

**CITY OF REDONDO BEACH
PLANNING COMMISSION AGENDA
Thursday, June 19, 2025**

415 DIAMOND STREET, REDONDO BEACH

CITY COUNCIL CHAMBER

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 PM

**ALL PUBLIC MEETINGS HAVE RESUMED IN THE COUNCIL CHAMBER.
MEMBERS OF THE PUBLIC MAY PARTICIPATE IN-PERSON, BY ZOOM,
EMAIL OR eCOMMENT.**

Planning Commission meetings are broadcast live through Spectrum Cable, Channel 8, and Frontier Communications, Channel 41. Live streams and indexed archives of meetings are available via internet. Visit the City's office website at www.Redondo.org/rbtv.

TO WATCH MEETING LIVE ON CITY'S WEBSITE:

<https://redondo.legistar.com/Calendar.aspx>

*Click "In Progress" hyperlink under Video section of meeting

TO WATCH MEETING LIVE ON YOUTUBE:

<https://www.youtube.com/c/CityofRedondoBeachIT>

TO JOIN ZOOM MEETING (FOR PUBLIC COMMENT ONLY):

Register in advance for this meeting:

https://www.zoomgov.com/webinar/register/WN__s648-MDRriOtr4nSvUbYg#/registration

After registering, you will receive a confirmation email containing information about joining the meeting.

If you are participating by phone, be sure to provide your phone # when registering. You will be provided a Toll Free number and a Meeting ID to access the meeting. Note; press # to bypass Participant ID. Attendees will be muted until the public participation period is opened. When you are called on to speak, press *6 to unmute your line. Note, comments from the public are limited to 3 minutes per speaker.

eCOMMENT: COMMENTS MAY BE ENTERED DIRECTLY ON WEBSITE AGENDA PAGE:

<https://redondo.granicusideas.com/meetings>

- 1) Public comments can be entered before and during the meeting.
- 2) Select a SPECIFIC AGENDA ITEM to enter your comment;
- 3) Public will be prompted to Sign-Up to create a free personal account (one-time) and then comments may be added to each Agenda item of interest.
- 4) Public comments entered into eComment (up to 2200 characters; equal to approximately 3 minutes of oral comments) will become part of the official meeting record. Comments may be read out loud during the meeting.

EMAIL: TO PARTICIPATE BY WRITTEN COMMUNICATION WITH ATTACHED DOCUMENTS BEFORE 3PM DAY OF MEETING:

Written materials that include attachments pertaining to matters listed on the posted agenda received after the agenda has been published will be added as supplemental materials under

the relevant agenda item. PlanningRedondo@redondo.org

REGULAR MEETING OF THE PLANNING COMMISSION - 6:30 PM

A. CALL TO ORDER

B. ROLL CALL

C. SALUTE TO THE FLAG

D. APPROVE ORDER OF AGENDA

E. BLUE FOLDER ITEMS - ADDITIONAL BACK UP MATERIALS

Blue folder items are additional back up material to administrative reports and/or public comments received after the printing and distribution of the agenda packet for receive and file.

E.1. [RECEIVE AND FILE BLUE FOLDER ITEMS- Placeholder for items received after the release of the agenda](#)

F. CONSENT CALENDAR

Business items, except those formally noticed for public hearing, or those pulled for discussion are assigned to the Consent Calendar. The Commission Members may request that any Consent Calendar item(s) be removed, discussed, and acted upon separately. Items removed from the Consent Calendar will be taken up under the "Excluded Consent Calendar" section below. Those items remaining on the Consent Calendar will be approved in one motion. The Chair will call on anyone wishing to address the Commission on any Consent Calendar item on the agenda, which has not been pulled by the Commission for discussion. Each speaker will be permitted to speak only once and comments will be limited to a total of three minutes.

F.1. [APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF JUNE 19, 2025.](#)

F.2. [APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF AUGUST 15, 2024 AND DECEMBER 19, 2024.](#)

G. EXCLUDED CONSENT CALENDAR ITEMS

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

This section is intended to provide members of the public with the opportunity to comment on any subject that does not appear on this agenda for action. This section is limited to 30 minutes. Each speaker will be afforded three minutes to address the Commission. Each speaker will be permitted to speak only once. Written requests, if any, will be considered first under this section.

H.1. [RECEIVE AND FILE WRITTEN COMMENTS ON NON-AGENDA ITEMS](#)

I. EX PARTE COMMUNICATION

This section is intended to allow all officials the opportunity to reveal any disclosure or ex parte communication about the following public hearings.

J. PUBLIC HEARINGS

J.1. [DISCUSSION, CONSIDERATION, AND POSSIBLE ACTION ON AN EXEMPTION DECLARATION AND VARIANCE FOR A REDUCED FRONT YARD SETBACK, REDUCED SIDE YARD SETBACK, AND REDUCED OUTDOOR LIVING SPACE FOR FIRST AND SECOND-STORY ADDITIONS TO AN EXISTING TWO-STORY](#)

SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED AT 811 SPENCER STREET IN A LOW-DENSITY MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE.

RECOMMENDATION:

1. Open public hearing, receive and file all documents and correspondence on the proposed project;
2. Accept all testimony from staff, applicant, and the public and deliberate;
3. Close public hearing;
4. Adopt a Resolution by title only approving an Exemption Declaration and granting a Variance for a reduced front yard setback, reduced side yard setback, and reduced outdoor living space for first and second-story additions to an existing two-story single-family residence on property located within a Low-Density Multiple-Family Residential (R-3) Zone;

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH APPROVING AN EXEMPTION DECLARATION AND VARIANCE FOR A REDUCED FRONT YARD SETBACK, REDUCED SIDE YARD SETBACK, AND REDUCED OUTDOOR LIVING SPACE FOR FIRST AND SECOND-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED AT 811 SPENCER STREET IN A LOW-DENSITY MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE. (CASE NO. 20250105)

K. ITEMS CONTINUED FROM PREVIOUS AGENDAS

L. ITEMS FOR DISCUSSION PRIOR TO ACTION

M. ITEMS FROM STAFF

N. COMMISSION MEMBER ITEMS AND FUTURE COMMISSION AGENDA TOPICS

O. ADJOURNMENT

The next meeting of the Redondo Beach Planning Commission will be a regular meeting to be held at 6:30 p.m. on July 17, 2025, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach.

It is the intention of the City of Redondo Beach to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting you will need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact the City Clerk's Office at (310) 318-0656 at least forty-eight (48) hours prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible. Please advise us at that time if you will need accommodations to attend or participate in meetings on a regular basis.

An agenda packet is available 24 hours at www.redondo.org under the City Clerk.



Administrative Report

E.1., File # PC25-0916

Meeting Date: 6/19/2025

TITLE

RECEIVE AND FILE BLUE FOLDER ITEMS- Placeholder for items received after the release of the agenda



Administrative Report

E.1., File # PC25-0916

Meeting Date: 6/19/2025

TITLE

RECEIVE AND FILE BLUE FOLDER ITEMS- Placeholder for items received after the release of the agenda



Administrative Report

F.1., File # PC25-0917

Meeting Date: 6/19/2025

TITLE

APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF JUNE 19, 2025.



Administrative Report

F.1., File # PC25-0917

Meeting Date: 6/19/2025

TITLE

APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF JUNE 19, 2025.



Community Development
Planning Division

415 Diamond Street, P.O. Box 270
Redondo Beach, California 90277-0270
www.redondo.org

tel 310 318-0637
fax 310 372-8021

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

AFFIDAVIT OF POSTING

In compliance with the Brown Act, the following materials have been posted at the locations indicated below.

Legislative Body	Planning Commission
Posting Type	Regular Meeting Agenda
Posting Locations	415 Diamond Street, Redondo Beach, CA 90277 ✓ Bulletin Board Adjacent to Council Chambers ✓ City Clerk's Office, Door 1
Meeting Date & Time	Monday June 19, 2025 6:30 p.m.

As Planning Technician of the City of Redondo Beach, I declare, under penalty of perjury, the document noted above was posted at the date displayed below.

Daisy Canales, Planning Technician

Date: June 12, 2025



Administrative Report

F.2., File # PC25-0918

Meeting Date: 6/19/2025

TITLE

APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF AUGUST 15, 2024 AND DECEMBER 19, 2024.



Administrative Report

F.2., File # PC25-0918

Meeting Date: 6/19/2025

TITLE

APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF AUGUST 15, 2024 AND DECEMBER 19, 2024.



Minutes Regular Meeting
Planning Commission
September 19, 2024

**CITY OF REDONDO BEACH
PLANNING COMMISSION MINUTES
Thursday, September 19, 2024**

REGULAR MEETING OF THE PLANNING COMMISSION – 6:30 PM

A. CALL TO ORDER

A Regular Meeting of the Planning Commission, held in the Redondo Beach Council Chambers at 415 Diamond Street, Redondo Beach, California was called to order by Chairperson Hazeltine.

B. ROLL CALL

Commissioners Present: Light, Craig, Gaddis, Conroy, Lamb, Chairperson Hazeltine, Commissioner Boswell (Arrived 6:32 PM)

Commissioners Absent: None

Officials Present: Marc Wiener, Community Development Director
Jamaal Brown, Planning Analyst

C. SALUTE TO THE FLAG

Chairperson Hazeltine led in the Salute to the Flag.

D. APPROVE ORDER OF AGENDA

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to approve the order of the agenda as presented.

The motion carried 6-0-1 by voice vote. Commissioner Boswell was absent.

E. BLUE FOLDER ITEMS – ADDITIONAL BACK UP MATERIALS

E.1. RECEIVE AND FILE BLUE FOLDER ITEMS

Chairperson Hazeltine reported there were some Blue Folder items in two different attachments.

Commissioner Lamb stated she is aware of the communications in the Blue Folder items and other communications that have been presented to members of the staff; stated this meeting is not a quasi-judicial meeting nor is the Commission reviewing a project; reported she had conferred with the City Attorney, and she will not be recusing herself from the meeting.

Motion by Commissioner Gaddis, seconded by Chair Hazeltine, to receive and file the Blue Folder Items.

