0%
9	- Standard Spaces	10	0	0.0%	0	0.0%	1	10.0%	2	20.0%	3	30.0%	3	30.0%	4	40.0%	5	50.0%
10	- Standard Spaces	12	2	16.7%	2	16.7%	5	41.7%	6	50.0%	6	50.0%	6	50.0%	7	58.3%	6	50.0%
11	- HC Spaces	6	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%
	- Standard Spaces	19	7	36.8%	9	47.4%	12	63.2%	12	63.2%	14	73.7%	12	63.2%	12	63.2%	10	52.6%
12	- Standard Spaces	12	6	50.0%	8	66.7%	8	66.7%	8	66.7%	7	58.3%	7	58.3%	6	50.0%	5	41.7%
13	- Standard Spaces	9	3	33.3%	4	44.4%	5	55.6%	6	66.7%	6	66.7%	6	66.7%	5	55.6%	4	44.4%
14	- Standard Spaces	10	1	10.0%	3	30.0%	5	50.0%	5	50.0%	5	50.0%	5	50.0%	6	60.0%	6	60.0%
15	- Standard Spaces	10	1	10.0%	1	10.0%	1	10.0%	1	10.0%	3	30.0%	3	30.0%	3	30.0%	2	20.0%
16	- Standard Spaces	14	3	21.4%	3	21.4%	5	35.7%	5	35.7%	5	35.7%	7	50.0%	6	42.9%	8	57.1%
Subtotal Lower Level		176	53	30.1%	66	37.5%	78	44.3%	88	50.0%	99	56.3%	105	59.7%	94	53.4%	80	45.5%
TOTAL PARKING		468	131	28.0%	204	43.6%	277	59.2%	299	63.9%	336	71.8%	354	75.6%	336	71.8%	323	69.0%

[1] The parking survey was conducted by The Traffic Solution.

Table 6 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: SATURDAY, OCTOBER 22, 2016

STREET LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY															
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM							
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT				
1	- HC Spaces	2	0	0.0%	1	50.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%				
	- Standard Spaces	26	19	73.1%	15	57.7%	13	50.0%	11	42.3%	10	38.5%						
2	- Standard Spaces	7	3	42.9%	7	100.0%	7	100.0%	3	42.9%	2	28.6%						
	- HC Spaces	1	0	0.0%	1	100.0%	1	100.0%	0	0.0%	0	0.0%						
3	- Standard Spaces	14	12	85.7%	14	100.0%	14	100.0%	12	85.7%	12	85.7%						
	- Standard Spaces	16	12	75.0%	15	93.8%	16	100.0%	14	87.5%	14	87.5%						
4	- HC Spaces	1	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%						
	- Standard Spaces	15	12	80.0%	13	86.7%	15	100.0%	13	86.7%	13	86.7%						
5	- HC Spaces	1	1	100.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%						
	- Standard Spaces	12	11	91.7%	12	100.0%	13	108.3%	9	75.0%	9	75.0%						
6	- Standard Spaces	17	15	88.2%	15	88.2%	16	94.1%	9	52.9%	9	52.9%						
	- Standard Spaces	8	7	87.5%	8	100.0%	6	75.0%	6	75.0%	6	75.0%						
7	- Standard Spaces	8	3	37.5%	7	87.5%	6	75.0%	6	75.0%	2	25.0%						
	- Standard Spaces	17	13	76.5%	17	100.0%	13	76.5%	5	29.4%	5	29.4%						
8	- Standard Spaces	17	11	64.7%	14	82.4%	10	58.8%	5	29.4%	5	29.4%						
	- Standard Spaces	17	12	70.6%	15	88.2%	8	47.1%	7	41.2%	6	35.3%						
9	- Standard Spaces	16	10	62.5%	5	31.3%	4	25.0%	8	50.0%	5	31.3%						
	- Standard Spaces	13	8	61.5%	6	46.2%	3	23.1%	4	30.8%	0	0.0%						
10	- Standard Spaces	12	8	66.7%	7	58.3%	4	33.3%	4	33.3%	3	25.0%						
	- Standard Spaces	9	5	55.6%	5	55.6%	3	33.3%	1	11.1%	1	11.1%						
11	- Standard Spaces	8	7	87.5%	5	62.5%	6	75.0%	4	50.0%	5	62.5%						
	- Standard Spaces	19	10	52.6%	4	21.1%	6	31.6%	4	21.1%	4	21.1%						
12	- Standard Spaces	10	4	40.0%	4	40.0%	3	30.0%	3	30.0%	2	20.0%						
	- HC Spaces	4	1	25.0%	1	25.0%	0	0.0%	2	50.0%	0	0.0%						
13	- Standard Spaces	22	19	86.4%	18	81.8%	11	50.0%	14	63.6%	12	54.5%						
	Subtotal Street Level	292	203	69.5%	209	71.6%	178	61.0%	140	47.9%	126	43.2%						

[1] The parking survey was conducted by The Traffic Solution.

Table 6 (Continued)
 PARKING ACCUMULATION SURVEY [1]
 SURVEY DATE: SATURDAY, OCTOBER 22, 2016

LOWER LEVEL AREA	PARKING LOCATION	NO. OF SPACES	TIME OF SURVEY																							
			4:00 PM		5:00 PM		6:00 PM		7:00 PM		8:00 PM		PERCENT OCCUPIED		PERCENT OCCUPIED		PERCENT OCCUPIED		PERCENT OCCUPIED		PERCENT OCCUPIED		PERCENT OCCUPIED			
			OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT	OCCUPIED	PERCENT		
1	- Standard Spaces	15	11	73.3%	9	60.0%	7	46.7%	7	46.7%	6	40.0%														
2	- Standard Spaces	8	3	37.5%	2	25.0%	5	62.5%	3	37.5%	2	25.0%														
3	- Standard Spaces	3	3	100.0%	3	100.0%	3	100.0%	2	66.7%	2	66.7%														
4	- Standard Spaces	6	4	66.7%	4	66.7%	3	50.0%	4	66.7%	3	50.0%														
5	- Standard Spaces	12	2	16.7%	3	25.0%	3	25.0%	1	8.3%	2	16.7%														
6	- Standard Spaces	10	5	50.0%	5	50.0%	5	50.0%	5	50.0%	5	50.0%														
7	- Standard Spaces	10	5	50.0%	3	30.0%	3	30.0%	3	30.0%	3	30.0%														
8	- Standard Spaces	10	3	30.0%	1	10.0%	2	20.0%	1	10.0%	1	10.0%														
9	- Standard Spaces	10	2	20.0%	3	30.0%	2	20.0%	2	20.0%	2	20.0%														
10	- Standard Spaces	12	5	41.7%	6	50.0%	4	33.3%	2	16.7%	2	16.7%														
11	- HC Spaces	6	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%														
	- Standard Spaces	19	13	68.4%	13	68.4%	11	57.9%	10	52.6%	9	47.4%														
12	- Standard Spaces	12	4	33.3%	3	25.0%	3	25.0%	2	16.7%	2	16.7%														
13	- Standard Spaces	9	4	44.4%	4	44.4%	3	33.3%	1	11.1%	0	0.0%														
14	- Standard Spaces	10	5	50.0%	4	40.0%	4	40.0%	2	20.0%	2	20.0%														
15	- Standard Spaces	10	2	20.0%	2	20.0%	2	20.0%	2	20.0%	2	20.0%														
16	- Standard Spaces	14	7	50.0%	7	50.0%	6	42.9%	7	50.0%	6	42.9%														
Subtotal Lower Level		176	78	44.3%	72	40.9%	66	37.5%	54	30.7%	46	26.1%														
TOTAL PARKING		468	281	60.0%	281	60.0%	244	52.1%	194	41.5%	172	36.8%														

[1] The parking survey was conducted by The Traffic Solution.

accumulation on this day would likely be higher than normal/typical conditions.

Based on the existing parking accumulation surveys, the highest single time period of parking demand during the four observation days occurred at 1:00 PM and 2:00 PM on Friday, October 21, 2016, when a total of 357 (76.3%) vehicles was observed parked at the site. When compared with the on-site parking supply of 468 spaces, a total of 111 parking spaces was available during the highest peak time period of observed parking demand at the site.

Shared Parking Methodology

The concept of shared parking is widely recognized within the transportation planning industry and accounts for the changes in parking demand over time for different types of land uses within a project. As stated previously, accumulated experience in parking demand characteristics indicates that a mixing of land uses results in an overall parking need that is less than the sum of the individual peak requirements for each land use. Due to the existing and proposed mixed-use characteristics of the Redondo Shores Shopping Center, opportunities to share parking now occur and can be expected to continue in the future. The objective of this shared parking analysis is to forecast the peak parking demand requirements for the center based on the combined demand patterns of different tenancy types at the site.

Shared parking calculations recognize that different uses often experience individual peak parking demands at different times of day, or days of the week. When uses share common parking footprints, the total number of spaces needed to support the collective whole is determined by adding parking profiles (by time of day for weekdays versus weekend days), rather than individual peak ratios as represented in the City of Redondo Beach Municipal Code. In that way, the shared parking approach starts from the City's own code ratios and results in the design level parking supply needs of a site or development. The analytical procedures for shared parking analyses are well documented in the current edition of the *Shared Parking*¹ manual.

Shared Parking Profiles

The hourly parking demand profiles (expressed in percent of peak demand) utilized in this analysis and applied to the currently vacant tenant spaces are based on profiles developed by the ULI and published in the *Shared Parking* manual. The ULI publication presents hourly parking demand profiles for many different land use categories and these hourly profiles are developed from field studies of single

¹ Urban Land Institute *Shared Parking* manual, 2nd Edition, 2005.

developments in free-standing settings, where travel by private auto is maximized. These characteristics permit the means for calculating peak parking needs when land use types are combined. Further, the shared parking approach illustrates how, at other than peak parking demand times, an increasing surplus of spaces will service the overall needs of the development. These profiles of parking demand have been considered and used, by land use type, in this analysis.

In addition, the proposed hours of operation for the dental office use as well as the hours of operation and class size/schedule for the personal training/fitness use were reviewed and considered. Based on information provided by the project applicant, the proposed hours of operation for the dental office are Mondays to Fridays from 8:00 AM to 5:00 PM (closed on Saturdays and Sundays). The proposed hours of operation for the personal training/fitness use (which will replace the vacant tenant suite that was also previously occupied by a personal training/physical fitness use) are generally Mondays to Fridays from 5:00 AM to 9:00 PM and Saturdays/Sundays from 7:00 AM to 2:00 PM.

Shared Parking Analyses

The actual peak parking demands at the Redondo Shores Shopping Center are significantly lower than those expected through strict application of the City's current Code requirements. Therefore, it has been determined that the most appropriate methodology for forecasting future peak parking demand at the Redondo Shores Shopping Center (assuming full occupancy) would be to first utilize the actual parking demands (i.e., through the conduct of parking accumulation surveys), then add the forecast demand for all remaining vacant spaces using the shared parking methodology. Currently, the Redondo Shores Shopping Center has five vacant suites, including two retail suites, one snack shop/restaurant (i.e., to be occupied by Paris Baguette), one personal training/fitness suite (i.e., to be reoccupied by another personal training use), and the proposed dental office unit.

Utilization of the actual parking demand for the existing tenancies has been combined with the parking demand within the ULI shared parking model for the vacant floor areas. **Tables 7** and **8** present this approach assuming the envisioned future land uses from a Code perspective for the vacant tenant spaces. These analyses reflect the actual field-studied demands, the City code parking ratios for the vacant spaces and the application of the ULI time-of-day parking profiles for the vacant floor areas. **Table 7** summarizes the shared parking demand analysis for the weekday conditions while **Table 8** summarizes the weekend conditions. **Appendix Tables A-1** through **A-8** provide summaries of the weekday and weekend parking demand profiles categorized by land use.

Table 7
WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Existing Center	Retail	Restaurant Paris Baguette	Personal Training	Pacific Dental Office	Shared Parking Demand	Comparison w/ Parking Supply 468 Spaces Surplus (Deficiency)		
Size	95,322 KSF	4,104 KSF	2,140 KSF	2,030 KSF	3,800 KSF				
Peak Pkg Rate[2]		4.0 /KSF	4.0 /KSF	[4] /KSF	6.7 /KSF				
Weekday Pkg Rate[3]		3.6 /KSF	4.0 /KSF	[4] /KSF	6.7 /KSF				
Gross Spaces		15 Spc.	9 Spc.	15 Spc.	25 Spc.				
Adjusted Gross Spaces		15 Spc.	9 Spc.	15 Spc.	25 Spc.				
Time of Day	Existing Parking Demand	Number of Spaces	Number of Spaces	Number of Spaces	Number of Spaces				
8:00 AM	163	3	2	15	20	203	265		
9:00 AM	209	6	2	15	23	255	213		
10:00 AM	264	11	5	15	25	320	148		
11:00 AM	311	13	8	15	25	372	96		
12:00 PM	335	14	9	15	13	386	82		
1:00 PM	357	15	9	11	23	415	53		
2:00 PM	357	14	8	11	25	415	53		
3:00 PM	343	14	6	11	25	399	69		
4:00 PM	317	14	5	12	23	371	97		
5:00 PM	310	14	6	15	22	367	101		
6:00 PM	284	14	8	15	16	337	131		
7:00 PM	282	14	7	15	7	325	143		
8:00 PM	255	13	5	15	4	292	176		

Notes:

- [1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.
- [2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.
- [3] Weekday parking rates reflect relationships between the weekday parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.
- [4] Based on City code, one parking space per employee plus one parking space per two students are required for personal improvement services land use. The proposed tenant will provide personal training and can accommodate up to 26 students and two employees.

Table 8
WEEKEND SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Existing Center	Retail	Restaurant Paris Baguette	Personal Training	Pacific Dental Office	Shared Parking Demand	Comparison w/ Parking Supply 468 Spaces Surplus (Deficiency)		
Size	95,322 KSF	4,104 KSF	2,140 KSF	2,030 KSF	3,800 KSF				
Peak Pkg Rate[2]		4.0 /KSF	4.0 /KSF	[4] /KSF	6.7 /KSF				
Weekend Pkg Rate[3]		4.0 /KSF	3.7 /KSF	[4] /KSF	0.0 /KSF				
Gross Spaces		16 Spc.	8 Spc.	15 Spc.	0 Spc.				
Adjusted Gross Spaces		16 Spc.	8 Spc.	15 Spc.	0 Spc.				
Time of Day	Existing Parking Demand	Number of Spaces	Number of Spaces	Number of Spaces	Number of Spaces				
8:00 AM	131	2	1	15	0	149	319		
9:00 AM	204	6	2	15	0	227	241		
10:00 AM	277	10	5	15	0	307	161		
11:00 AM	299	11	7	15	0	332	136		
12:00 PM	336	13	8	15	0	372	96		
1:00 PM	354	15	8	15	0	392	76		
2:00 PM	336	16	7	4	0	363	105		
3:00 PM	323	16	5	0	0	344	124		
4:00 PM	281	15	5	0	0	301	167		
5:00 PM	281	15	5	0	0	301	167		
6:00 PM	244	13	7	0	0	264	204		
7:00 PM	194	12	7	0	0	213	255		
8:00 PM	172	10	5	0	0	187	281		

Notes:

- [1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.
- [2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.
- [3] Weekend parking rates reflect relationships between the weekend parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.
- [4] Based on City code, one parking space per employee plus one parking space per two students are required for personal improvement services land use. The proposed tenant will provide personal training and can accommodate up to 26 students and two employees.

Based on LLG's experience, the results presented in *Tables 7* and *8* represent the most pragmatic approach to likely future parking conditions. These results can be considered conservative because 1) for each hour the highest observed parking demand of the three surveyed weekdays were utilized to represent existing conditions; 2) one tenant (i.e., a juice bar) hosted a grand opening during the surveyed Saturday thereby likely resulting in a higher Saturday parking demand than normal/typical conditions; and 3) shopping centers of this nature typically experience an approximate five percent vacancy rate at any given time and this parking analysis reflects 100% full occupancy.

As shown in *Table 7*, the peak weekday shared parking demand for the Redondo Shores Shopping Center is forecast to occur at 1:00 PM and 2:00 PM when 415 spaces are forecast to be needed, assuming full occupancy of all tenant spaces. Thus, the existing site-wide parking supply of 468 spaces will be sufficient to meet the projected weekday site-wide parking demand, with a minimum 53-space parking surplus using the shared parking approach. During other time periods of the weekday conditions, a greater parking surplus (i.e., more than 53 spaces) is expected for the center, as shown in *Table 7*.

As shown in *Table 8*, the peak weekend shared parking demand for the Redondo Shores Shopping Center is forecast to occur at 1:00 PM on Saturday when 392 spaces are forecast to be needed, assuming full occupancy of all tenant spaces. Thus, the existing site-wide parking supply of 468 spaces will be sufficient to meet the projected weekend site-wide parking demand, with a minimum 76-space parking surplus using the shared parking approach. During other time periods of the weekend conditions, a greater parking surplus (i.e., more than 76 spaces) is expected for the center, as shown in *Table 8*.

Conclusions

Based on the above analyses, it can be concluded that Redondo Shores Shopping Center parking supply of 468 spaces is more than adequate to accommodate the forecast future weekday and weekend parking demands assuming full occupancy of all tenant spaces and including the proposed conversion of a 3,800 square-foot retail suite to a dental office use. A minimum parking surplus of 53 spaces are noted during the peak weekday conditions and a minimum parking surplus of 76 spaces are noted during the peak weekend conditions for the center.

These findings can be considered conservative because 1) for each hour the highest observed parking demand of the three surveyed weekdays were utilized to represent existing conditions; 2) one tenant (i.e., a juice bar) hosted a grand opening during the surveyed Saturday thereby likely resulting in a higher Saturday parking demand than normal/typical conditions; and 3) shopping centers of this nature typically experience



an approximate five percent vacancy rate at any given time and this parking analysis reflects 100% full occupancy.

We appreciate the opportunity to submit this analysis. Please call us at 626-796-2322 if you have any questions or comments.

APPENDIX

TABLES A-1 THROUGH A-8: WEEKDAY/WEEKEND PARKING DEMAND PROFILES FOR VACANT TENANT SPACES BY LAND USE

Appendix Table A-1

SHOPPING CENTER (TYPICAL DAYS)
WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Shopping Center (Typical Days)				
Size	4.104 KSF				Shared Parking Demand
Peak Pkg Rate[2]	4.0 /KSF				
Weekday Pkg Rate[3]	3.6 /KSF				
Gross Spaces	15 Spaces				
Adjusted Gross Spaces	1.00 15 Spaces				
	12 Guest Spc.		3 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	15%	2	40%	1	3
9:00 AM	35%	4	75%	2	6
10:00 AM	65%	8	85%	3	11
11:00 AM	85%	10	95%	3	13
12:00 PM	95%	11	100%	3	14
1:00 PM	100%	12	100%	3	15
2:00 PM	95%	11	100%	3	14
3:00 PM	90%	11	100%	3	14
4:00 PM	90%	11	100%	3	14
5:00 PM	95%	11	95%	3	14
6:00 PM	95%	11	95%	3	14
7:00 PM	95%	11	95%	3	14
8:00 PM	80%	10	90%	3	13

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekday parking rates reflect relationships between the weekday parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-2

SHOPPING CENTER (TYPICAL DAYS)
WEEKEND SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Shopping Center (Typical Days)				
Size	4.104 KSF				Shared Parking Demand
Peak Pkg Rate[2]	4.0 /KSF				
Weekend Pkg Rate[3]	4.0 /KSF				
Gross Spaces	16 Spaces				
Adjusted Gross Spaces	1.00 16 Spaces				
	13 Guest Spc.		3 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	10%	1	40%	1	2
9:00 AM	30%	4	75%	2	6
10:00 AM	50%	7	85%	3	10
11:00 AM	65%	8	95%	3	11
12:00 PM	80%	10	100%	3	13
1:00 PM	90%	12	100%	3	15
2:00 PM	100%	13	100%	3	16
3:00 PM	100%	13	100%	3	16
4:00 PM	95%	12	100%	3	15
5:00 PM	90%	12	95%	3	15
6:00 PM	80%	10	85%	3	13
7:00 PM	75%	10	80%	2	12
8:00 PM	65%	8	75%	2	10

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekend parking rates reflect relationships between the weekend parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-3

PARIS BAGUETTE RESTAURANT (FAST-FOOD)
 WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
 Redondo Shores Shopping Center Project

Land Use	Fast-Food Restaurant				Shared Parking Demand	
Size	2.140 KSF					
Peak Pkg Rate[2]	4.0 /KSF					
Weekday Pkg Rate[3]	4.0 /KSF					
Gross Spaces	9 Spaces					
Adjusted Gross Spaces	1.00 9 Spaces					
	8 Guest Spc.		1 Emp. Spc.			
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces		
8:00 AM	20%	2	30%	0		2
9:00 AM	30%	2	40%	0		2
10:00 AM	55%	4	75%	1	5	
11:00 AM	85%	7	100%	1	8	
12:00 PM	100%	8	100%	1	9	
1:00 PM	100%	8	100%	1	9	
2:00 PM	90%	7	95%	1	8	
3:00 PM	60%	5	70%	1	6	
4:00 PM	55%	4	60%	1	5	
5:00 PM	60%	5	70%	1	6	
6:00 PM	85%	7	90%	1	8	
7:00 PM	80%	6	90%	1	7	
8:00 PM	50%	4	60%	1	5	

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekday parking rates reflect relationships between the weekday parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-4

PARIS BAGUETTE RESTAURANT (FAST-FOOD)
 WEEKEND SHARED PARKING DEMAND ANALYSIS [1]
 Redondo Shores Shopping Center Project

Land Use	Fast-Food Restaurant				Shared Parking Demand	
Size	2.140 KSF					
Peak Pkg Rate[2]	4.0 /KSF					
Weekend Pkg Rate[3]	3.7 /KSF					
Gross Spaces	8 Spaces					
Adjusted Gross Spaces	1.00 8 Spaces					
	7 Guest Spc.		1 Emp. Spc.			
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces		
8:00 AM	20%	1	30%	0		1
9:00 AM	30%	2	40%	0		2
10:00 AM	55%	4	75%	1	5	
11:00 AM	85%	6	100%	1	7	
12:00 PM	100%	7	100%	1	8	
1:00 PM	100%	7	100%	1	8	
2:00 PM	90%	6	95%	1	7	
3:00 PM	60%	4	70%	1	5	
4:00 PM	55%	4	60%	1	5	
5:00 PM	60%	4	70%	1	5	
6:00 PM	85%	6	90%	1	7	
7:00 PM	80%	6	90%	1	7	
8:00 PM	50%	4	60%	1	5	

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekend parking rates reflect relationships between the weekend parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-5

PERSONAL TRAINING
WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Personal Training				
Size	2.030 KSF				Shared Parking Demand
Peak Pkg Rate[2]	[4] /KSF				
Weekday Pkg Rate[3]	[4] /KSF				
Gross Spaces	15 Spaces				
Adjusted Gross Spaces[4]	1.00 15 Spaces				
	13 Guest Spc.		2 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	100%	13	100%	2	15
9:00 AM	100%	13	100%	2	15
10:00 AM	100%	13	100%	2	15
11:00 AM	100%	13	100%	2	15
12:00 PM	100%	13	100%	2	15
1:00 PM	70%	9	75%	2	11
2:00 PM	70%	9	75%	2	11
3:00 PM	70%	9	75%	2	11
4:00 PM	80%	10	75%	2	12
5:00 PM	100%	13	100%	2	15
6:00 PM	100%	13	100%	2	15
7:00 PM	100%	13	100%	2	15
8:00 PM	100%	13	100%	2	15