The motion carried 7-0.

Commissioner Boswell joined the meeting at 6:32 PM.

F. CONSENT CALENDAR

F.1. APPROVE THE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION MEETING OF SEPTEMBER 19, 2024

Analyst Brown reported no one online and no one on Zoom.

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to approve the Consent Calendar.

Motion carried 7-0 by voice vote.

G. EXCLUDED CONSENT CALENDAR ITEMS - None

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

Lori Zarenski, 3221 Gibson Place, stated she was there to express her strong opposition for Beach Cities Health District's proposed use of Redondo Beach tax dollars on a horrible overdevelopment project; felt the project would be inconsistent and detrimental for the quality of life for the Redondo Beach residents due to the dust, contaminants, the threat of fuel storage and stress created by such a long-term project; pointed out that the project is not for the benefit of the Beach Cities residents; Googled the Beach Cities mission statement and highlighted that they speak of enhancing the community health of the Beach Cities' residents and to prevent health problems to optimize health and serve the community; listed integrity, ethics, problem solving and transparency and to comply with government codes; stated she does not feel this project follows their mission statement and their purpose in the Redondo Beach community.

Motion by Chairperson Craig, seconded by Commissioner Gaddis, to extend Lori Zarenski's time for an extra minute.

Motion carried 7-0 by voice vote.

Analyst Brown reported one e-attendee wanting to speak.

Mark Nelson, representing stopbchd.com, stated the following is a comment regarding a potential BCHD CUP and/or PCDR for the 100% privately-owned and operated PMB facility that's proposed for the public land on the prospect site; reported that, in 2022, they brought forward a draft CUP that has not been processed yet; in December 2020, his group provided comments to Council, Commission and BCHD on how the existing 312,000 foot facility had damaged property values of the surrounding residential area; stated the current damage estimate exceeds \$150 million in reduced value based on econometric models, and the proposed 793,000 sq ft Beach Cities facility will increase those damaged levels; also in December 2020, they provided an analysis of the properties zoned P-CF, complete with site photos, and stated that it is similar to what the Commission will see tonight; mentioned that analysis concluded that Beach Cities was inconsistent with all other P-CF facilities in height, square feet, and density; stated in December 2021, his group issued a "white paper" detailing the 80% to 95% non-resident usage of the proposed Beach Cities facility, 80% non-resident tenants and assisted living according to Beach Cities' MDS report and gave more details on the report; stated Beach Cities is ignoring that funding requirement and spending 74% of Alcove resources on less than 20% of the SPA 8 service area; spoke of it not being sustainable and in violation of the funding requirements; reported they are currently petitioning the state for enforcement of the socioeconomic and racial diversity requirements; stated the Beach Cities PACE facility will be 95% non-resident enrollees, according to the National PACE Association analysis; noted that based on unbiased surveys of LA County Health 2023, Beach Cities \$15 million annual spend does not result in improved health outcomes for district residents; mentioned they will provide all the documentation to support his statements in a separate communication.

Nancy Skiba, District 4 and Public Safety Commissioner, hoped that all Redondo Beach residents will support and vote for the Police and Fire Station renovation and rebuilding.

Analyst Brown reported no other e-attendees to speak.

H.1. RECEIVE AND FILE WRITTEN COMMENTS ON NON-AGENDA ITEMS

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to receive and file written comments on non-agenda items.

Motion carried 7-0 by voice vote.

I. EX PARTE COMMUNICATION

Commissioner Lamb reported speaking with Planning Manager Sean Scully in regards to the DEIR, General Plan and Administrative Report questions and spoke to Commissioner

Hazeltine regarding meeting process, land use regulations, General Plan and the draft EIR; stated, for this meeting, she has received emails and phone calls from members of the public and the main concern is increasing density and intensity of land use throughout the City.

Chairperson Hazeltine reported speaking with Planning Manager Sean Scully, Commissioner Lamb, Mayor Light and the general public.

Commissioner Lamb added that she also spoke with Councilmember Nehrenheim.

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to reopen or maintain open the public hearing.

Motion carried 7-0 by voice vote.

J. PUBLIC HEARINGS

J.1. PUBLIC HEARING TO consider, discuss, receive public input and make recommendations to the City Council on updates to five (5) General Plan Elements (Land Use, Open Space & Conservation, Noise, and Safety), associated amendments to the City's Zoning Ordinances and Local Coastal Program, and certification of the Environmental Impact Report

CONTACT: SEAN SCULLY PLANNING MANAGER

Planning Manager Scully reported this is their fourth meeting and third public hearing on the matter; announced that Mark Teague (principal from PlaceWorks) and Jennifer Kelley (the project manager) were in attendance on Zoom and Halley Grundy, also from PlaceWorks was there that evening, and Diana Varat (Outside Legal Counsel), via Zoom; provided a slide presentation that included:

- Announcements – Schedule Forward
 - o June 20, 2024 – Regular Meeting (Discussion Item)
 - o August 1, 2024 – Special Meeting (Public Hearing)
 - o August 15, 2024 – Regular Meeting (Public Hearing)
 - o September 19, 2024 – Regular Meeting (Public Hearing)
 - General Plan update
 - Zoning Ordinances
 - Local Coastal Program Amendments
 - Draft Program EIR
 - Required for consistency and to implement the Housing Element
 - o October 1, 15, and 29, 2024 – City Council Meetings (Public Hearings)
- Tonight's Focus

- Approve Resolution No. 2024-**-PCR-*** - Listed recommendations for the Mayor and City Council
- Additional Considerations/Recommendations
 - Public Institutional Zone
 - Mixed-Use Zone
 - Draft Program Environmental EIR
- Housing Element – Driving Updates
 - Housing Sites
 - Housing Programs
- How HE Affects Zoning Ordinance Updates – Housing Programs
 - Highlighted Programs 8, 9, 10, and 13
 - Revisited Housing Sites
- Additional Considerations – PI Zone – seeking Commission recommendations
 - Floor Area Ratio (FAR)
 - School sites
 - AES Site and SCE Right-Of-Way (ROW)
- Additional Considerations – PI Zone – FAR
 - Updated GP proposes maintaining the 1.25 FAR at City Hall and the Annex, and place a .75 FAR cap on the remaining PI designations
 - Staff is asking the Planning Commission to decide on two options:
 - Maintain the FAR as currently proposed
 - Increase the FAR to 1.25 for all PI zones, or increase the FAR so that it is greater than .75, but still less than 1.25
 - Staff notes that the EIR and associated buildout methodology would need to be updated and recirculated for an increase of above .85 FAR.
 - Presented slides with some FAR examples to show the Commission what certain FARs would look like
 - Presented a slide with FAR analysis
 - City Facilities – average .48 FAR
 - School Facilities – average .26 FAR
 - Kensington/BCHD – average .71 FAR
 - Presented slide with School Sites information
 - 3 sites in question
 - The 3 sites are not factored into the open space calculations
 - Reverting the properties back to their original designation will have no effect on the EIR or GP policies
 - Presented slide on AES/SCE ROW
 - Existing GP includes a “P” designation for the AES and the SCE ROW
 - Proposed GP proposes to change these properties to a newly created Public Utility (PU) designation
 - Provided information since the PU designation was created changes have happened
 - Staff recommends maintaining the “P” designation

- Presented slide on Mixed Use
 - Both the GP and ZO give equal preference to commercial and residential
 - Commercial uses are important for maintaining an adequate job/housing balance
 - Staff recommends that PC recommends:
 - Minimum commercial floor area ratio be increased to .40
 - Minor modifications to the text of the ZO to place some importance of the commercial component in a mixed-use project
- Purpose of the California Environmental Quality Act (CEQA)
- Program Environmental Impact Report (PEIR)
- CEQA Process – provided a flow chart
- Notice of Availability (NOA)
- Issues Analyzed in EIR
- Focused Technical Studies
 - Air Quality
 - Cultural Resources
 - Greenhouse Gas Emissions
 - Noise
 - Transportation
 - Utilities
- Impacts – reviewed types of impacts

Community Development Director Wiener pointed out that the impacts category is being driven by the state and housing mandates.

- Opportunities for Public Comment
 - Final EIR – October 2024
 - Adoption Hearings
- Recommendation
 - 1) Open the public hearing, administer the oath, take testimony from staff, the public and other interested parties, and deliberate
 - 2) Approve Resolution No. 2024-**-PCR-***
 - 3) Make recommendations to the City Council concerning: PI and Mixed Use

Community Development Director Wiener reminded the Commission that tonight the Planning Commission is not being ask to approve the policy changes, but to vote on the resolutions staff has provided that will formalize the Commission's recommendation to City Council; noted it is a requirement under state law, that when a city makes changes to its General Plan, the Planning Commission must provide written comments or recommendations to the City Council, and that is why staff included resolutions as attachments.

Chairperson Hazeltine asked that any person who would like to speak that evening, to stand, and raise their right hand, so she could administer the Oath; asked Commissioner Lamb if she would like to ask her questions before inviting the public to speak.

Commissioner Lamb referenced the Greenhouse Gas Emissions, mentioned the relationship between the buildout as required by the HE, and the impact that has on the GHG emissions and asked if staff would mind explaining that to the residents and the Commission.

Planning Manager Scully pulled in the consultants from PlaceWorks to address these specific CEQA and EIR related questions.

Mark Teague, Managing Principal with PlaceWorks, stated some of the most significant drivers of greenhouse gases are vehicle emissions and the RHNA mandates a certain number of housing units within the city limits; reported in order to comply, an estimate of the traffic associated with that needs to be done and mentioned modeling software shows more people will drive than take transit so they always estimate that will be a significant and unavoidable impact; stated GHG reduction measures including vehicle miles travel reduction measures are usually a list of things that may or may not apply to a project; noted that they can not speculate so they have to estimate the potential for reduction.

Commissioner Lamb wanted to clarify that at the end of the studied period, the GHG emissions will be lower than they are now, but they won't meet the standard of the state's goals.

Mark Teague stated that was correct.

Commissioner Lamb asked if the higher intensity allows for greater population which increases the GHG.