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekday parking rates reflect relationships between the weekday parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-6

PERSONAL TRAINING
WEEKEND SHARED PARKING DEMAND ANALYSIS [1]
Redondo Shores Shopping Center Project

Land Use	Personal Training				
Size	2.030 KSF				Shared Parking Demand
Peak Pkg Rate[2]	[4] /KSF				
Weekend Pkg Rate[3]	[4] /KSF				
Gross Spaces	15 Spaces				
Adjusted Gross Spaces[4]	1.00		15 Spaces		
	13 Guest Spc.		2 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	100%	13	100%	2	15
9:00 AM	100%	13	100%	2	15
10:00 AM	100%	13	100%	2	15
11:00 AM	100%	13	100%	2	15
12:00 PM	100%	13	100%	2	15
1:00 PM	100%	13	100%	2	15
2:00 PM	25%	3	50%	1	4
3:00 PM	0%	0	0%	0	0
4:00 PM	0%	0	0%	0	0
5:00 PM	0%	0	0%	0	0
6:00 PM	0%	0	0%	0	0
7:00 PM	0%	0	0%	0	0
8:00 PM	0%	0	0%	0	0

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekend parking rates reflect relationships between the weekend parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-7

MEDICAL/DENTAL OFFICE (PACIFIC DENTAL)
 WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
 Redondo Shores Shopping Center Project

Land Use	Medical/Dental Office				Shared Parking Demand
Size	3.800 KSF				
Peak Pkg Rate[2]	6.7 /KSF				
Weekday Pkg Rate[3]	6.7 /KSF				
Gross Spaces	25 Spaces				
Adjusted Gross Spaces[4]	1.00 25 Spaces				
	17 Visitor Spc.		8 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	90%	15	60%	5	20
9:00 AM	90%	15	100%	8	23
10:00 AM	100%	17	100%	8	25
11:00 AM	100%	17	100%	8	25
12:00 PM	30%	5	100%	8	13
1:00 PM	90%	15	100%	8	23
2:00 PM	100%	17	100%	8	25
3:00 PM	100%	17	100%	8	25
4:00 PM	90%	15	100%	8	23
5:00 PM	80%	14	100%	8	22
6:00 PM	67%	11	67%	5	16
7:00 PM	30%	5	30%	2	7
8:00 PM	15%	3	15%	1	4

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] Weekday parking rates reflect relationships between the weekday parking demand ratios and the peak parking demand ratios, as summarized in Table 2-2 of the "Shared Parking" manual.

Appendix Table A-8

MEDICAL/DENTAL OFFICE (PACIFIC DENTAL)
 WEEKEND SHARED PARKING DEMAND ANALYSIS [1]
 Redondo Shores Shopping Center Project

Land Use	Medical/Dental Office				Shared Parking Demand
Size	3.800 KSF				
Peak Pkg Rate[2]	6.7 /KSF				
Weekend Pkg Rate[3]	0.0 /KSF				
Gross Spaces	0 Spaces				
Adjusted Gross Spaces[4]	1.00 0 Spaces				
	0 Visitor Spc.		0 Emp. Spc.		
Time of Day	% Of Peak	# Of Spaces	% Of Peak	# Of Spaces	
8:00 AM	90%	0	60%	0	0
9:00 AM	90%	0	100%	0	0
10:00 AM	100%	0	100%	0	0
11:00 AM	100%	0	100%	0	0
12:00 PM	30%	0	100%	0	0
1:00 PM	0%	0	0%	0	0
2:00 PM	0%	0	0%	0	0
3:00 PM	0%	0	0%	0	0
4:00 PM	0%	0	0%	0	0
5:00 PM	0%	0	0%	0	0
6:00 PM	0%	0	0%	0	0
7:00 PM	0%	0	0%	0	0
8:00 PM	0%	0	0%	0	0

Notes:

[1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005.

[2] Peak parking rates for all land uses based on the City of Redondo Beach off-street parking requirements.

[3] The proposed dental office will not be opened on weekends.

CHAPTER 2
MASSAGE/BODYWORK BUSINESSES

Note: Chapter 2, consisting of Sections 6-2.01 through 6-2.15, as added by Ord. 1303, as amended by Ord. 2247 c.s., eff. August 23, 1978, amended by Ord. 2751 c.s., further amended by Ord. 2866 c.s., eff. February 1, 2001, Ord. 2875 c.s., eff. August 14, 2001 and Ord. 3101 c.s., eff. January 4, 2013.

§ 6-2.01. Definitions.

As used in this chapter:

"Applicant" means an applicant for a registration certificate.

"California Massage Therapy Council" or "CAMTC" means the State nonprofit organization created to regulate and issue massage practitioner and therapist licenses pursuant to California Business and Professions Code Section 4600, et seq.

"Certified massage business" means any business that possesses a valid City business license and a City registration certificate, and where the only persons employed or used by that business to provide massage services have current and valid State certifications.

"Certified massage practitioner" means any person holding a current and valid State certificate issued by the California Massage Therapy Council pursuant to California Business and Professions Code Section 4600 et seq., whether as a massage practitioner or massage therapist, as defined therein.

"Certified sole proprietorship" means any massage business where the owner is the only person employed or used by that business to provide massage services and the owner has a current and valid State certification and City registration certificate.

"City" means the City of Redondo Beach.

"City Manager or designee" means the person or persons designated by the City Manager to administer the provisions of this chapter.

"Employee" means any person, other than a massage practitioner, manager or owner or operator, who renders any service, with or without compensation, to the owner or operator of a massage establishment relating to the day-to-day operation of the massage establishment whether as an employee or independent contractor.

"Massage" means any method of treating the external parts of the body for remedial, health, hygienic, or relaxation purposes for any form of compensation. "Massage" includes, but is not limited to, treatment by means of pressure or friction against, or stroking, kneading, rubbing, tapping, pounding, or stimulating, with or without the aid of or by means of any mechanical, electronic or electrical apparatus or appliance or with or without application of rubbing alcohol, liniments, aromatics, antiseptics, oils, powders, creams, lotions, ointments or other similar preparations commonly used in this practice.

"Massage business" or "massage establishment" means a business or establishment, including a sole proprietor or independent contractor, that offers massage therapy within the City, whether at a fixed place of business or at a location designated by the patron.

"Owner" or "operator" means any and all owners of a massage business including any of the following persons: the managing responsible officer/employee, a general partner, a limited partner, a shareholder, a sole proprietor, or any person who has a 5% or greater ownership interest in a massage business whether as an individual, corporate entity, limited partner, shareholder or sole proprietor.

"Permit administrator" means the City Manager or designee (hereinafter, "Permit Administrator") for promulgating rules, regulations, and requirements consistent with the provisions of this section and all other law in connection with issuance of a registration permit.

"Registration certificate—business" or "business registration certificate" means a certification issued by the Permit Administrator upon submission of satisfactory evidence as required that a massage business or sole proprietorship employs or uses only certified massage therapists or practitioners possessing valid and current State certifications and has satisfied all other requirements pursuant to the provisions of this chapter.

"Registered certificate holder" means a person or business that has been issued a registration certificate by the City's Permit Administrator.

"Registration certificate—individual" or "individual registration certificate" means a certificate issued by the Permit Administrator upon submission of satisfactory evidence that a massage practitioner or therapist has a valid and current State certification and has satisfied all other requirements pursuant to this chapter.

"State certification" or "state certificate" means a valid and current certification properly issued by the CAMTC pursuant to California Business and Professions Code Section 4600, et seq. (§ 1, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.02. Authority.

The Permit Administrator shall have the power and authority to promulgate rules, regulations, and requirements consistent with the provisions of this chapter and other law in connection with the issuance of a registration certificate. The Permit Administrator may designate an employee of his or her department to make decisions and investigate and take action under this chapter. (§ 2, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.03. State certification, City registration, and City business license required.

- (a) On or after January 4, 2013, it is unlawful for any individual to engage in, conduct, or carry on, or perform massage for compensation within the City unless that individual has obtained a registration certificate from the City.
- (b) On or after January 4, 2013, it is unlawful for any person, association, partnership or corporation to engage in, conduct or carry on, or permit to be engaged in, conducted or carried on in or upon any premises within the City, the operation of a massage business unless in possession of a current and valid registration certificate issued pursuant to this chapter. It is unlawful for any business to provide massage services within the City unless all individuals employed by the massage business to perform massage, whether as an employee or independent contractor, are certified massage practitioners.
- (c) Nothing herein relieves an individual or business from obtaining a City business license or

other permit if otherwise required by law. Any individual applying for a business license as a massage practitioner or a massage therapist shall provide proof of a current State certificate before being issued a business license.

(§ 3, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.04. Certified massage business—Application for registration certificate.

A registration application shall be filed on forms provided by the Permit Administrator, submitted under penalty of perjury, and shall contain the following information:

- (a) The full true name of the applicant and a complete statement listing and explaining any and all aliases and fictitious names used by the applicant within the last 10 years.
- (b) A valid and current driver's license and/or identification card issued by a State or Federal government agency or other photographic identification bearing a bona fide seal by a foreign government.
- (c) An authorization for the City, its officers, agents and employees, to seek information and conduct an investigation into the truth of the statements set forth in the application and to ensure continual compliance with all applicable provisions of law.
- (d) State certification verification.
 - (1) If a certified sole proprietorship, the applicant/owner shall produce a valid and current State certification and a valid and current CAMTC issued identification card;
 - (2) If a certified massage business other than a certified sole proprietorship, the applicant/owners shall produce:
 - a. A valid and current State certification,
 - b. A valid and current CAMTC issued identification card,
 - c. A signed statement that the certified massage business shall employ only certified massage practitioners along with copies of valid and current State certificates for all massage practitioners employed or who will be employed by the massage business and copies of their current and valid CAMTC issued identification cards and valid certificates of registration. If certificates of registration are not produced for any massage practitioner, the Permit Administrator further may require the massage practitioners whom the owner/applicant has identified as employees to personally appear and produce valid and current State certificates, a valid and current driver's license and/or identification card issued by a State or Federal governmental agency or other photographic identification bearing a bona fide seal by a foreign government;
 - (3) The following information shall be provided by any owner/applicant who is not State certified and owns 5% or more of the business:
 - a. Acceptable proof that the owner/applicant is at least 18 years of age,
 - b. Full, true name, and other names or aliases used in the last 10 years,

- c. Applicant's date of birth, a valid and current driver's license and/or identification card issued by a State or Federal governmental agency, or other photographic identification bearing a bona fide seal by a foreign government,
 - d. Two portrait photographs at least two (2") inches by two (2") inches,
 - e. Current address and previous two residences including dates at each address,
 - f. Business, occupation, and employment history for five years preceding the date of current or proposed employment, the inclusive dates of same; the name and address of any massage business or other like establishment owned or operated by any person subject to the background check including, but not limited to, history, if any, with any agency, board, city, county, territory, or state,
 - g. Fingerprints plus payment of a fee to cover the actual costs to submit fingerprints to the Department of Justice and Federal Bureau of Investigation through LiveScan or equivalent,
 - h. Applicant must submit additional fee to cover actual costs for subsequent arrest notice for renewal applications to determine whether the applicant has any of the following:
 - 1. All convictions for any crime involving conduct which requires registration under California Penal Code Section 290 (Sex Offender Registration Act),
 - 2. Convictions for violations of California Penal Code Section 266i (Pandering), 315 (Keeping or residing in house of ill-fame), 316 (Keeping disorderly house), 318 (Prevailing upon person to visit place for gambling or prostitution), 647(b) (Prostitution), or 653.23 (Supervision of a prostitute),
 - 3. Convictions of any felony offense involving the sale of a controlled substance specified in Section 11054, 11055, 11056, 11057, or 11058 of the Health and Safety Code,
 - 4. Convictions of crimes designated in Government Code Section 51032 (Massage—Grounds for denial of license), or any crime involving dishonesty, fraud, deceit, violence or moral turpitude,
 - 5. All injunctions for nuisances under Penal Code Sections 11225 through 11235,
 - 6. Convictions in any other state of any offense which, if committed or attempted in this State, would have been punishable as one or more of the referenced offenses of this subpart,
 - 7. Conspiracy or attempt to commit any such offense described in subsections (h)(1) through (h)(6).
- (e) General business information.
- (1) The full, true name under which the business will be conducted;

- (2) The present or proposed address where the business is to be conducted and the present residence address of the applicant;
 - (3) A complete description of all services to be provided at the proposed massage establishment;
 - (4) The name and address of any massage business or other like business owned or operated by any person whose name is required to be given pursuant to this section for the 10 years immediately preceding the filing of the application;
 - (5) A description of any other business to be operated on the same premises, or on adjoining premises, owned or controlled by the applicant;
 - (6) The name and address of the owner and lessor of the real property, if any, upon or within which the business is to be conducted.
- (f) Corporate information.
- (1) If the applicant is a corporation, the name of the corporation shall be set forth exactly as shown in its articles of incorporation or charter together with the state and date of incorporation and the names and residence addresses of each of its current officers and directors, and of each stockholder holding more than 5% of the stock of that corporation, and its registered agent for receipt of process;
 - (2) If the applicant is a partnership, the application shall set forth the names and residence addresses of each of the partners, including limited partnerships. If the applicant is a limited partnership, it shall furnish a copy of its certificate of limited partnership as filed with the County Clerk. If one or more of the partners is a corporation, the provisions of this subsection pertaining to corporate applicants shall apply to the corporate partner;
 - (3) The applicant, corporation or partnership shall designate one of its officers or general partners to act as its responsible managing officer/employee. Such person shall complete and sign all application forms required of an individual applicant under this chapter. The corporation's or partnership's responsible managing officer must, at all times, meet all of the requirements set by this chapter or the corporation's or partnership's registration certificate shall be suspended until a responsible managing officer who meets such requirements is designated. If no such person is designated within 90 days, the corporation's or partnership's registration certificate is deemed canceled and a new application for registration must be filed;
 - (4) If an applicant owner, operator, corporation or partner owns 5% or more of the massage business and is not State certified, the Permit Administrator shall conduct a background check of that owner, operator, corporation, or partner, and which shall include the information requested in Section 6-2.04(d)(3) inclusive and the name and address of any massage business or other like business owned or operated by any person who is subject to the background check requirement of this subdivision.
- (g) A signed statement that the owner/applicant shall be responsible for the conduct of all employees or independent contractors working on the premises of the business and acknowledging that failure to comply with California Business and Professions Code Section

4600 et seq., with any local, State or Federal law, or with the provisions of this chapter may result in the revocation of the City's registration certificate.

- (h) Zoning consistency check in writing from the City's Community Development Department. A zoning consistency check does not confer or authorize any entitlement to a use permit or building permit or similar, which process, if applicable, is separate from the registration certificate process.
- (i) Payment of a nonrefundable registration fee in an amount established by resolution of the City Council.
- (j) Upon receipt of the application, the Permit Administrator shall refer the application to other City departments that shall inspect the premises, if any, proposed to be used as a massage business and shall make a written recommendation to the Permit Administrator concerning compliance with the respective requirements.
- (k) The Permit Administrator or authorized representative shall have up to 60 days after the submission of all required information to complete an investigation.
(§ 4, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.05. Certified massage practitioners—Application for registration certificate.

- (a) This section expressly applies to all massage practitioners working as individuals unless specifically exempted pursuant to Section 6-2.07.
 - (b) It is unlawful to practice massage of any form of consideration as a principal, an employee, agent, or otherwise within the City unless:
 - (1) Applicant has a current and valid certificate of registration issued pursuant to this chapter; and
 - (2) Possesses a valid and current State certification and a valid and current CAMTC issued identification card.
- (§ 5, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.06. Approval or denial of registration certificate.

- (a) The Permit Administrator shall issue a registration certificate to any certified massage practitioner who provides:
 - (1) The full true name of the applicant;
 - (2) A valid and current driver's license and/or identification card issued by a State or Federal government agency or other photographic identification bearing a bona fide seal by a foreign government;
 - (3) The current residence and business address and current residence and business telephone number of the applicant;
 - (4) A valid and current State certification matching the identification information provided in Section 6-2.04;

- (5) A valid and current CAMTC issued identification card matching the identification information provided in Section 6-2.04.
- (b) A certificate of registration shall be issued by the Permit Administrator to any certified sole proprietorship that demonstrates all of the following:
- (1) The operation, as proposed by the applicant, if permitted, would comply with all applicable laws, including, but not limited to, the City's building, zoning, business license, and health regulations;
 - (2) The owner is the only person employed or used by that business to provide massage services;
 - (3) The owner holds a valid and current State certificate issued pursuant to Chapter 10.5 of the California Business and Professions Code and that the owner/applicant is the same person to whom the CAMTC issued a valid and current State certificate and identification card;
 - (4) The applicant possesses a valid business license issued pursuant to Title 6, Chapter 1 of the Redondo Beach Municipal Code; and
 - (5) The applicant has not failed to provide information, assurances, or documentation required by this chapter, has not failed to reveal any fact material to qualification, or has not supplied information that is untrue or misleading as to a material fact pertaining to the qualification criteria.
- (c) A certificate of registration shall be issued by the Permit Administrator to any certified massage business that demonstrates all of the following:
- (1) The operation, as proposed by the applicant, if permitted, would comply with all applicable laws, including, but not limited to, the City's building, zoning, business license, and health regulations;
 - (2) The owner holds a valid and current State certificate issued pursuant to Chapter 10.5 of the California Business and Professions Code and that the owner/applicant is the same person to whom the CAMTC issued a valid and current State certificate and identification card, or, the non-certified owner/operator has satisfied the requirements of Section 62.04(d)(3);
 - (3) The massage business employs or uses only massage practitioners with City registration certificates as well as State certificates whose certifications are valid and current and that owners of the State certificates are the same persons to whom CAMTC issued valid and current identification cards;
 - (4) The applicant has provided all information, assurances, or documentation required by this chapter, has not failed to reveal any fact material to qualification, and has not supplied information that is untrue or misleading as to a material fact pertaining to the qualification criteria; and
 - (5) The background check for any applicant/owner authorized by this chapter shows that such person has not been required to register under the provisions of Section 290 of the

California Penal Code; within five years preceding the application had a conviction in a court of competent jurisdiction for any of the crimes indicated in Section 6-2.04(d) herein, California Penal Code Section 415, or Section 10-2.1620 of the Redondo Beach Municipal Code; has not had an individual or business permit or license with any agency, board, city, county, territory, or state, denied, revoked, restricted, or suspended within the last five years; and has not been subject to an injunction for nuisance under Penal Code Sections 11225 through 11235 within the last five years.

(§ 6, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.07. Exceptions.

The requirements of this chapter do not apply to:

- (a) Any physician, surgeon, chiropractor, osteopath, acupuncturist or physical therapist duly licensed to practice such profession in the State of California and working within the scope of such licenses. This exemption applies to massage practitioners or other persons working under the direction of said professional in conformance with State law.
- (b) Any registered nurse or licensed vocational nurse, licensed to practice under the laws of the State of California, who is an employee of and working under the on-site direction of a physician, surgeon, chiropractor, acupuncturist, osteopath, or physical therapist, duly licensed to practice their respective professions in this State.
- (c) Any treatment administered in good faith in the course of the practice of any healing art by any person licensed to practice under the provisions of Division 2 (commencing with Section 500) of the Business and Professions Code when engaging in such practice within the scope of such license.
- (d) Hospitals, nursing homes, sanatoriums, or other health care facilities duly licensed by the State of California.
- (e) Barbers, beauticians, or manicurists who are duly licensed to practice their respective profession by the State of California, while performing activities within the scope of their license, provided that such massage is limited solely to the neck, face, scalp, feet, hands, and lower limbs up to the knees, of their patrons.
- (f) Persons who provide massage therapy to athletes or athletic teams, facilities or events, acting within the scope of their employment so long as such persons do not practice massage therapy as their primary occupation within the City.
- (g) Schools of cosmetology or barbering which comply with the requirements of Business and Professions Code Section 7362 et seq., when instructors are acting within the scope of their employment or when students are working as unpaid externs pursuant to the requirements of Business and Professions Codes Section 7395.1.

(§ 7, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.08. Health and safety requirements.

All premises of certified massage businesses shall be subject to periodic inspection by the City for compliance with health, safety, and building standards and all such establishments shall comply

with the following requirements:

(a) Conditions of operation.

- (1) One artificial white light of not less than 40 watts shall be provided in each room where massage is being administered.
- (2) The walls in all rooms where water or steam baths are given shall be clean and painted with an approved washable mold resistant paint.
- (3) Floors shall be free from any accumulation of dust, dirt, or refuse.
- (4) All equipment used in the massage operation shall be maintained in a clean and sanitary condition.
- (5) Dressing and locker facilities shall be provided for patrons. Security deposit facilities for the protection of the valuables of the patrons shall also be available.
- (6) One front door shall be provided for patron entry to the massage business, which shall open to an interior patron reception and waiting area immediately inside the front door. All patrons and any persons other than individuals employed or retained by the massage business shall be required to enter and exit through the front door.
- (7) No massage business located in a building or structure with exterior windows fronting a public street, highway, walkway, or parking area shall during business hours block visibility into the interior reception and waiting area through the use of curtains, closed blinds, tints, or any other material that obstructs, blurs or darkens the view into the premises.
- (8) No massage establishment shall operate nor shall any massage be administered in any massage establishment between the hours of 11:00 p.m. and 8:00 a.m. The hours of operation must be displayed in a conspicuous public place in the lobby within the massage establishment and in any front window clearly visible from outside of the massage establishment.

(b) Instruments equipment and personnel.

- (1) Disinfecting agents and sterilizing equipment shall be provided for any and all instruments used in performing acts of massage and said instruments shall be disinfected and sterilized after each use.
- (2) Massages shall be administered only on standard or portable massage tables or chairs which are covered with a durable, washable plastic or other acceptable waterproof material. Massages shall not be administered on beds, mattresses, water beds, futons, sofa beds, any type of portable or convertible beds.
- (3) Except to the extent required, in writing, by a State licensed medical practitioner, no massage practitioner shall massage the genitals, gluteal fold, or anal area of any patron, or the breasts of any female patron, nor shall any operator of a massage business allow or permit such a massage.

- (4) A massage shall not be given and no patron shall be in the presence of any massage establishment staff unless the patron's genitals, pubic area and buttocks, and, if a female patron, the female patron's breasts, are fully covered by a fully opaque, nontransparent covering.
 - (5) All persons providing services in the massage establishment shall be fully clothed in clean, non-transparent clothing at all times that shall not expose their genitals, pubic area, buttocks or chest, nor shall any operator of a massage business allow or permit any person providing services at the massage establishment to dress in non-conforming clothing.
 - (6) Towels, sheets, clothes and linens of all types, and items for personal use of operators and patrons shall be clean and freshly laundered and shall not be used for more than one person. No common use of towels or linens shall be permitted. Heavy white paper may be substituted for sheets; provided, that such paper is used once for each person then discarded into a sanitary receptacle.
 - (7) No person afflicted with an infection or parasitic infestation transmittable to a patron shall knowingly provide massage therapy to a patron, or remain on the premises of a massage business while so infected or infested.
- (c) Personnel lists.
- (1) Within seven days of receiving a registration certificate, the owner of a certified massage business shall provide the Permit Administrator with a complete list of all massage practitioners who are working or will work, be employed, or provide massage services in the massage establishment.
 - (2) The operator shall maintain copies of each massage practitioner's State certificate on file on the premises of the massage establishment which shall be available to any individual upon request, including, but not limited to, employees of the City. Additionally, the operator shall be required to file copies of each State certificate with the Permit Administrator within seven days of a massage practitioner or massage therapist beginning to work at the massage establishment.
 - (3) Information required by this section shall be maintained at the massage establishment for a minimum of two years following the date that the person ceases providing services/employment to the massage establishment.
 - (4) The owner/operator shall deliver notice of the termination of any massage practitioner or therapist no longer employed by the owner/operator to the Permit Administrator within seven business days of termination.
- (d) Prohibited conduct.
- (1) No alcoholic beverages shall be sold, served, or furnished on the premises of any massage establishment without a valid alcoholic beverage license from the State and conditional use permit from the City.
 - (2) During the hours of operation, visitors shall not be permitted in massage therapy rooms

except as follows: (i) the parents or guardian of a patron who is a minor child may be present in the massage therapy room with that minor child; (ii) the minor child of a patron may be present in the massage therapy room with the patron when necessary for the supervision of the child; or (iii) the conservator, aid or other caretaker of a patron who is elderly or disabled may be present in the massage therapy room with that elderly or disabled person.