Mark Teague responded that it is not that simple; stated higher density implies people will be able to walk places, that commerce and jobs will be closer to where they live and that they would use transit to get to places but it is not fair to say that increased density leads to more GHG at a significant level; stated that depending on the design, the better density, and the more compact urban form you have, can lead to reductions in GHG.

Commissioner Lamb stated that according to this document, and the circumstances in the South Bay, PlaceWorks is showing the greater intensity creates a condition where there is more GHG created and that at the end of the studied period Redondo Beach will not meet the state's targets and because of that the City is required to come up with some mitigation efforts that are currently not in place.

Mark Teague stated that is correct, CEQA requires the City to look at all feasible mitigation; noted that many agencies adopt a climate action and adaptation plan; explained that lists the type of mitigation that might be included and stated that is a study the City would then adopt.

Commissioner Craig referenced land use maps and stated they have found several properties belonging to the School District that should have been classified differently and asked a question about the Alta Vista property and the section that was not classified as Open Space since it is under the control of the School District.

Planning Manager Scully stated that he did not believe it is the tennis courts or the clubhouse as Commissioner Craig mentioned, and noted that it is City property and will remain with an Open Space designation; mentioned the area that they are referring to at Alta Vista is actually to the east of the Cul de sac that goes into the school.

More discussion followed regarding the area in question.

Commissioner Craig mentioned that the City is doing a DEIR, which is a seven-week period, and asked if that would prevent the City from getting their whole Housing Element approved in time.

Community Development Director Wiener stated that the Housing Element is approved and certified; noted that what they are proposing now are amendments to the Land Use element and zoning ordinance to effectuate it; reported that what staff is presenting to the Council is an option to bifurcate the project and move forward with the housing components and certification of the full EIR; noted, then, they could spend more time on the remaining balance of the General Plan issues such as the PI FAR and any other items that come up during the review; reported the City is on a tight schedule with the housing requirements and, at a minimum, would like to have that adopted by the end of October beginning of November.

Commissioner Light asked about the FAR going to a .4.

Planning Manager Scully addressed it stating the mixed-use zoning regulation development standards required a minimum of .3 and the initial proposal has been to gain more balance and up the commercial minimum to .35 and then they went to .4.

More discussion followed regarding the mixed-use availability, the AACAP and the commercial areas and ideas to make the commercial use more attractive and restoring balance to the area.

Community Development Director Wiener added that the City is trying to create overlay zones that turn commercial and industrial into residential so there is some anticipated loss of that use in other parts of the City; stated that is why the City is reconsidering this

and looking to restore that balance; noted it does not limit the amount of residential but it does require a certain amount of commercial.

Commissioner Lamb asked if the ratio would change but the FAR would remain the same and if so, does that mean the ratios would reverse.

Community Development Director Wiener stated it is not reversing the ratio; noted currently, as proposed, the ratio with the original proposal would be 65% residential and 35% commercial and they are now proposing a shift of 40% commercial and 60% residential; mentioned that the proposal also includes more language that emphasizes that commercial component; stated that it has been reported to staff that they have had projects where the commercial aspect of these mixed-use buildings were more of an afterthought so they are trying to show that the commercial is just as important as the residential side.

Commissioner Lamb asked if the ROI is greater in the residential for the developer than the commercial aspect.

Planning Manager Scully said it appears that way, but he can't really speak on it.

More discussion followed.

Commissioner Conroy referenced the 60/40 split and asked if that is a guideline or is there a range on it and how it will be enforced.

Planning Manager Scully stated it will be enforced through the development review process and stated they do have hard numbers; explained the projects that come in must comply or they will not approve it.

More discussion followed.

Commissioner Gaddis referenced page 317 of the agenda packet and focused on the proposed zoning areas of change of South Redondo and asked if staff could explain the changes colored in red.

Planning Manager Scully explained they are existing shopping centers, and the proposal is recognizing the shopping centers and allowing for more intensity and a change in the FAR.

Commissioner Gaddis asked for more explanation and thought for the change in the FAR.

Halley Grundy stated the current FAR on C2 is 0.5 and the proposed FAR on the C4 is 1.0.

More discussion followed on the other portions in red and Halley Grundy stated that the sites in red are going from a C2 to a C4.

Commissioner Gaddis asked when these decisions occurred since he couldn't recall ever discussing them.

Halley Grundy stated it was discussed during GPAC and other Council meetings.

More discussion followed.

Commissioner Gaddis asked about the pink areas.

Planning Manager Scully stated they are residential and currently RH; answered Commissioner Gaddis' question and stated they would become commercial C2.

Commissioner Lamb asked what the height limit is on the C4.

Planning Manager Scully stated it would be two-story and 30 feet.

More discussion followed regarding the AACAP and the development plans, and regarding changes the new amendments would have on legal non-conforming property.

Commissioner Gaddis asked during GPAC if the parcels on the northern part of PCH were to be doubled in intensity on those parcels or was it there was a general leaning towards more commercial on this outside of GPAC proceedings.

Planning Manager Scully stated the latter.

Halley Grundy mentioned the original GPAC recommended land use plan went to Council and Council made some changes to the definitions for the commercial uses and stated there was a little bit of interpretation after Council chose not to accept all of the GPAC recommended definitions for commercial uses; stated the changes were based on Council direction.

Commissioner Gaddis asked if they have the option, in their recommendations tonight to the Council, to say that doubling the intensity of those lots is probably not desirable.

Planning Manager Scully stated they could.

Community Development Director Wiener informed the Commission that they are not limited to the recommendations that staff have provided; stated if they recommend any new ones at this meeting staff will carry those forward to City Council.

Commissioner Conroy asked staff if the updated General Plan accounts for long-term water supply needs given the City's anticipated population growth and are there any specific infrastructure projects planned to support sustainable water management.

Planning Manager Scully stated the Water District and water purveyors were consulted in the analysis through the EIR; asked Mark Teague, PlaceWorks, to respond to the questions.

Mark Teague confirmed that the Water District was consulted given the growth numbers that are anticipated; stated that the Water District assured them that they will work with them to ensure water use is efficient; pointed out the more compact urban form you have the less water is used and provisions of the state coming down from building code for water efficient units has reduced that; stated that any projects over a certain size have to do a water supply assessment with the District to look at long-term water use and demand based on multiple years of drought and any ordinances and provisions in place to ensure the water is used effectively; noted that it is a population estimate and an industry estimate that is based on a project level situation and the Water District itself develops its own Water Master Plans consistent with their state directive; stated so there is nothing specific through any of the plans just basically the district will figure it out during the process.

More discussion followed.

Linda Zelik stated she and friends are vehemently opposed to Beach Cities Board's overbuilding proposal; provided some reasons why: it only serves 5-10% of Beach Cities' residents it is supposed to serve, it is inconsistent with the surrounding residential neighborhood, the existing hospital structures are 52 feet or less and BC wants to double that, they want to increase the FAR from .75 to 1.25, it is detrimental to the health and safety of residents and school children in six nearby schools, the noise, the traffic, and the hazardous materials involved with the construction will impact them for many, many years to come; asked if anyone has fact checked the earthquake retrofit costs vs the tear down and rebuild that BC talks about; and wondered why BCHD's board is so hellbent on this unnecessary, unpopular, overbuilding and suggested the City should follow the money.

Tom Bakaly, CEO of BCHD, mentioned he was involved in the General Plan early on and commended everyone for the work they have done; expressed concern about a non-uniform FAR for public institutional use and stated his major concern is that it is not uniform; stated there is no FAR for public institutional use at this time, so to treat one entity differently than others causes them legal concerns; spoke of there being no actual debate over FAR during GPAC except for some members expressing some concerns and support of BCHD's position as well as written comments, including GPAC and current Mayor about concerns for the tack that is currently being taken; suggested that the City not plan out of fear tonight and stated BCHD has completed an EIR and it had no significant permanent impacts and was certified and unchallenged; mentioned

compatibility is subjective and can be discussed; urged the Commission to keep a FAR of 1.25 for public institutional use.

Community Development Director Wiener asked Chairperson Hazeltine if he could make a comment; stated he was reminded by the City Attorney to make a statement to the audience to remind them that the purpose of tonight's hearing is about the General Plan update and the policy document the City is working on and not on BCHD.

Laura Duke, District 3, mentioned that BCHD's plan is part of the GP so she will be speaking about it; spoke about the increase in public zones' FAR from .75 to 1.25 and one of the major motivators for her is BCHD's Healthy Living Campus plan; described the area she moved into as mellow and a block from a public zoned property with some medical offices, gym and a senior care facility and spoke of attending some of the gym classes BC offers; stated that now BCHD wants to build outside of the intent of what the property is zoned for, which is public community facility; stated a huge bulked-out series of developments, especially private not public ones, should not go on this site and said it matters because it will affect the neighborhood's property values and will affect the current population living near it who never anticipated they would live near a development of the size BCHD is proposing.

Motion by Boswell, seconded by Commissioner Lamb, to extend Laura Duke's time for an additional minute.

Motion carried

Laura Duke continued to list reasons why the BCHD's development, no matter what they offer will be enough to offset the challenges the overdevelopment would bring to the area; stated the area in question is a special public zone and should not have its FAR increased to 1.25.

Monica Suua, CFO for BCHD, stated she would like to do everything she can for the financial sustainability so the BCHD can provide critically needed health services into the future; felt that anyone working in the public field needs to have a responsibility for public health and stated BCHD is asking the group to consider the recommendation to increase the FAR to the 1.25 like every other public entity; gave some background on the history of BCHD and stated people from all over come to use the hospital and it is not only for the surrounding residents; stated the facility is outdated and not seismically sound and it too costly to operate and said retrofitting is not a feasible option; pointed out that the services are provided in Redondo Beach but it is used by many others outside the district; mentioned that if they do not adapt to the changing times they will not be able to provide services needed.

Motion by Commissioner Boswell, seconded by Commissioner Lamb, to extend Monica Suua's time by one minute.

Motion carried by voice vote.

Monica Suua continued and mentioned she wanted to address some of the comments from the last meeting; spoke BCHD's unique ability to partner with private entities in order to generate income so the community can benefit from free services offered by the City; stated they are listening to feedback and reduced the amount of units and are providing two acres of open space and moving the building site away from Torrance; reiterated the comment made by Tom Bakaly, that it is an unchallenged certified EIR with no material impact.