- (3) No operator shall hire, employ or allow a person to perform massage services unless such person possesses a valid State certificate (and certificate of registration). Each operator of a massage establishment shall verify that all persons hold the appropriate State certificate required by this chapter.
 - (4) No electrical, mechanical or artificial device shall be used by any massage establishment staff for audio and/or video recording or for monitoring the performance of a massage, of the conversation of other sounds in the massage rooms, without the knowledge and written consent of the patron.
 - (5) No massage establishment shall place, publish or distribute or cause to be placed, published or distributed any advertising matter that depicts any portion of the human body that would reasonably suggest to prospective patrons or clients that any service is available other than those services described in this chapter and posted on the premises as required in this chapter, nor shall any massage establishment employ language in the text of any advertising that would reasonably suggest to a prospective patron that any service is available other than those services described in this chapter and posted on the premises as required by this chapter.
- (e) Posting requirements. In addition to any other requirements for posting set forth in this chapter, the following shall also apply:
- (1) A recognizable and legible sign complying with the requirements of this code shall be posted at the main entrance identifying the establishment as a massage establishment.
 - (2) A list of services available and the cost of such services shall be posted in an open and conspicuous public place on the premises. The services shall be described in English and such other languages as may be convenient to communicate such service, in a conspicuous public location in each massage establishment. No services shall be conformed and no sums shall be charged for such services other than those posted. Nothing therein prohibits a voluntary tip from being paid by the patron. No massage business operator shall permit, and no person employed or retained by the massage business shall offer to perform any services or fees other than those posted.
 - (3) Any posted signs which are in a language other than English shall also be posted in English.
 - (4) The owner or operator of a massage business shall display the business registration certificate issued to the business and to each massage practitioner employed in the business in an accessible and conspicuous place on the premises.
 - (5) The owner or operator shall ensure that the individual registration certificate for each on-duty massage therapist is conspicuously displayed, visible from the entrance and/or

reception and waiting area of the massage establishment.

(f) Inspection by City officials and notices of violation.

- (1) The investigating officials of the City, including, but not limited to, representatives of the City's Police Department, Fire Department, Community Development Department and the County Health Officer, shall have the right to enter the premises from time to time during regular business hours prior to the issuance of a permit and subsequently for the purpose of making reasonable inspections to enforce compliance with this chapter and with building, fire, electrical, plumbing, and/or health and safety regulations. In the event a certificate of registration has been issued, it may be revoked or suspended in the manner hereinafter set forth in this chapter.
- (2) No person shall refuse to permit, cause delay of, or interfere with, a lawful inspection or compliance check of the premises by City or County officials at any time.
- (3) Whenever any City official inspects a massage business and finds that any provision of this chapter has been violated, he or she shall give notice of such violation by means of an inspection report or other written notice including, but not limited to, issuing a citation for each and every violation of this chapter or other applicable laws. In any such notification, the investigating person shall:
 - a. Set forth the specific violation or violations found, and shall notify the registered certificate holder that failure to comply with any notice issued in accordance with the provisions of this chapter may result in the revocation or suspension of the permit.
 - b. The registered certificate holder may be issued a warning that any future violation of this chapter may result in suspension or revocation of the registration certificate or the City officials may establish a specific and reasonable period of time for the correction of the violation or violations. No time to correct need be given for health and safety violations or violation of criminal law.
 - c. The registered certificate holder and operator shall take immediate action to correct violations and the City officials may re-inspect the business for compliance.

(g) Notification of changes.

- (1) The owner shall have a continuing obligation to notify the Permit Administrator in writing of any changes in massage practitioners and owners or operators or staff within seven calendar days of such change.
- (2) Every massage business owner or operator shall report in writing immediately to the Permit Administrator any and all changes of address or ownership of the massage business.

(§ 8, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.09. Transfer of certificate of registration.

- (a) Transfer of business registration certificate. A massage business registration certificate shall

not be transferrable except with the written approval of the Permit Administrator. A written application for such a transfer shall contain the same information as required herein for an initial application for a permit as set forth in Section 6-2.04. In the event of denial of such transfer, notification of any reasons for denial shall be set forth in writing and shall be sent to the applicant by means of registered or certified mail or delivered in person within 60 days of receipt of an application for transfer.

- (b) Individual registration certificate—Nontransferable. Individual registration certificates shall not be transferrable.

(§ 9, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.10. Registration certificate expiration and renewal.

- (a) Registration certification shall be valid as follows:

- (1) Massage business: two years from issuance or as extended pursuant to this chapter;
- (2) Sole proprietors: two years from issuance or as extended pursuant to this chapter;
- (3) Massage practitioners: two years from issuance or as extended pursuant to this chapter.

- (b) City registration certificates, both business and individual, shall be renewed in accordance with the expiration schedule set forth in this section.

- (c) The registered certificate holder—business shall apply to the City to renew such registration within 60 days prior to expiration and shall apply to the City to amend the registration certificate within 30 days after any change in the registration information including, but not limited to, a change in work address. The City Manager or Permit Administrator may extend the registration certificate one time during a renewal period for up to 90 days for individuals who provide timely evidence of a renewal application to the CAMTC.

- (d) If a renewal application and all required information for the renewal of a registration certificate—business is not received within 30 days after expiration, the registration certificate shall be deemed expired and no privilege to provide massage shall exist. Renewals shall be processed and investigated and the applicant is required to submit that information which has changed from the last application or renewal.

- (e) Automatic issuance and renewal of individual registration certificates for State certificate holders.

- (1) Any person who holds a valid State certificate shall only be required to provide the information required for an initial certificate of registration—individual.
- (2) Renewals shall be required in accordance with this chapter, but such renewals shall be automatic as long as the registered certificate holder maintains and provides a copy of his or her valid State certificate to the Permit Administrator within the renewal period.

- (f) The registered certificate holder—individual shall apply to the City to renew such registration within 30 days prior to expiration and shall apply to the City to amend the registration certificate within 30 days after any change in the registration information including, but not limited to, a change in work address. The Permit Administrator may extend

the registration certificate one time during a renewal period for up to 90 days for individuals who provide timely evidence of a renewal application to the CAMTC.

(§ 10, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.11. Revocation or suspension of registration certificate—Massage business.

(a) Registration certificates issued to a certified massage business or certified sole proprietorship shall be suspended or revoked upon any of the following grounds:

- (1) A registered certificate holder is no longer in possession of a current and valid State certification.
- (2) A non-certified owner, operator, corporation, or partner who owns 5% or more of the massage business has been convicted of a crime that could have caused denial of the registration certificate.
- (3) A registered certificate holder has made a material misrepresentation on the application for a registration certificate or renewal.
- (4) The registered certificate holder has engaged in conduct or operated the massage business or as a massage practitioner in a manner which violates any of the provisions of this chapter, any conditions of the permit, or any of the laws which would have been grounds for denial of the permit.
- (5) The owner or operator of a certified massage business employs or uses non-certified massage technicians to perform massage services.
- (6) Violations of this chapter or of California Business and Professions Code Section 4600, et seq., have occurred on the business premises.
- (7) The registered certificate holder has failed to comply with one or more of the health and safety requirements under this chapter.
- (8) The registered certificate holder has engaged in fraud, misrepresentation, or false statements in obtaining or maintaining a registration certificate.

(§ 11, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.12. Revocation or suspension of registration certificate—Individual.

(a) The Permit Administrator shall revoke or suspend an individual registration certificate upon the following grounds:

- (1) The certificate holder is no longer in possession of a current and valid State certification of CAMTC issued identification card;
- (2) The certificate holder has engaged in fraud, misrepresentation, or false statements in obtaining or maintaining a registration certificate.

(§ 12, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.13. Suspension or revocation hearing.

§ 6-2.13

§ 6-2.15

- (a) Notice of revocation or suspension shall contain a statement of the violation(s) which constitute the basis for suspension or revocation and information about the right to appeal and the necessity of an appeal as a prerequisite to litigation.
- (b) A hearing shall be scheduled upon not less than 10 calendar days' notice to the registered certificate holder.
- (c) Notice shall be given by personal service or certified or registered mail to the address shown on the last application or renewal. If reasonable attempts to otherwise serve are not successful, service may be provided by first class mail.
- (d) Service shall be deemed complete when personal service is made, when the certified letter is delivered, or when the decision is mailed by first class mail.
- (e) Unless otherwise specifically prohibited by law, the burden of proof is on the registered certificate holder/applicant in any hearing or other matter under this chapter. Formal rules of evidence shall not apply to the hearing.
- (f) If the registration certificate is suspended or revoked, the registration certificate shall be surrendered.

(§ 13, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.14. Appeals from suspension, revocation, or denial of registration certificate.

- (a) Appeals from any decision of the Permit Administrator under this chapter shall be in writing, shall clearly state the applicable basis for the appeal, and shall be filed with the City Clerk not later than 15 calendar days following the date of notice of the decision.
- (b) The City Clerk shall not accept an appeal, and no hearing shall be held, unless the appellant has paid a filing fee, in an amount set by resolution of the City Council, to defray the cost of such appeal. Any appeal without the timely payment of fees shall be considered to be untimely.
- (c) The scope of the appeal hearing pursuant to this section shall be limited to those issues raised by the appellant in the written appeal, as submitted pursuant to subsection (a) of this section.
- (d) Upon receipt of a timely filed appeal, the City Clerk shall set the matter for hearing before the City Manager. The hearing shall be held not fewer than 10 calendar days and not more than 30 calendar days from the date of the appeal request. The hearing may be continued from time to time upon the mutual consent of the parties.
- (e) The appellant shall be provided with notice of the time and place of the appeal hearing, as well as a copy of all relevant materials at least 15 calendar days prior to the hearing.

(§ 14, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.15. Reapplication after denial.

No reapplication for a registration certificate will be accepted within one year after an application or renewal is denied or a registration certificate is revoked, provided that, if a registration certificate is denied for the sole reason that a massage practitioner does not possess a CAMTC

certification, reapplication may occur after CAMTC certification has been attained.
(§ 15, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.16. Violations and penalties.

- (a) It is unlawful for any person to engage in conduct that violates any provision of this chapter, to engage in conduct which fails to meet the standards set forth in this chapter or to own, manage or operate a massage establishment that is not fully in compliance with the operation standards set forth in this chapter.
- (b) Any violation of this chapter shall be a misdemeanor unless, in the sole discretion of the City Prosecutor, it is charged as, or reduced to, an infraction. Citations and warning notices may be utilized as deemed appropriate to the circumstances by the enforcing personnel.
- (c) In addition to the above, any massage establishment operated, conducted, or maintained contrary to the provisions of this chapter shall be and is declared to be unlawful and a public nuisance and the City may, in addition to or in lieu of prosecuting a criminal action under this chapter, commence an action or actions, proceeding or proceedings, for the abatement, removal, and enjoinder thereof, in the manner provided by law, including any code enforcement procedures established pursuant to the laws of the State of California or the City of Redondo Beach.
- (d) Any violation of the provisions of this chapter shall constitute a separate offense for each and every day during which such violation is committed or continued.
(§ 16, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.17. Ancillary massage/bodywork services.

(§ 2, Ord. 2751 c.s., eff. December 7, 1995; repealed by § 17, Ord. 3101 c.s., eff. January 4, 2013)

§ 6-2.18. Restricted license.

(§ 2, Ord. 2751 c.s., eff. December 7, 1995; repealed by § 17, Ord. 3101 c.s., eff. January 4, 2013)



Administrative Report

J.4., File # PC24-2015

Meeting Date: 12/19/2024

TO: PLANNING COMMISSION
FROM: STEVEN GIANG, SENIOR PLANNER

TITLE

PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793)

EXECUTIVE SUMMARY

The applicant is requesting approval of a Conditional Use Permit to allow the operation of a 1-on-1 personal fitness training (Pump Fitness) business in an approximately 1,046 square foot tenant space within an existing multi-tenant commercial building. The business would occupy one existing suite that is currently vacant.

The proposed personalized fitness training service will assist clients through tailored workout programs, offering personal training with a focus on 1-on-1 training. The proposed fitness use is anticipated to have no more than 6 customers per day. The hours of operation will be from 6:00am to 9:00am, Monday through Friday. No interior improvements are proposed since the existing suite already has a singular room gym style layout which is adequate for the proposed use. The interior layout will consist of one (1) main workout room, a restroom, and two (2) backrooms for employee use and storage. One (1) personal trainer will be available to train one (1) customer at a time. No changes to the exterior of the building are proposed except for a new sign to be processed under a separate permit.

BACKGROUND

Existing Site, Surroundings, Zoning, and Project Description

The subject site is located on the east side of N. Catalina Avenue, approximately 300 feet south of N.

Gertruda Avenue, and is currently developed with a multi-tenant commercial center. The properties to the north and south are zoned Commercial (C-5A). The properties to the east (across N. Catalina Ave.) are zoned multi-family residential (RMD). The property to the west is zoned generating plant zone, also known as the AES site (P-GP).

The existing site is developed with a four-story, with an approximately 60,278 square-foot retail and office space; and a 215,000 square-foot warehouse storage facility on a 99,939 square-foot property. The proposed Pump Fitness studio would occupy one (1) existing tenant space, Suite 2022, within an approximate area of 1,046 square-feet. The building sits centrally on the property and is setback from the adjacent residentially zoned and developed properties by approximately 120 feet. The property is served by 271 parking spaces through a combination of on grade and rooftop parking. Vehicular access to/from the property is off of N. Francisca Avenue and N. Catalina Avenue.

There are no interior or exterior improvements to the building/suite proposed at this time except for a new sign advertising the proposed business to be processed under a separate permit.

ANALYSIS

Conditional Use Permit

Pursuant to Redondo Beach Municipal Code Sections 10-5.710, the proposed personal improvement use requires the issuance of a Conditional Use Permit with Planning Commission approval. The Conditional Use Permit serves to ensure that certain uses possessing unique characteristics will not adversely affect surrounding uses and properties, nor disrupt the orderly development of the community. For approval of the project, the Planning Commission must make the following findings in the affirmative. The following italicized text is the specific response to the individual criteria:

- a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The one-on-one fitness business use will be housed within an existing commercial building. The proposed use is in conformity with the General Plan land use designation of Commercial (C-5) which allows all general commercial uses, which include "personal and business services and similar uses". The parking spaces provided comply with the minimum number required by code.

- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.

The site is directly adjacent to an intersection at N. Catalina Ave., a major arterial street, and N. Francisca Ave. The access to the subject property is available off of N.

Francisca Ave. and N. Catalina Ave. Traffic entering the site moving northbound on Catalina Ave will be able to access the site via a dedicated left turn lane thus allowing traffic to continue to flow north. Vehicles exiting the site can access both southbound and northbound Catalina Ave at the intersection of N. Francisca and Catalina Ave.

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The personal fitness use will operate within an existing tenant space with a use that is inherently silent due to the use being focused on one-on-one client/instructor communications. Only a small stereo will be used for occasional music during training. Additionally, there is an approximate 120-foot distance to the adjacent residentially zoned properties across Catalina Ave which will further mitigate any potential noise impacts. Adequate parking exists on site for the personal fitness use and no other exterior changes are planned.

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:
- a. Additional setbacks, open spaces, and buffers;
 - i. *The existing setbacks comply with applicable RBMC development standards as the adjacent uses east of the site are residentially zoned and sit a distance of approximately 120 feet away.*
 - b. Provision of fences and walls;
 - i. *Not applicable. The existing wall between the subject property and adjacent uses is 5 feet in height. No new fences or walls are proposed as a part of this project scope.*
 - c. Street dedications and improvements, including service roads and alleys;
 - i. *A change in use does not trigger street dedications. The existing right-of-way is 80'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the subject property (N. Catalina Avenue) are consistent with City street improvement standards.*
 - d. The control of vehicular ingress, egress, and circulation;
 - i. *Existing two-way access driveway complies with Zoning Ordinance and Public Works standards.*
 - e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. *Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
 - f. Provision of landscaping and the maintenance thereof;
 - i. *Existing compliant landscaping to remain.*

- g. The regulation of noise, vibration, odor and the like;
 - i. *The proposed use is entirely indoors and will not produce any excessive noise, vibration, or odor.*
- h. Requirements for off-street loading facilities;
 - i. *As a personal fitness use with no retail operations, loading facilities can be accommodated by small vans that utilize the immediate adjacent ground floor parking lot.*
- i. A time period within which the proposed use shall be developed;
 - i. *Any future proposed tenant improvement will comply with required building construction and inspections days/hours. No physical improvement are proposed with this application.*
- j. Hours of permitted operation and similar restrictions;
 - i. *Hours of operation are proposed to be 6:00AM to 9:00AM, Monday through Friday only. This will further reduce any potential parking concerns as the business's peak times will be during the off-peak times (mornings) of the other businesses. Additionally, the business as proposed only generates the need for two (2) required parking spaces.*
- k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. *Not applicable. No billboards are located on this subject property.*
- l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. *The conditions of approval for this project are standard for small scale personal improvement facilities. Staff does not anticipate any of the typical issues associated with type of use that concern noise and/or parking as the business is not proposing amplified music or large classes. This small-scale fitness business is consistent with the City's General Plan in that it provides a unique fitness opportunity for the residents of Redondo Beach.*

Additionally, the project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of commercial services which provide for the needs of current and future residents. The personal fitness use will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce additional noise and there is an existing 120-foot distance from the adjacent residential uses to the east. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-5.1802. No new landscaping is required. As conditioned, the fitness business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are

necessary for the proposed fitness business use. Additional conditions of approval have been added that require the following:

- That the business be permitted to operate between the hours of 6:00am to 9:00am, five (5) days a week;
- Maximum number of one (1) employee and 1-2 clients in the personal fitness studio at any given time; and
- The use shall occur exclusively within the interior of the tenant space.

Parking and Operations

In addition to the analysis of the specific use regulations applicable to this land use type, staff conducted additional analysis concerning parking to ensure compliance with the RBMC standards and potential “actual” parking conditions.

Approximately one-hundred and thirty-six (136) parking spaces are required based on the existing uses per applicable municipal code parking and a total of two-hundred and seventy-one (271) spaces exist on the subject property. Per Municipal Code Section 10-5.1706 related to commercial parking regulations, a personal improvement use requires a parking ratio of one (1) parking space per instructor and one (1) space per every two (2) students. The proposed use per this operation will use no more than 2 parking spaces at a time since it is focused on 1-on-1 training with 1 employee and 1 client. Based on the proposed use and the requirements of the RBMC Zoning Code, there will be ample parking on site for the proposed use and the parking will not conflict with the required parking of the other tenants.

Based on a review of the application, business operations, and the plans by the Planning Division, approval of the project is recommended.

ENVIRONMENTAL STATUS

The proposed project is Categorically Exempt from the preparation of environmental analyses, pursuant to Sections 15301(a) (Existing Facilities) of the California Environmental Quality Act (CEQA). This section exempts projects involving minor interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and no interior renovations within the existing building are proposed, therefore the project is consistent with those items specified as exempt under this section.

CONCLUSION

Staff recommends that the Planning Commission approve the Exemption Declaration and grant the Conditional Use Permit subject to the findings and conditions contained within the attached draft resolution.

Prepared by:

Approved by:

Steven Giang, AICP
Senior Planner

Sean Scully
Planning Manger

Attachments

811 N. Catalina Ave. - Exemption Declaration
811 N. Catalina Ave.- Draft Resolution
811 N. Catalina Ave.- Plans



CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: December 12, 2024

PROJECT ADDRESS: 811 N. Catalina Avenue – Pump Fitness

PROPOSED PROJECT: CONSIDERATION OF AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793)

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

Section 15301(a) of the Guidelines for Implementation of the California Environmental Quality Act (CEQA) states, in part, that the minor alteration or use of an existing structure involving no expansion does not have a significant effect upon the environment and is categorically exempt from environmental review. This finding is supported by the fact that the proposed project consists of a new business combining and occupying three adjacent tenant spaces within an existing commercial building. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

The subject site is not located within an area designated as an environmental resource of hazardous or critical concern, or within the California Coastal Zone, or within an officially designated, state scenic highway, or within a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.

Steven Giang
Senior Planner

RESOLUTION NO. 2024-12-PCR-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793)

WHEREAS, an application was filed on behalf of the owner and tenant of property located at 811 N. Catalina Avenue for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service within an existing multi-tenant commercial building on property located in a Commercial (C-5A) zone;

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinance by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet of the exterior boundaries of the subject property; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other interested parties at the public hearing held on the 19th day of December, 2024 with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-5.710 of the Redondo Beach Municipal Code, personal improvement services are conditionally permitted within the Commercial (C-5A) zone.
2. In accordance with Section 10-5.2506(b) of the Redondo Beach Municipal Code, a Conditional Use Permit is in accord with the criteria set forth therein for the following reasons:
 - a) The site for the proposed use shall be in conformity with the General Plan, and when located within the Artesia and Aviation Corridors Area Plan area shall be consistent with the intent of the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and shall be adequate in size and shape to accommodate such use and all setbacks, spaces, walls and fences, parking, loading, landscaping, and other features required by this chapter to adjust such use with the land and uses in the neighborhood.

The proposed personal improvement service is not located within the Artesia and Aviation Corridors Area Plan. The one-on-one fitness business

use will be housed within an existing commercial building. The proposed use is in conformity with the General Plan land use designation of Commercial (C-5) which allows all general commercial uses, which include “personal and business services and similar uses”. The parking spaces provided comply with the minimum number required by code.

- b) The site for the proposed use shall have adequate access to a public street or highway of adequate width and pavement to carry the quantity and kind of traffic generated by the proposed use.

The site is directly adjacent to an intersection at N. Catalina Ave., a major arterial street, and N. Francisca Ave. The access to the subject property is available off of N. Francisca Ave. and N. Catalina Ave. Traffic entering the site moving northbound on Catalina Ave will be able to access the site via a dedicated left turn lane thus allowing traffic to continue to flow north. Vehicles exiting the site can access both southbound and northbound Catalina Ave at the intersection of N. Francisca and Catalina Ave.

- c) The proposed use shall have no adverse effect on abutting property or the permitted use thereof.

The personal fitness use will operate within an existing tenant space with a use that is inherently silent due to the use being focused on one-on-one client/instructor communications. Only a small stereo will be used for occasional music during training. Additionally, there is an approximate 120-foot distance to the adjacent residentially zoned properties across Catalina Ave which will further mitigate any potential noise impacts. Adequate parking exists on site for the personal fitness use and no other exterior changes are planned.

- d) The conditions stated in the resolution or design considerations integrated into the project shall be deemed necessary to protect the public health, safety, and general welfare. Such conditions may include, but shall not be limited to:

- a. Additional setbacks, open spaces, and buffers;

i. The existing setbacks comply with applicable RBMC development standards as the adjacent uses east of the site are residentially zoned and sit a distance of approximately 120 feet away.