Holly Osborne, District 5, spoke of attending several GPAC meetings; stated she is very interested in park ratios and the Metro; spoke about the County doing all the ratios and Redondo Beach is listed at 1.37 acres per 1,000 population as their park ratio with 92 acres; remembered that parks used to be where people played; spoke about how open space has now become more than just areas to play and explained its environmental considerations; noted that the City has Aviation Park at 14 acres and the County has it at 2.9 and wanted to know the difference between open space and park space and also wanted to make sure that Redondo Beach is being fairly compared to other cities.

Tom Bauer, District 1, stated he owns a mixed-use, legal, non-conforming property in a C2 zoning district on PCH; mentioned that staff said if the property burns down or is 100% destroyed or 50% destroyed you can build it back to what it was and stated that is not what the zoning says; reported the zoning says if the property is over 50% destroyed, the owner would need to put something on the property that is zoned C2, which is completely commercial; stated that is a huge issue for anybody down there because it affects financing, insurance, and increases risk so it is really hard on the building owners; asked the Commission to put as a recommendation to put in a grandfather-clause to allow the rebuild of what is currently there; mentioned the idea of going from .3 to .4 commercial in a mixed-use zone, and stated the issue there is you might get a vacant commercial building in front of residential and suggested to have some flexibility since commercial leasing is tough these days.

Discussion followed that the City has already added a grandfather-clause on mixed-use commercial buildings and whether that is reversed if residential units are more than 50% destroyed.

Community Development Director Wiener stated that currently the non-conforming section of the City's code does allow for the replacement of residential if destroyed but they did add a provision to the proposed zoning ordinance that states non-conforming commercial uses in areas designated as residential in the General Plan which are totally or partially destroyed may be reestablished to the original use; stated that adds some protection for legal nonconforming commercial uses.

Community Development Director Wiener stated that tonight, they are doing a broad overview of the General Plan update zoning ordinance amendment; noted at the last Planning Commission meeting they got into the details of the zoning ordinance and touched on some of those different amendments.

Discussion followed that what Tom Bauer asked for the Commission to recommend was already recently added.

Mary Ewell, District 2, spoke about the EIR that Tom Bakaly mentioned was approved by their Board so it would not be the objective EIR that the City should be accepting; mentioned there are a number of items she would like to see stopped such as BCHD's 793,000 sq ft facility, their use of private developers to use the City's PI land and then charge residents high rates, BCHD's plan for 100% privately owned, 80% district non-resident assisted living facility on the City's PI land, BCHD's 74% wealthy, white, City use of Alcove Mental Health Services when BCHD is obligated to service a 91% non-residential service area by contrast, which is their commitment to the service area and mentioned their spending needs to be questioned; noted that BCHD spends \$2.4 million annually on executive pay and stated it is in part from public funding; hoped the City would hold BCHD to the .75 FAR.

Motion by Chairperson Hazeltine, seconded by Commissioner Conroy, to extend Mary Ewell's time for another minute.

Motion carried by voice vote.

Mary Ewell wanted to make a special appeal for the commercial areas that are being given some preference on PCH because the new generation of parents that grew up in Redondo Beach can not afford housing in Redondo Beach; stated she can't understand why the City is favoring commercial use even in the small corridors where residential housing is needed; asked the City to look at their priorities.

Bob Pinzler wanted to congratulate his colleagues on the GPAC for producing a 400 plus page document; spoke of selective memory and selective forgetting and that if people did not read the document and missed something it is not the GPAC's fault; stated that not everything in the document was discussed but that everyone involved in the recommendations should have read all of it, including those who had some other relationships with one of the complaining parties; recommended that the Commission should approve the GPAC recommendation and approve the General Plan as it is presented now; spoke of all the work and compromises that were made.

Georgette Gantner asked that people try to have a visual concept of what Beach Cities is proposing; noted that BCHD has 10.5 and 11 acres and the building they are tearing down is 157,000 sq ft; spoke more of the BCHD proposed plan and mentioned maybe there

could be a compromise of 1.0 for the FAR; mentioned public art is her passion and asked if Artesia is a mixed-use commercial corridor.

Chairperson Hazeltine stated that the Artesia/Aviation zoning is on the General Plan on the website.

Mark Nelson (via Zoom) agreed with the CFO for BCHD that the purpose is not just for residents but stated, unfortunately, the district told the Superior Court that is was for the residents who reside in the district; noted if the benefits flow out to non-residents and the damages are all done in Redondo Beach there is no real reason to assume there is any net benefit; reported that LA County did a survey in 2023 of health outcomes and found that Beach Cities had no health outcomes that were any better than other top 50 income LA County cities; stated that the CEO of BCHD's statement regarding the EIR has no bearing on City ordinances, policies, or General Plan; stated that financial need is not a reason to expand the FAR; noted that BCHD also proposed a 1.95 FAR for their Healthy Living Campus.

Motion by Commissioner Conroy, seconded by Commissioner Lamb, to extend Mark Hansen's time.

Motion carried 7-0 by voice vote.

Mark Nelson continued saying that absent the Planning Commission and City Council actually putting some rails around this, Beach Cities wants to go way beyond anything they can imagine; noted that BCHD had a \$200,000 paid consultant as the Chair of GPAC; agreed with Mr. Pinzler; reported that BCHD had to provide emergency services due to funding they accepted from Bill Burton which required the hospital to offer it.

Ann Wilson stated she supports the .75 for institutional land; spoke of the Planning Commission having the onus to ensure responsible development and this can be the blueprint for the City for the next 30 years; mentioned that most of the activities BCHD offers do not need an increased FAR; stated the only need in BCHD's master plan that would require an increased FAR would be for the supersized, 100% privately owned, RCFE structure; reported that they would turn over about 3 acres of public land to private developers for 95 years; mentioned this structure was never tried to meet the municipal codes or design codes for compatibility, mass, or scale; went on to say their pre-CUP application to the City not only did not pass it flunked; stated they not only want to increase density for their project but now they have pushed for a high density FAR of 1.25 for all 20 plus parcels of public land; noted that if the City allows this to happen, imagine a future Redondo Beach stripped of its beach town character where rare public land in open space is now supersized.

Motion by Commissioner Boswell, seconded by Commissioner Craig, to extend Ann Wilson for an additional minute.

Motion carried 7-0 by voice vote.

Ann Wilson asked why the Planning Commission would want to open Pandora's box; stated public land is rare and should be left for the public.

Analyst Brown reported no one on Zoom and no eComments.

Commissioner Conroy spoke about PI zone and asked what the definition of "community" is for a healthcare facility.

Planning Manager Scully responded saying the City does not have a definition for "community".

Commissioner Conroy thought he heard someone from the public say that the City's PI FAR is not consistent but thought what the City presented was that in no case the PI FAR is over .71.

Planning Manger Scully stated as far as current City facilities that is correct.

More discussion followed.

Commissioner Craig asked for clarification, prior to this new process, whether the City had a requirement for PI before.

Planning Manager Scully said that is correct and it was the P designation, which was named Public or Institutional; noted that the General Plan did not specify an FAR.

More discussion followed regarding the state's requirements.

Commissioner Lamb felt it is important that they take a look at the General Plan vision statement and guiding principles; noted they have been approved by the City Council and there were multiple opportunities for residents to speak; read the framework and guiding principles of the General Plan; stated it is the Planning Commission and City Council's duty to follow the General Plan; spoke of the blueprint that the residents want for their future and again read from the General Plan what the intention should be; referenced what a speaker that night said about having adequate housing for the City's middle and lower income individuals and that would also mean to preserve the historical aspect of the City.

Commissioner Gaddis wondered if the list of inconsistencies that Planning Manager Scully mentioned should be brought forward before they close the public hearing so whatever the Commission adopts would be corrections to those.

Planning Manager Scully said it is probably better after they close the public hearing and begin their deliberations.

Community Development Director added that it is only the public that cannot ask questions after the public hearing is closed but the Commission can ask staff questions during that time.

Commissioner Conroy asked Director Wiener to clarify the C2 designation that was brought up earlier; asked how is it written to protect the owner of a mixed-use property to be able to rebuild residential if needed.

Community Development Director Wiener stated currently the non-conforming section in the City's code addresses single-family and multi-family and provides that allowance to replace if destroyed.

Commissioner Conroy asked if there would be any downside to adding "mixed-use" to the description.

Community Development Director Wiener opined there would not be any downside and might help with clarity of use and felt it would be a good idea.

Commissioner Gaddis interjected that he sees a downside to it; felt "mixed-use" involves different levels of commercial and residential use, whereas if you protect them individually then they get replaced but mixed-use is amorphous in terms of definition; explained that the percentages can be flipped around and have more commercial instead of residential; and stated it is already covered in the current language.

Commissioner Conroy suggested language to make it more specific.

Community Development Director Wiener stated the existing zoning code, along with the proposed, provides the allowance for the replacement of residential and commercial, so he felt that would cover a mixed-use project; stated, if they wanted to be more specific, the City can add another category of mixed-use and provide the identical language to that as well; felt either way a mixed-use project would be covered but could see the confusion in interpretation as it is currently written.

Chairperson Hazeltine did not want to get into a piecemeal conversation and felt the Commission had decided that they want PCH from north to south to have a plan; felt they need to be very careful about taking something out like that and adding mixed-use.

Commissioner Conroy stated he is not suggesting to change the zoning to mixed use, he is saying that the City allows current residential on these lots zoned C2 and they could rebuild it as residential; noted that a lot of people that own residential own it as a part of a mixed-use improvement and he wanted to afford them the same protection; felt as it is

currently written it is for 100% commercial or 100% residential and wanted to cover the mixed-use.

More discussion followed on the use of the term, the definition of it, and whether there needs to be more clarification from what is already written.

Community Development Director Wiener felt the intent overall, with the changing of zoning over time, is that the City wants to see commercial in that zone but there is protection for owners for their existing non-conforming use.