- b. Provision of fences and walls;

i. Not applicable. The existing wall between the subject property and adjacent uses is 5 feet in height. No new fences or walls are proposed as a part of this project scope.

- c. Street dedications and improvements, including service roads and alleys;

i. A change in use does not trigger street dedications. The existing right-of-way is 80'. If redevelopment were to occur at the subject property an additional 10' dedication would be required of the project. Improvements along the frontage of the

subject property (N. Catalina Avenue) are consistent with City street improvement standards.

- d. The control of vehicular ingress, egress, and circulation;
 - i. Existing two-way access driveway complies with Zoning Ordinance and Public Works standards.*
- e. Sign requirements or a sign program, consistent with the Sign Regulations Criteria in Section 10-2.1802;
 - i. Signage will be required to comply with the City's signage regulations and will be processed under a separate permit.*
- f. Provision of landscaping and the maintenance thereof;
 - i. Existing compliant landscaping to remain.*
- g. The regulation of noise, vibration, odor and the like;
 - i. The proposed use is entirely indoors and will not produce any excessive noise, vibration, or odor.*
- h. Requirements for off-street loading facilities;
 - i. As a personal fitness use with no retail operations, loading facilities can be accommodated by small vans that utilize the immediate adjacent ground floor parking lot.*
- i. A time period within which the proposed use shall be developed;
 - i. Any future proposed tenant improvement will comply with required building construction and inspections days/hours. No physical improvement are proposed with this application.*
- j. Hours of permitted operation and similar restrictions;
 - i. Hours of operation are proposed to be 6:00AM to 9:00AM, Monday through Friday only. This will further reduce any potential parking concerns as the business's peak times will be during the off-peak times (mornings) of the other businesses. Additionally, the business as proposed only generates the need for two (2) required parking spaces.*
- k. Removal of existing billboards on the site, subject to the findings required by Section 10-2.2006(b); and
 - i. Not applicable. No billboards are located on this subject property.*
- l. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter, the Artesia and Aviation Corridors Area Plan as adopted by resolution of the City Council, and the General Plan.
 - i. The conditions of approval for this project are standard for small scale personal improvement facilities. Staff does not anticipate any of the typical issues associated with type of use that concern noise and/or parking as the business is not proposing amplified music or large classes. This small-scale fitness business is consistent with the City's General Plan in that it provides a unique fitness opportunity for the residents of Redondo Beach.*

ii. *Additionally, the project is consistent with the Comprehensive General Plan of the City. Policy 1.3.1 of the Land Use Element allows for the development of commercial services which provide for the needs of current and future residents. The personal fitness use will be of service to local residents. No additional buffers or setbacks are warranted as the use is not expected to produce additional noise and there is an existing 120-foot distance from the adjacent residential uses to the east. No dedications or easements are required. No new fences or walls are required. Proposed signage shall require a separate permit and shall be consistent with the Sign Regulations Criteria in Section 10-5.1802. No new landscaping is required. As conditioned, the fitness business use is not anticipated to generate unusual noise, vibration, or odors or additional traffic. No loading facilities are necessary for the proposed fitness business use. Additional conditions of approval have been added that require the following:*

- *That the business be permitted to operate between the hours of 6:00am to 9:00am, five (5) days a week;*
- *Maximum number of one (1) employee and 1-2 clients in the personal fitness studio at any given time; and*
- *The use shall occur exclusively within the interior of the tenant space.*

3. The plans, specifications, and drawings submitted with the application have been reviewed by the Planning Commission.
4. Pursuant to Chapter 3, Title 10 of the Redondo Beach Municipal Code, the project is exempt from the preparation of environmental documents pursuant to Section 15301(a) Existing Facilities of the Guidelines for Implementation of the California Environmental Quality Act (CEQA), which exempts interior and exterior alterations of existing structures including interior partitions, plumbing, and electrical, with no expansion, from environmental review. The project does not propose any floor area expansion, and work will be limited to interior renovations within the existing building, consistent with those items specified as exempt under this section.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. Based on the above findings, the Planning Commission does hereby approve the California Environmental Quality Act Exemption Declaration and grant the Conditional Use Permit, pursuant to the plans, specifications, drawings, and applications considered by the Planning Commission at its meeting on the 19th day of December, 2024.

Section 2. This permit shall be void in the event that the applicant does not comply with the following conditions:

1. The approval granted herein is for the operation of a personal improvement service (fitness studio) occupying a 1,046 square foot commercial tenant space in an existing multi-tenant commercial building. The fitness studio will offer 1-on-1 training sessions, one customer at a time. The fitness studio shall be maintained and operated in substantial conformance with the application and plans reviewed and approved by the Planning Commission at its meeting of December 19, 2024.
2. The fitness studio hours of operation shall be from 6:00am to 9:00am Monday through Friday.
3. There shall be a maximum of one (1) instructor and one (1) client at any given time.
4. All aspects of the fitness training shall occur exclusively within the interior of the tenant space.
5. A copy of this Resolution shall be copied onto a sheet in the construction plan set submitted to the Building and Safety Division.
6. The interior tenant improvement shall require submittal of full architectural and structural drawings and documents to the City's Building and Safety Division for plan check. No work shall commence prior to the full approval of plans by all required City divisions with all required permits issued.
7. Signage plans shall be submitted for approval by the Planning Division under a separate permit. All signage shall comply with the commercial Sign Regulations as specified in the Zoning Code, Title 10, Chapter 2, Article 6.
8. Construction work shall occur only between the hours of 7 a.m. and 6 p.m. Monday through Friday, between 9 a.m. and 5 p.m. on Saturday, with no work occurring on Sunday and holidays or observance of holidays.
9. The Community Development Department is authorized to approve minor changes.
10. In the event of a disagreement in the interpretation and/or application of these conditions, the issue shall be referred back to the Planning Commission for a decision prior to the issuance of a building permit. The decision of the Planning Commission shall be final.
11. The Planning Commission shall retain jurisdiction of the matter for the purpose of enforcing compliance with these conditions and for the purpose of modification thereof as circumstances may subsequently indicate.

Section 3. The approved Conditional Use Permit shall become null and void if not vested within 36 months after the Planning Commission’s approval.

Section 4. Prior to seeking judicial review of this resolution, the applicant is required to appeal to the City Council. The applicant has ten (10) days from the date of adoption of this resolution in which to file the appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED AND ADOPTED this 19th day of December, 2024.

Chair
Planning Commission
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Sean Scully, Planning Manager of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2024-12-PCR-** was duly passed, approved, and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 19th day of December, 2024 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Sean Scully
Planning Manager

APPROVED AS TO FORM:

City Attorney's Office

27 October 2024

Pump Fitness
811 N. Catalina Ave.
Suite 2022
Redondo Beach, CA 90277
310-614-1332



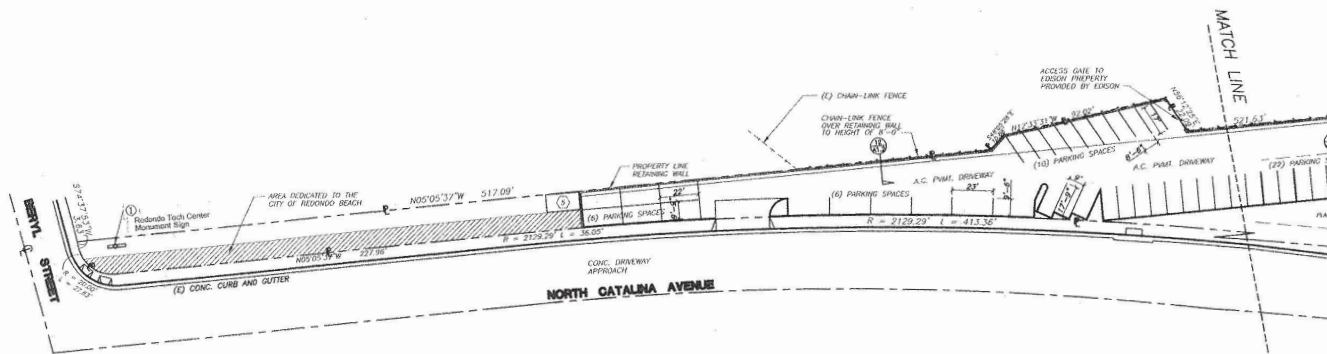
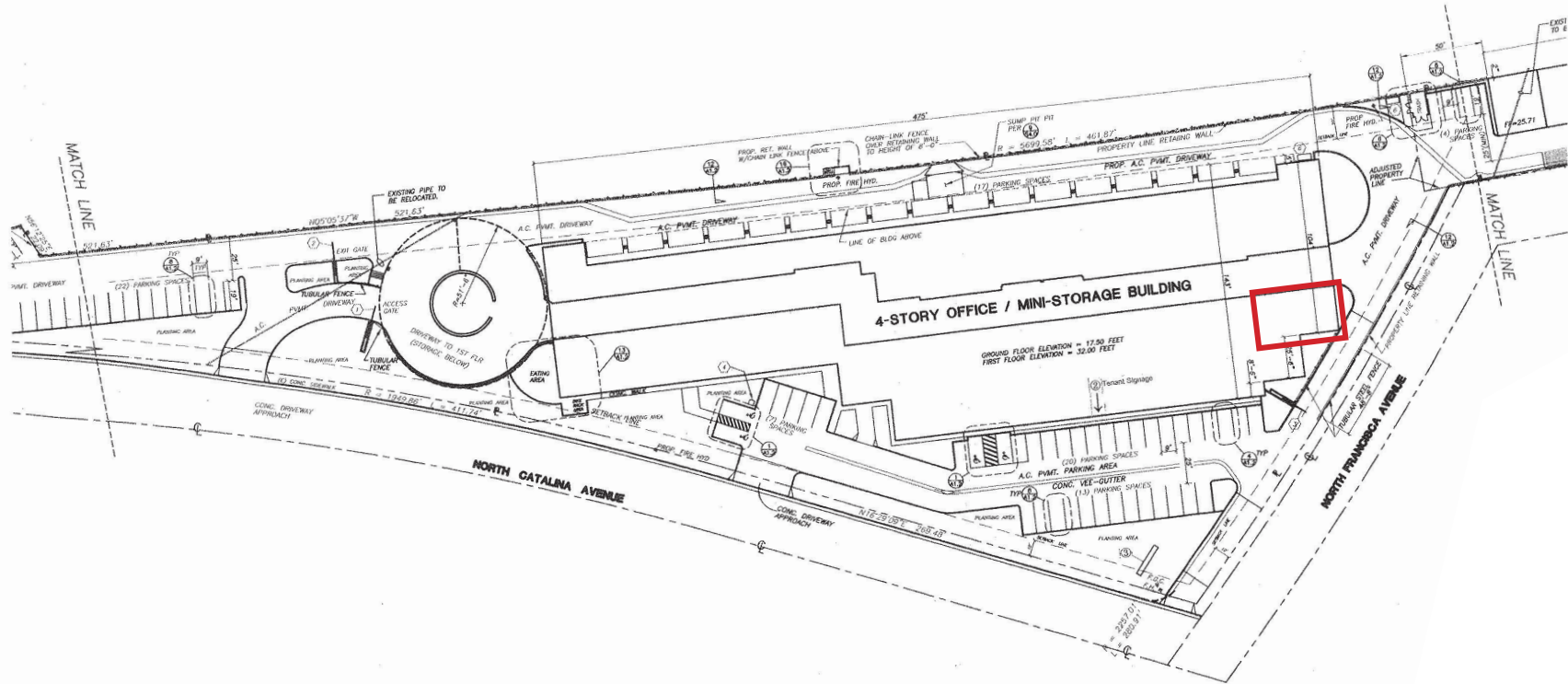
Pump Fitness CUP Site Location Information as Requested by the City of Redondo Beach. Lot Size: 2.2 Acres / Suite Size: 1,046 sq.ft.

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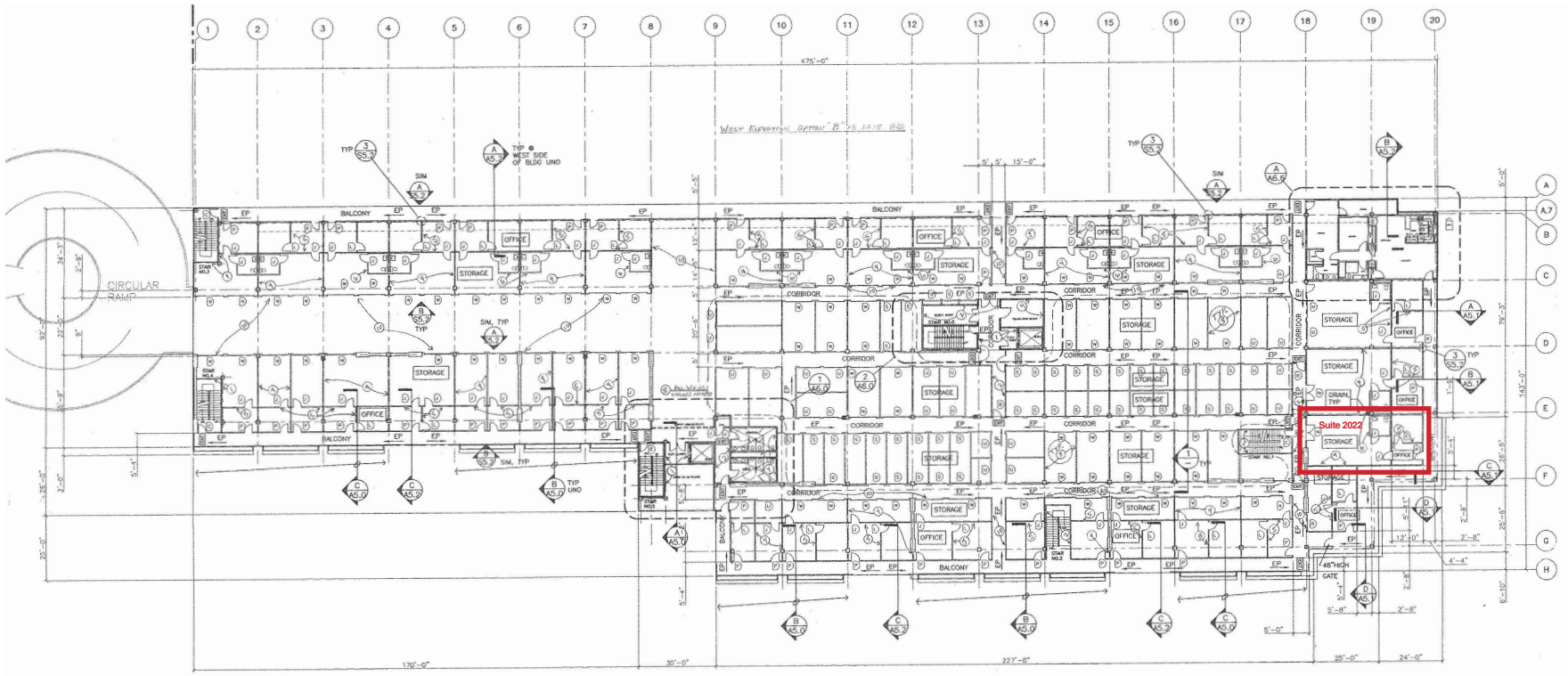
Site Plan

- Suite size: 1,046 sq.ft.
- Suite Location indicated by red box and red text on the North end of the plan



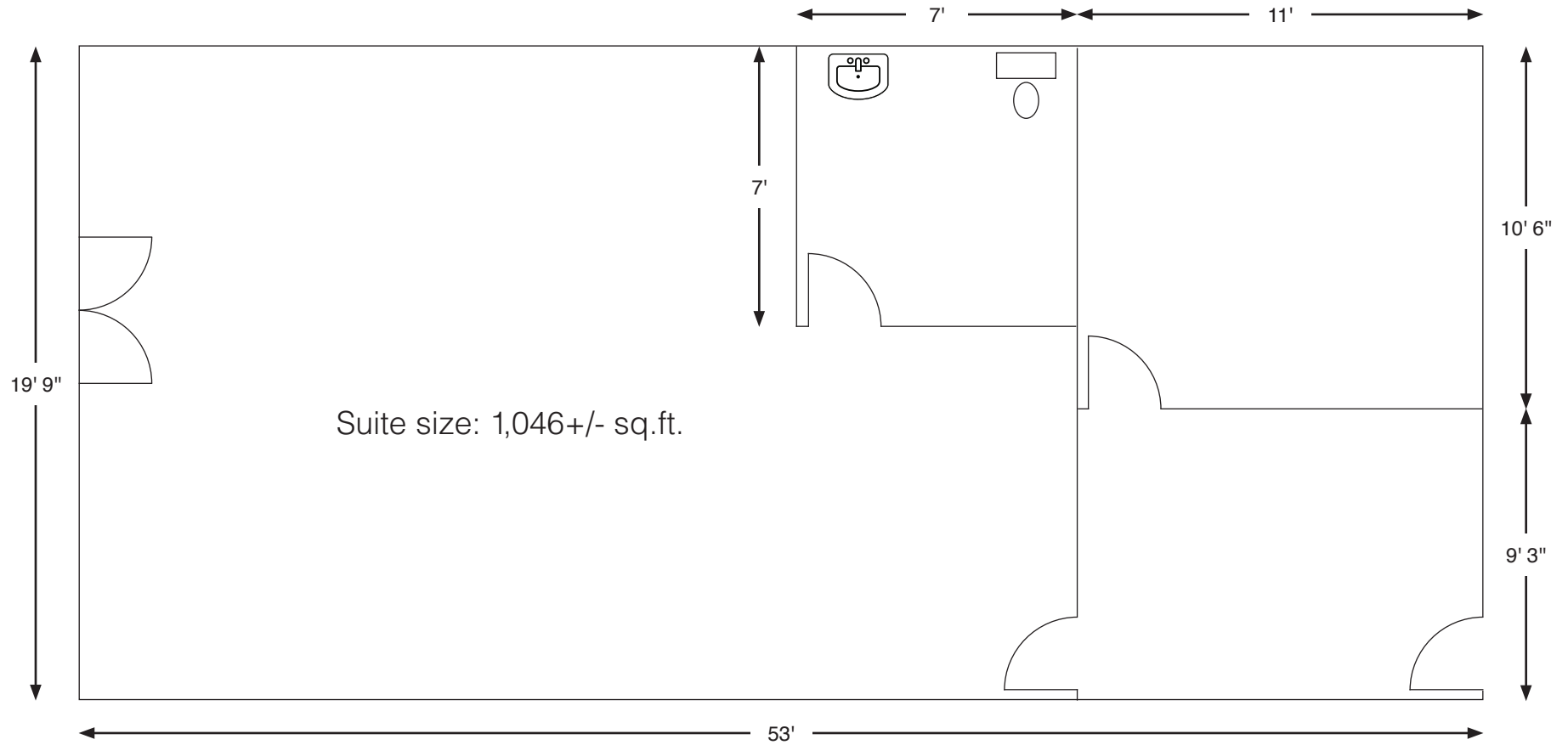
Suite Location

- Indicted by red box and red text on the North end of the plan



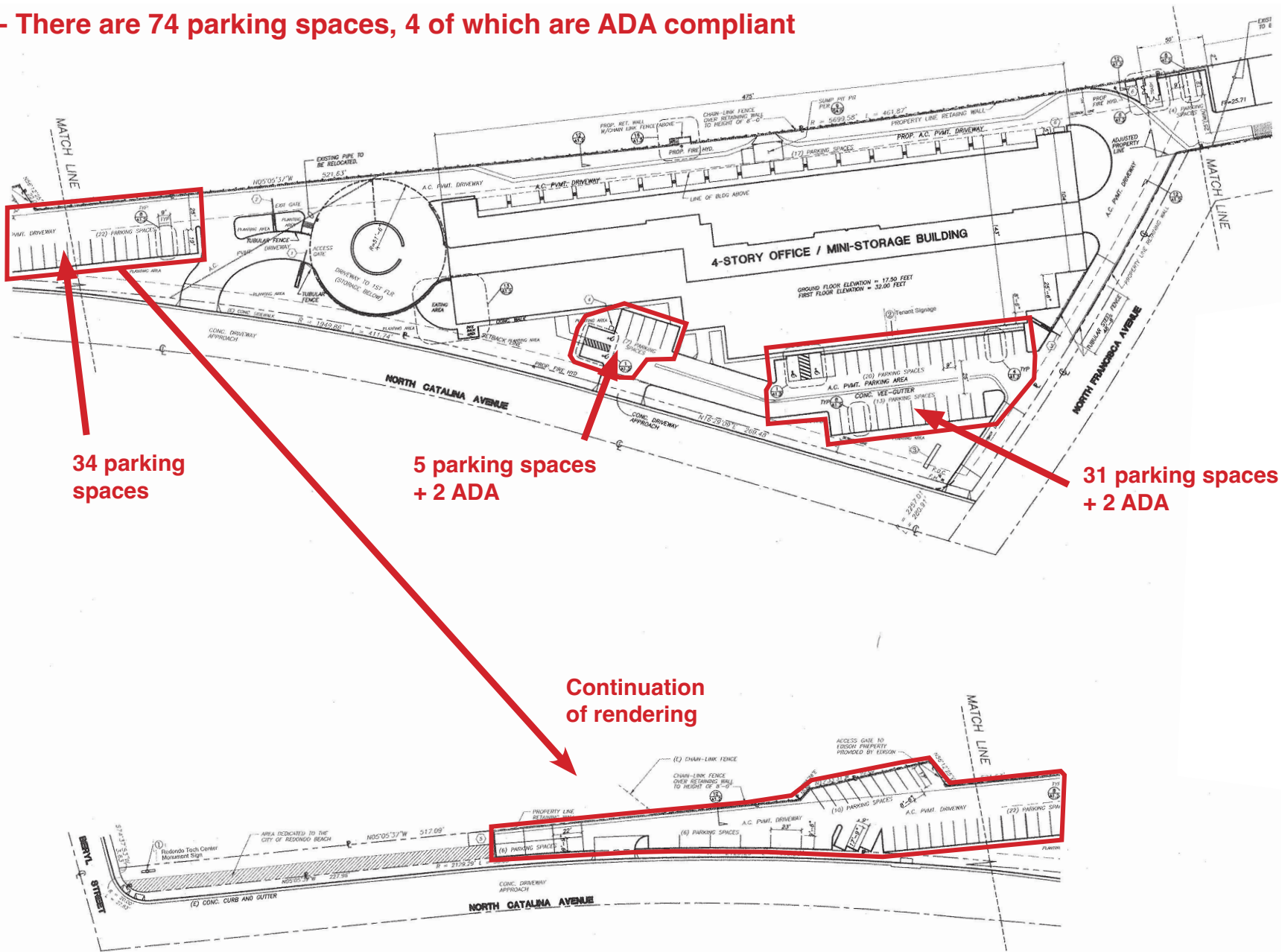
Suite 2022 Floor Plan

- Suite size: 1,046+/- sq.ft.



Parking Information

- There are 74 parking spaces, 4 of which are ADA compliant



Architecture

- Per the request of Steve Giang in the corrections letter, below is a photo of the building looking southwest.
- 811 N. Catalina Ave, Redondo Beach CA 90277





Administrative Report

L.1., File # PC24-2013

Meeting Date: 12/19/2024

TO: PLANNING COMMISSION
FROM: SEAN SCULLY, PLANNING MANAGER

TITLE
PLANNING COMMISSION NOMINATIONS AND ELECTION OF CHAIRPERSON AND SECRETARY
FOR THE TERM OF DECEMBER 2024 THROUGH SEPTEMBER 2025

RECOMMENDATION

Staff recommendation:

1. The Chairperson opens nominations for positions of Chair and Secretary
2. The Chairperson closes nominations
3. The Chairperson calls for a motion
4. New Officers assume seats