Commissioner Craig asked to share 1B and mentioned threats of legal action if they do what they are recommending or not do what they are recommending in their plan; referred to an attorney that came to a prior meeting that threatened to sue the City if they recommend for a FAR stating they are discriminating against all types of things; pulled up an article on a recent post from The Marin Post about “spot zoning” and if it is illegal; said the article states the California Court of Appeals clarified that it is not as long as it is for the public interest; wanted to know if the article is correct in saying that “spot zoning” is perfectly legal whether or not a particular incident is permissible depends on the facts and circumstances.

Community Development Director Wiener said yes, that is correct and evidence supporting that finding is needed.

Chairperson Hazeltine asked if any other members of the public would like to speak.

Motion by Commissioner Gaddis, seconded by Commissioner Craig, to close the public hearing.

Motion carried 7-0 by voice vote.

J. ITEMS CONTINUED FROM PREVIOUS AGENDAS

Chairperson Hazeltine thanked staff for all their work on the FAR comparison and the charts; mentioned it is also terrifying and asked if all the properties in the report would go from their existing square footage and then go to a .75 is really huge and referenced pages 110-113; referenced the Kensington property as an example and spoke about the square footage being about 46,000 and, if it went to the new FAR, the size of the building would more than double; mentioned the current Legado project and stated it is massive and very dense and with the new FAR would be even larger but also said the Legado Hotel would decrease; spoke about the Montecito and that it would have been cut in half given the new FAR; recommended to the Planning Commission that they increase the FAR to .50 and not .75 based on the amazing work the City did for them; stated that she doesn't really know where the .75 came from and after listening to Commissioner Lamb and thinking about what happened in the 70's regarding the apartments or condo

buildings on the Esplanade and mentioned how out of scale it is from the surrounding area; mentioned that people have asked how that happened and felt they are at the same crossroad where they can okay .75 and 20 years down the line the residents will ask how that happened; felt it was important and hoped the rest of the Planning Commission would support her in asking City Council to consider a .50 FAR vs .75 FAR.

Commissioner Light asked where the .75 came from if not from the GPAC.

Planning Manager Scully stated it came from City Council's recommendation.

More discussion followed.

Chairperson Hazeltine said that, now that staff has given them something to look at, it does not make sense to allow these buildings in their City because they don't fit; noted the .75 will change what public land will look like forever and again referenced past mistakes the City has made; felt strongly about how it will affect the children of the community.

Commissioner Craig said it was May 18, 2021, around the 5-hour, 22-minute mark where the .75 FAR was mentioned.

More discussion followed regarding the chart and the changes that would happen if a .75 FAR were to be approved.

Community Development Director Wiener mentioned the spot zoning concern that was raised does not apply to only one property, it does not only apply to Beach Cities Health but it would apply to all the PI zone properties; noted that the 1.25 proposed is only for City Hall and the Annex is because that is what has been historically in the City's zoning ordinance.

Commissioner Lamb asked if the proposal is to keep the Civic Center and the Annex at the proposed 1.25 and instead of the .75 for the other parcels that are PI to have them at .50 or is there something else.

Chairperson Hazeltine asked how the Commission feels about the areas that front PCH and City Hall to be at the 1.25.

Commissioner Lamb felt comfortable with the 1.25 for City Hall.

More discussion followed regarding the 1.25 for the Annex, and that currently the area between Vincent and PCH is at 1.37.

Commissioner Craig pointed out that it is at 1.37 but the City is using it for office space now and asked if the School District decided to put condos there wouldn't they have to go to a Measure DD vote and the public would have to vote on it.

Discussion followed on there being an incorrect calculation on the chart. Planning Manager Scully stated it got confusing on the sites because they had to rely on assessment parcel data and noted, on public property, they won't provide square footage so the City had to do aerial calculations and attempted to assess different floors.

Commissioner Light mentioned that Beach Cities is at .77 now and is concerned if they went to .50, they could not rebuild what they have there now; worried that is puts them at legal risk.

Commissioner Gaddis asked staff if the existing buildings are somehow grandfathered.

Community Development Director Wiener stated they went over that earlier in the meeting when they discussed non-conforming; noted there is a safety net with these projects that requires a discretionary review process and would rely on decisions by the City and Planning Commission; stated zoning codes can add some additional limits even below what is in the General Plan to an extent.

Commissioner Conroy reported he did a quick calculation of the current FAR for the Annex and that if the square footage is right on the building it would be .16.

Commissioner Craig asked to have his screen shared again and wanted to show the difference of what the Kensington building would look like at 1.25; then showed a property called Heritage Point on surplus school land which is at 1.23 and showed how large the property is and stated that is what the City would have if they did not have Measure DD; mentioned that is what they are trying to prevent from happening.

Chairperson Hazeltine noted that the Kensington building at two-stories fits into the neighborhood but if it went up in size that would be the beginning of bigger buildings; spoke about the AACAP and how they need to approach that project.

Commissioner Gaddis recommended striking out the change to double the intensity from a FAR of .5 to 1.0 on the northern part of PCH and stated that the intersection of Herondo and PCH is already bottlenecked and increasing the intensity would make it much worse.

Chairperson Hazeltine stated a conversation regarding what the City and residents want PCH to look like needs to happen and piecemealing it will not have a good outcome.

More discussion followed regarding the intensity and density of the area.

Chairperson Hazeltine took a straw poll on Commissioner Gaddis' recommendation to strike out the change to double the intensity of the FAR from .5 to 1.0.

Commissioner Lamb said Yes.

Commissioner Conroy said No, he is open to some change.

Commissioner Gaddis said Yes,

Chairperson Hazeltine said she is a Yes.

Commissioner Craig stated he is 50/50 and Chair Hazeltine said she will come back to him.

Commissioner Boswell did not like the straw poll and questioned what it is that they are voting on.

It was clarified that the City Council and staff came up with 1.0 and that the Commission is only recommending that they not make this change.

More discussion followed and more questions arose regarding where the numbers came from.

Community Development Director Wiener stated he was not at the GPAC meetings or at the origin of the plan; noted there is a directive in the General Plan to focus on PCH and to create a plan for that; suggested the Commission recommend to the City Council that they take a closer look at the FAR for PCH and don't make any changes right now.

Discussion followed regarding Director Wiener's suggestion, and more clarification on the motion they were proposing and the straw poll.

Commissioner Lamb asked if their intent is that the Commission wants to revert back to their existing FAR with the caveat that the Council, as they move forward, develop a comprehensive plan and then the FAR can be reconsidered.

Commissioner Conroy said originally, they were considering increasing it by 100% and Chair Hazeltine said no, we should reduce it to only 0% and explained why he said no and asked if they have shifted from that.

Commissioner Gaddis spoke about PCH being very congested and all of a sudden the General Plan, which the Commission is submitting to Council with their recommendations, has a FAR and they are not sure where the number came from and felt it is a really bad idea; stated somehow there is a recommendation that doubles the density for all of PCH and felt that needs to be taken out.

Commissioner Conroy voiced that he did not want their recommendation to Council to be zero change.

Community Development Director Wiener stated that another thing to consider is the City can still certify the EIR at the one FAR and still have the ability to go up between the range of .50 to 1.0 at some point down the road and the City can study the plan more and develop a plan for PCH.

More discussion ensued.

Chairperson Hazeltine asked if they could have the straw poll on her recommendation that the Commission not increase the PI FAR to .75 but instead to .50.

Commissioner Lamb asked staff what are the problems that they see with doing that.

Planning Manager Scully stated that there are a couple of fire station sites or at least one that exceeds a .50 that would then be legal non-conforming so there's that issue and they would want to look at what the potential impact would be on the PI properties; wondered if they would then become legal non-conforming.

Commissioner Gaddis stated if they came up with a fire station that was .75 and asked if they could get a conditional use type of exception that the Planning Commission and Council could approve.

Planning Manager Scully stated they would have to do a General Plan amendment to change the designation.

Community Development Director corrected Planning Manager Scully that they were discussing maintaining the C4.

Planning Manager Scully stated he didn't realize they moved onto the PI site; asked if the Planning Commission was planning to recommend to keep the 1.25 at City Hall and the Annex and .5 everywhere else.

Commissioner Craig mentioned that the Grant Avenue fire station is under .5 and, due to the bond measure, they need to put four bays there; felt for the Annex, they can consider 1.25 and the fire station would be the only other properties impacted by this and they can be under the same category as City Hall and the Annex.

Chairperson Hazeltine asked if they could say Fire could be .75 or would that cause a problem.

Community Development Director Wiener said, at this point, staff doesn't have enough information on the FAR for public institutional; suggested the Commission could simply recommend that the Council reconsider what the FAR is; stated that earlier in the meeting he said he anticipated that this is going to be bifurcated, where the housing will move forward and some of the outstanding items are going to be given more analysis; felt the

.5 is a bit arbitrary and the City doesn't know what the consequences will be for the PI sites and the future services for the community.

Commissioner Light agreed with Director Wiener and said it would make more sense to give a recommendation that the .75 needs to be reexamined.

Commissioner Lamb stated that having the document staff provided with all the square footage and the build-out square footage per parcel is a big advantage; went on to comment on the draft EIR the legal expectation is that if you set a FAR they will go to the FAR.

Planning Manager Scully stated not necessarily with the PI land use and said it is a different animal in terms of build-out methodology and analysis; noted it is a service driven land use and not a market driven one and gave examples to support his comment.

Commissioner Lamb mentioned that school districts have surplus land that moves into the market forces and asked if they can talk about properties that are exclusively for service to the community vs PI property that has marketability.

Community Development Director Wiener stated the zoning ordinance could have a standard that reverts to what normal standard would be in a residential district, so they wouldn't have to treat all properties equally in terms of the development standards.

More discussion followed regarding schools, surplus land, and the leasing of that land for 99 years; went over the list of school properties in the report and the current FARs.

Commissioner Lamb referred to the General Plan and the intent of the community and voiced her concern over the size of some of the properties doubling or tripling in size; spoke of the City having the ability to align itself with the General Plan and the wishes of the residents but at the same time, be able to have the service properties adequate for their use.

Commissioner Craig asked to share his screen again; showed a spreadsheet of the fire stations and stated they should consider treating them like City Hall and the Annex in terms of allowing them to be renovated and updated as needed.

More discussion followed regarding the Fire Stations and that no plans have been drawn yet, but that they should tie in the Fire Stations with City Hall and the Annex so it gives them some flexibility.

Commissioner Lamb brought up Director Wiener's statement about a bifurcation of the approval process and asked how exactly it would be split up in terms of the specific documents.

Community Development Director Wiener stated it is pretty straightforward with the zoning ordinance, since it connects directly to the housing element and then for the housing programs, they will have to put those aside in a separate document and Council can approve it; wanted to point out in this discussion on the PI zones and the public service uses it is important to note that with the school district the City is actually preempted by state law from imposing a FAR cap on their site if it impedes their ability to deliver their services.

More discussion followed regarding the surplus sites on school property, the fact that the Annex is surplus property owned by the school district and it has a 1.25 FAR, noted that in order to have a surplus site it has to be certified by the state, and that these sites are taken from the children and the sites don't actually make that much money to benefit the community.

Commissioner Craig pointed out that once the surplus property is recategorized as surplus, it does not fall under school property and is no longer being used for educational purposes so the City could impose a .50 FAR on the property.

Commissioner Lamb asked how the City codifies it into the document.

Community Development Director Wiener asked the Commission if they want to recommend a FAR for these properties or would the Commission prefer to recommend that they have concerns.

Discussion ensued and they said they wanted to make it clear that .75 is arbitrary and too dense and they feel the only way to do that is to send back another arbitrary number.

Planning Manager Scully stated he has the general motion the Commission made initially, and if they would like to work from it; read the motion as: "Chair Hazeltine's recommendation is to maintain the proposed 1.25 for the City Hall property and the Annex and include the two fire stations in the City and a .50 FAR for all other public institutional properties."

Commissioner Lamb interjected that this would be the default FAR in the event that they have it certified as "surplus".

Planning Manager Scully clarified that if school property was surplus, and turned over, that subsequent development would be subject to local control.

Commissioner Conroy wondered why the PI class has two categories: Public Services and Park and School.

Community Development Director Wiener suggested that the City can distinguish the classification of properties and better define them in the General Plan and they all don't have to be under the umbrella of a single PI designation.

Commissioner Lamb pointed out that the Health District also uses surplus land and that is where they want to put the RCFE.

Commissioner Conroy brought up that the birth rates are normally cyclical, so they know the overall population of the City is increasing.

Chairperson Hazeltine interjected that she agrees with him but that is not what the school district agrees to and they say it is decreasing.

More discussion followed.

Commissioner Boswell said that his neighborhood is filled with young families with school age kids and stated the school district has been selling off surplus land for a long time, out of greed, and should be stopped; stated limiting their FAR to stop them from using it for market forces would help stop the practice.

More discussion followed regarding what properties fall under the definition of public services and if their changes would affect the EIR.

Mark Teague, PlaceWorks, stated no, it would not affect it and they would take care of it in the final EIR.

Chairperson Hazeltine took a straw poll on the recommendation by the Planning Commission to maintain the proposed 1.25 for City Hall, the Annex, the fire stations and police stations in the City and a .50 FAR for all other public institutional properties.

Motion carried 7-0 by voice vote.

Chairperson Hazeltine asked the Planning Manager to fix a typo in IM LU-44, and a typo in IM LU-45.

Planning Manager Scully mentioned a previous motion made earlier and asked if that was carried; read, "motion to make a change to maintain .50 for the C4 along PCH with a recommendation to develop a comprehensive plan."; pointed out they have a mixed-use change from .35 to .40 and wanted to know if everyone was in agreement on those changes as well.

Chairperson Hazeltine took a straw poll on that motion.

Motion carried 7-0 with the straw poll.

Planning Manager Scully went over a few more typos that needed to be corrected, including the changes on the AES site, and the school sites being changed to PI.

The Commission agreed to the changes.

Commissioner Lamb asked if they are referencing that they do not have authority over the school district land and they are only asking to change the surplus property in their recommendation to Council.

Planning Manager Scully stated he will add language in the recommendation to incorporate that.

Commissioner Lamb referred to an abridged statement and read from it, "Commission recommends that the City Council in the exercise of its independent judgement and pursuant CEQA, certify the final program Environmental Impact Report inclusive of its referenced appendices for the Redondo Beach focus General Plan update and zoning ordinance update and local coastal program amendment and approve the appropriate environmental findings, a statement of overriding consideration, and a mitigation monitoring and reporting program; and asked if that was sufficient for Resolution No. 2024-PCR.

Planning Manager Scully offered to bring up the slide with the recommendation.

The recommendation slide was put on the screen.

Motion by Commissioner Lamb, seconded by Commissioner Gaddis, to approve Resolution No. 2024-**-PCR-*** recommending that the City Council:

- Certify the Final Program Environmental Impact Report for the Redondo Beach Focused General Plan Update, Zoning Ordinance Update, and Local Coastal Program Amendment
- Adopt a General Plan Amendment to update the City's Land Use, Open Space and Conservation, Noise, and Safety Elements "Exhibit A", with proposed changes/edits attached as "Exhibit B"
- Adopt amendments to the Redondo Beach Municipal Code, Title 10 Planning and Zoning, Chapter 1 Subdivisions attached as "Exhibit C"
- Adopt amendments to the Redondo Beach Municipal Code, Title 10 Planning and Zoning, Chapter 2 Zoning and Land Use attached as "Exhibit D"
- Adopt amendments to the Redondo Beach Municipal Code, Title 10 Planning and Zoning, Chapter 5 Coastal Land Use Plan Implementing Ordinance attached as "Exhibit E"
- Adopt amendments to the City of Redondo Beach's Coastal Land Use Plan of the Local Coastal Program attached as "Exhibit F"

Diana Varat, Outside Special Counsel, interjected at this point to say they can do that subject to the changes proposed by the Planning Commission this evening, as described to Planning Manager Scully and that would be the end of the motion.

Commissioner Lamb continued the motion:

Make recommendations to the City Council subject to the changes made by the Planning Commission communicated to Planning Manager Scully.

ROLL CALL:

AYES: Light, Boswell, Craig, Gaddis, Conroy, Lamb, Chairperson Hazeltine

NOES None

ABSTAIN: None

ABSENT: None

Motion carried 7-0 by roll call vote.

L. ITEMS FOR DISCUSSION PRIOR TO ACTION - None

M. ITEMS FROM STAFF

Community Development Director Wiener stated a while back the City undertook an organizational assessment of the Community Development Department and he received the results and developed an action plan to help implement some of the recommendations from that assessment; reported he will be presenting that to the City Council in November and will share that staff report and action plan with the Planning Commission as they lead up to that meeting; gave some highlights that the report will have in it.

Commissioner Lamb mentioned in 2017 she had a conversation with Planning Manager Scully in his office, and they discussed how wonderful it would be to use technology.

Commissioner Craig wanted to acknowledge former Mayor Bill Brand's birthday tonight.

Chairperson Hazeltine stated they need to recommend a new Chair and wanted to recommend the Commission to go back to taking turns on being Chair.

N. COMMISSION ITEMS AND REFERRALS TO STAFF - None

O. ADJOURNMENT – 10:16 p.m.

Motion by Commissioner Gaddis, seconded by Commissioner Conroy, to adjourn the meeting at 10:16 p.m.

Motion carried 7-0 by voice vote.

The next meeting of the Redondo Beach Planning Commission will be a Regular Meeting to be held at 6:30 p.m. on October 17, 2024, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach, California.

All written comments submitted via eComment are included in the record and available for public review on the City website.

Respectfully submitted,

Marc Wiener
Community Development Director

**CITY OF REDONDO BEACH
PLANNING COMMISSION MINUTES
Thursday, December 19, 2024**

REGULAR MEETING OF THE PLANNING COMMISSION – 6:30 PM

A. CALL TO ORDER

A meeting of the Planning Commission, held in the Redondo Beach Council Chambers at 415 Diamond Street, Redondo Beach, California was called to order by Chair Hazeltine at 6:30 p.m.

B. ROLL CALL

Commissioners Present: Boswell, Craig, Gaddis, Light, Lamb and
Chair Hazeltine

Commissioners Absent: Conroy

Officials Present: Sean Scully, Planning Manager
Andrew Svitek, Senior Planner
Steven Giang, Senior Planner
Jamaal Brown, Planning Analyst

C. SALUTE TO THE FLAG

Chair Hazeltine led in the Salute to the Flag.

D. APPROVE ORDER OF AGENDA

Motion by Chair Hazeltine, seconded by Commissioner Light, and approved by voice vote, to change the order of the agenda to move Item No. L.1 after approval of the Consent Calendar.

The motion carried 4-1-1, with Commissioner Gaddis, opposed, Commissioner Craig, abstaining and Commissioner Conroy absent.

E. BLUE FOLDER ITEMS – ADDITIONAL BACK UP MATERIALS

E.1. RECEIVE AND FILE BLUE FOLDER ITEMS

Motion by Commissioner Gaddis, seconded by Commissioner Craig and carried by voice vote, to receive and file Blue Folder Items.

The motion carried 6-0. Commissioner Conroy was absent.

F. CONSENT CALENDAR

F.1. APPROVE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION REGULAR MEETING OF DECEMBER 19, 2024

F.2. APPROVE MINUTES FOR THE PLANNING COMMISSION REGULAR MEETING OF JANUARY 18, 2024 AND FEBRUARY 15, 2024

There were no public comments on Consent Calendar items.

Motion by Commissioner Gaddis, seconded by Commissioner Craig, and approved by voice vote, the Consent Calendar, as presented.

The motion carried 6-0. Commissioner Conroy was absent.

Chair Hazeltine moved to Item No. L.1.

G. EXCLUDED CONSENT CALENDAR ITEMS - None

H. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

H.1. RECEIVE AND FILE PUBLIC WRITTEN COMMENTS ON NON-AGENDA ITEMS

Chair Lamb invited public comments.

Rick McQuillen, South Bay resident, reported he and his team are identifying vacancies along Artesia Boulevard and are strategizing how to fill them using an Occupy Artesia Database they created; stated his website, CArtesia.com, will support a Commerce Community and provide a way for residents and visitors to engage with local merchants; elaborated on what his team is currently doing and urged the Commission to contact him with any questions, comments, or concerns.

Jim Mueller, District 5, congratulated Chair Lamb on her nomination; pointed out there are five smoke shops along Artesia Boulevard and said that on September 30th, the State of California outlawed the sale of THC; questioned if the police have investigated the matter and suggested that the Commission revoke the conditional use permits for those businesses.

Chair Lamb responded that the Commission is not at liberty to discuss the investigation and suggested that Mr. Mueller contact the Redondo Beach Police Department (RBPD) directly and the Public Safety Commission.

Joan Irvine, District 1, congratulated Chair Lamb for her nomination, explained the law Mr. Mueller highlighted; noted the difference between cannabis and hemp and reported that it was intended to combat smoke shops buying/selling unregulated THC products derived from hemp.

There were no other public comments and Chair Lamb closed this portion of the meeting.

I. EX PARTE COMMUNICATION

Commissioner Light reported speaking with Commissioner Craig on the agenda.

Commissioner Craig reported speaking with Commissioner Light on the agenda and that he had corrected a member of the public on an agenda item at a community meeting.

Commissioner Hazeltine reported speaking with Chair Lamb on the agenda.

Chair Lamb reported speaking with Commissioner Hazeltine, Planning Manager Scully, Senior Planner Svitek, and Senior Planner Giang.

J. PUBLIC HEARINGS

- J.1. Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a personal improvement service (fitness studio) in an approximately 2,600 square foot tenant space within an existing (under construction) mixed-use building (Legado Redondo) on property located at 1700 S. Pacific Coast Highway in a Mixed-Use (MU-3) zone.**

RECOMMENDATION:

- 1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;**
- 2. Close the public hearing; and**
- 3. Adopt the attached resolution by title only, waiving further reading:**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PERSONAL IMPROVEMENT SERVICE (FITNESS STUDIO) WITHIN AN EXISTING (UNDER CONSTRUCTION) MIXED-USE

**BUILDING ON PROPERTY LOCATED IN THE MIXED-USE (MU-3) ZONE AT
1700 S. PACIFIC COAST HIGHWAY (CASE NO. CUP-2024-1674)**

Motion by Commissioner Hazeltine, seconded by Commissioner Gaddis, and approved by voice vote, to open the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Planning Manager Scully introduced Senior Planner Andrew Svitek; welcomed him to his first Planning Commission meeting; noted there were two Blue Folder Items, the second being related to this item, an updated noise study that has been broken down into layman terms and summarized.

Senior Planner Svitek narrated a PowerPoint presentation on a conditional use permit for personal improvement service for a pilates studio, Studio MDR, located at 1700 Pacific Coast Highway, Redondo Beach.

In response to Commissioner Boswell, Mr. Svitek said the applicant has had a good track record at their other locations and there have not been any issues.

Chair Lamb administered the oath to the representative for Studio MDR.

Lisa Solomon, applicant, congratulated Chair Lamb on her nomination; thanked Senior Planner Svitek for the presentation and introduced herself and her business.

In response to questions by the Commission, Ms. Solomon responded it is a membership organization, but she also offers class passes as well, spots are reserved online to avoid unnecessary congestion, there will not be any showers at this location, just lockers, the space has been remodeled to have built-in noise mitigation, she continually checks the noise level at all locations and the studio will sell branded retail, such as shirts and socks, but no nutritional retail.

Chair Lamb invited public comments.

Blair McPhearson, Architect, introduced herself and offered to respond to questions from the Commission.

In response to Commissioner Boswell, Ms. McPhearson explained that for the walls, they used isomax clips that create an air gap when attached to the studs and they vibrate to absorb sound instead of transmitting it and noted that for the ceiling it is the same concept but using springs instead.

Joan Irvine, District 1, expressed her excitement for and approval of the Legado Project coming to completion.

There were no other public comments.

Motion by Commissioner Gaddis, seconded by Commissioner Hazeltine, and approved by voice vote, to close the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

In response to Commissioner Boswell, Senior Planner Svitek reported that there have not been any other applications or interest by any other fitness organizations and that the Legado Project has not limited that type of business at their location.

Chair Lamb discussed the standards that must be adhered to and summarized the details of this project and how it is in compliance with the City's zoning code.

Motion by Commissioner Gaddis, seconded by Chair Hazeltine, to adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PERSONAL IMPROVEMENT SERVICE (FITNESS STUDIO) WITHIN AN EXISTING (UNDER CONSTRUCTION) MIXED-USE BUILDING ON PROPERTY LOCATED IN THE MIXED-USE (MU-3) ZONE AT 1700 S. PACIFIC COAST HIGHWAY (CASE NO. CUP-2024-1674).

The motion carried 6-0, with the following roll call vote.

AYES:	Boswell, Craig, Gaddis, Hazeltine, Light, and Chair Lamb
NOES:	None
ABSENT:	Conroy
ABSTAIN:	None

J.2. Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of A LIVE PERFORMANCE THEATER (Performance art facility) in an approximately 8,861 SQUARE FEET INTERIOR space within an existing multi-tenant PUBLIC-COMMUNITY FACILITY (medical offices and health-related facility) on property located at 514 N. PROSPECT AVENUE in a PUBLIC -COMMUNITY FACILITY (P-CF) zone.

RECOMMENDATION:

- 1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;**
- 2. Close the public hearing; and**
- 3. Adopt the attached resolution by title only, waiving further reading:**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST TO ALLOW THE OPERATION OF A LIVE PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652)

Chair Lamb introduced this item.

Motion by Commissioner Gaddis, seconded by Commissioner Hazeltine, and approved by voice vote, to open the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Senior Planner Giang narrated a PowerPoint presentation with details of an exemption declaration and conditional use permit for a Live Performance Theater in a Public Community Facility (P-CF) zone.

In reply to Commissioner Hazeltine, Senior Planner Giang clarified the zoning classification of that location and what it entails; stated the patio space was intended to be a public gathering area for patrons waiting for the performance and noted it should not cause any noise problems for the surrounding neighbors.

In response to the Commission, Senior Planner Giang stated the organization is a tenant of Beach Cities Health District (BCHD) and the organization is non-profit.

In response to Commissioner Craig, Planning Manager Scully explained that the City of Redondo Beach has no purview to determine if the type of activity conducted is legal and/or consistent with respect to a State's Health District requirements, rather it is the Health District's purview who are governed by other State codes and provisions to make that determination. The City's purview is only with respect to General Plan and Zoning compliance.

Commissioner Craig cited troubles that the Harbor Commission has experienced and asked if by approving this item, would we be opening the City up to litigation?

Planning Manager Scully could not provide a legal opinion and stated that if they stick to the purview of the Planning Commission, they should be protected.

Chair Lamb talked about the Planning Commission's purview; referenced applicable codes and requirements; noted that those requirements have been met and talked about public art facilities being considered commercial recreation in the City's Municipal Code, the definition of public art facilities and the definition of the proposed use as commercial recreation, which is allowed within the P-CF zone.

Discussion followed regarding other allowed uses, considering other types of recreation, evaluating what requires a CUP and what does not and prohibited uses and public comments received in response to the notice for this item. It was noted that all were in support of the project and there were no negative comments.

Brief discussion followed regarding other tenants in the Legado Project that were not required to go through the CUP process such as the Chamber of Commerce.

Planning Manager Scully spoke about an existing CUP that covers 514 N. Prospect which has further identified use categories that are broader, and staff established there was a broader connection with the BCHD that could permit that use (i.e., health administration office).

Discussion followed regarding ensuring consistent application of requirements to avoid potential litigation at other similar theaters in the South Bay.

Chair Lamb administered the oath to representatives of the Live Performance Theater.

Madeline Drake, President, Board of Directors, The Little Fish Theater, and Shakespeare by the Sea, spoke about her involvement in the work, volunteers and building a sense of community.

Stephanie Cauldron and Suzanne Dean, Co-Artistic Directors, recalled the history of Shakespeare by the Sea and The Little Fish Theater, noting the two programs have worked together to deliver award-winning high quality, affordable theater in the South Bay for the last 27 years; stated they are recognized by the LA county Department of Arts and Culture; commented that the reason they are relocating is because their previous facility was lost to commercial redevelopment; reported 15% of their subscribers are Beach City residents, with most being from Redondo Beach and it is expected to grow after reopening; shared that the World Health Organization, National Institute of Health, and Americans for the Arts all agree that arts and health are interconnected into the benefits of a community and claimed they will be able to do more than they could at their San Pedro location.

Unknown Speaker, explained how the organization brings together the community and provides a safe space for members of the public to flourish.

Diana Mann, resident, stated she and her husband could not recall there ever being a dedicated theater group in Redondo Beach over the last 40 years and that she is excited about this opportunity; claimed this is an extraordinary opportunity for the City as the theater brings in professional talent from all over Los Angeles and urged the Commission to approve the CUP.

Peter LeFa, Professional Fund Raiser and Board Member of Shakespeare by the Sea, claimed there is a very enthusiastic theater community in Redondo Beach which he believes will result in a noticeable economic impact and build community relationships and as such urged the Commission to approve the CUP.

Anne Garton, resident, asked the Commission to support the organizations and approve their permit and asserted how they benefit the community and that there are a lot of supporters of these groups.

In response to Chair Lamb, Planning Manager Scully clarified the applicants are The Little Fish Theater and Shakespeare by the Sea, not BCHD.

Chantel Kaplan, resident, via Zoom, thanked the Commission for their technology accommodations that allow public participation; claimed the organizations have brought a tremendous amount of catharsis, joy, and economic pleasure to San Pedro and that it will do so for Redondo Beach if allowed; explained how beneficial the organizations will be for the community, performances friendly for all ages, experiencing and interacting with art and urged the Commission to approve the CUP.

Planning Analyst Brown reported there were 27 e-Comments, 26 in support and 1 opposed.

Motion by Commissioner Gaddis, seconded by Chair Hazeltine, approved by voice vote, to receive and file the e-Comments.

The motion carried 6-0. Commissioner Conroy was absent.

There were no further public comments.

Motion by Commissioner Hazeltine, seconded by Commissioner Gaddis, and approved by voice vote, to close the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Motion by Commissioner Hazeltine, seconded by Commissioner Gaddis, to waive full reading of and adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST TO ALLOW THE OPERATION OF A LIVE

PERFORMANCE THEATER (PERFORMANCE ART FACILITY) IN AN APPROXIMATELY 8,861 SQUARE FEET INTERIOR SPACE WITHIN AN EXISTING MULTI-TENANT PUBLIC-COMMUNITY FACILITY (MEDICAL OFFICES AND HEALTH-RELATED FACILITY) ON PROPERTY LOCATED AT 514 N. PROSPECT AVENUE IN A PUBLIC-COMMUNITY FACILITY (P-CF) ZONE. (CASE NO. PCUP2024-1652), as presented.

Commissioner Craig reported he has attended several of the productions and is highly impressed with the group; said he believes their presence in Redondo Beach will be great for the community and clarified his previous concerns about the authorization of their activities because he did not want to see them put out from their facility again.

The motion carried 5-1-1, with the following roll call vote:

AYES:	Boswell, Craig, Hazeltine, Light, and Chair Lamb
NOES:	Gaddis
ABSENT:	Conroy
ABSTAIN:	None

J.3. Public Hearing for consideration of an Exemption Declaration and Conditional Use Permit to allow the operation of a massage business in an approximately 2,630 square foot tenant space within an existing multi-tenant commercial building on property located at 409 N. Pacific Coast Highway, Suite #100 in a Commercial (C-2A) zone.

RECOMMENDATION:

- 1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;**
- 2. Close the public hearing; and**
- 3. Adopt the attached resolution by title only, waiving further reading:**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667)

Chair Lamb introduced this item.

Motion by Commissioner Craig, seconded by Commissioner Hazeltine, and approved by voice vote, to open the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Senior Planner Giang narrated a presentation, detailing a CUP for a massage business located at 409 N. Pacific Coast Highway, Suite #100.

Commissioner Gaddis pointed out the turnover rate for that storefront has been high over the last 15 years.

Planning Manager Scully felt that the problem may be because the visibility of the storefront is low.

In response to the Commission, Senior Planner Giang stated the location of a previously approved massage business is outside of the 1,000 feet buffer zone.

The Commission confirmed with Staff that everything discussed at a previous meeting where there was another massage business applicant, codes, laws, regulations and vetting processes are still the same.

Chair Lamb administered the oath to the applicant.

Margin Manavi, owner, introduced herself as a new franchisee of The Now Massage brand; reported the goal for the brand is to have 100 massage boutiques all over the US and is a fast-growing and well-known brand.

In response to the Commission, Ms. Manavi stated she is new to this business, but there are plans and structures in place by the franchise to guide her in making the business successful.

Chair Lamb invited public comments.

The VP of Construction and Supply Chain, of The Now Massage, via Zoom, gave support of Ms. Manavi; stated she may be one the company's favorite franchisee owners and offered to respond to questions from the Commission.

Stacy Wellnet, Architect, Commercial Arc, via Zoom, introduced herself, offered to respond to questions from the Commission.

There were no other public comments on this item.

Motion by Commissioner Gaddis, seconded by Commissioner Hazeltine, and approved by voice vote, to close the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Motion by Commissioner Hazeltine, seconded by Commissioner Gaddis, to waive full reading of and adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A MASSAGE BUSINESS IN AN APPROXIMATELY 2,630 SQUARE FOOT TENANT SPACE WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 409 N. PACIFIC COAST HIGHWAY, SUITE #100 IN A COMMERCIAL (C-2A) ZONE. (CASE NO. PCUP2024-1667), as presented.

The motion carried 6-0, with the following roll call vote:

AYES:	Boswell, Craig, Gaddis, Hazeltine, Light, and Chair Lamb
NOES:	None
ABSENT:	Conroy
ABSTAIN:	None

J.4. PUBLIC HEARING FOR CONSIDERATION OF AN EXEMPTION DECLARATION AND CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE.

RECOMMENDATION:

1. Open the public hearing, administer oath, take testimony from staff, the applicant and other interested parties, and deliberate;
2. Close the public hearing; and
3. Adopt the attached resolution by title only, waiving further reading:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793)

Motion by Commissioner Gaddis, seconded by Commissioner Hazeltine, and approved by voice vote, to open the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Senior Planner Giang narrated a presentation detailing a CUP for a one-on-one personal fitness studio at 811 North Catalina Avenue.

In response to Commissioner Hazeltine, Senior Planner Giang explained what happens if the establishment needs to extend their operating hours to accommodate more customers.

Senior Planner Giang edited the resolution to accurately reflect the hours of business.

Chair Lamb administered the oath to the applicant.

Discussion followed regarding the hours of operation and the rationale for splitting the hours of operation.

Ron Spawn, applicant, introduced himself and stated he runs the business with his wife.

In response to Commissioner Light, Ron Spawn reported that they used to have a space in Redondo Beach but closed due to the pandemic and since then the business has been remote.

Ron Spawn stated he would like the operation hours to be from 6:00 a.m. to 9:00 p.m.

In response to Commissioner Boswell, Ron Spawn explained they provide all types of training, weight-loss, injury, rehab, and personal and they use various equipment like free weights, recumbent bicycle, squat rack, and pulling machine.

In response to Chair Lamb, Senior Planner Giang stated there are no parking concerns with the new hours because it will still only be two cars at a time and reported he updated the resolution with the newly proposed hours.

There were no other public comments on this item.

Motion by Commissioner Hazeltine, seconded by Commissioner Craig, and approved by voice vote, to close the public hearing.

The motion carried 6-0. Commissioner Conroy was absent.

Motion by Commissioner Gaddis, seconded by Commissioner Hazeltine to waive full reading of and adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH ADOPTING AN EXEMPTION DECLARATION AND APPROVING THE REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A NEW PERSONAL TRAINING FITNESS BUSINESS WITHIN AN EXISTING MULTI-TENANT COMMERCIAL BUILDING ON PROPERTY LOCATED AT 811 N. CATALINA IN A COMMERCIAL (C-5A) ZONE. (CASE NO. PCUP2024-1793), as amended to indicate operating hours of 6:00 a.m. to 9:00 p.m.

The motion carried 6-0, with the following roll call vote:

AYES:	Boswell, Craig, Gaddis Hazeltine, Light, and Chair Lamb
NOES:	None
ABSENT:	Conroy
ABSTAIN:	None

Chair Lamb moved to Item No. M.

K. ITEMS CONTINUED FROM PREVIOUS AGENDAS - None

L. ITEMS FOR DISCUSSION PRIOR TO ACTION

L.1. PLANNING COMMISSION NOMINATIONS AND ELECTION OF CHAIRPERSON AND SECRETARY FOR THE TERM OF DECEMBER 2024 THROUGH SEPTEMBER 2025

RECOMMENDATION

Staff recommendation:

- 1. The Chairperson opens nominations for positions of Chair and Secretary**
- 2. The Chairperson closes nominations**
- 3. The Chairperson calls for a motion**
- 4. New Officers assume seats**

Chair Hazeltine invited nominations for the positions of Chair and Secretary.

Motion by Commissioner Boswell, seconded by Commissioner Light, and carried by voice vote, to nominate Commissioner Lamb for Chair.

The motion carried 6-0. Commissioner Conroy was absent.

Commissioner Boswell nominated Commissioner Gaddis for Secretary.

Commissioner Gaddis nominated Commissioner Craig for Secretary.

Motion by Commissioner Gaddis, seconded by Commissioner Light, and carried by voice vote, to nominate Commissioner Craig for Secretary.

The motion carried 6-0. Commissioner Conroy was absent.

Chair Lamb took her place on the dais.

Chair Lamb thanked the Commission for their faith in her and thanked Commissioner Hazeltine for her work this past year.

Chair Lamb returned to Item H.

M. ITEMS FROM STAFF

Planning Manager Scully wished the Commission a Happy Holidays, said there are new Planners in the Planning Division, and stated there will be more robust agendas upcoming.

N. COMMISSION ITEMS AND REFERRALS TO STAFF

In response to Chair Lamb, Senior Planner Giang said there will be a notice posted on January 2, 2025 about upcoming projects and Planning Manager Scully anticipated details about a South Bay project to come before the Commission in February, 2025.

In response to Commissioner Boswell, Planning Manager Scully explained the progress of the South Bay Market Place Tentative Tract Map; addressed the phases that have been approved and spoke about the process.

O. ADJOURNMENT

Motion by Commissioner Hazeltine, seconded by Commissioner Craig, and approved by voice vote, to adjourn the meeting at 9:00 p.m.

The motion carried 6-0. Commissioner Conroy was absent.

The next meeting of the Redondo Beach Planning Commission will be a regular meeting to be held at 6:30 p.m. on January 16, 2025, in the Redondo Beach Council Chambers, at 415 Diamond Street, Redondo Beach, California.

All written comments submitted via eComment are included in the record and available for public review on the City website.

Respectfully submitted,

Sean Scully
Planning Manager



Administrative Report

H.1., File # PC25-0919

Meeting Date: 6/19/2025

TITLE

RECEIVE AND FILE WRITTEN COMMENTS ON NON-AGENDA ITEMS



Administrative Report

H.1., File # PC25-0919

Meeting Date: 6/19/2025

TITLE

RECEIVE AND FILE WRITTEN COMMENTS ON NON-AGENDA ITEMS



Administrative Report

J.1., File # PC25-0920

Meeting Date: 6/19/2025

TO: PLANNING COMMISSION
FROM: STEVEN GIAN, SENIOR PLANNER

TITLE

DISCUSSION, CONSIDERATION, AND POSSIBLE ACTION ON AN EXEMPTION DECLARATION AND VARIANCE FOR A REDUCED FRONT YARD SETBACK, REDUCED SIDE YARD SETBACK, AND REDUCED OUTDOOR LIVING SPACE FOR FIRST AND SECOND-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED AT 811 SPENCER STREET IN A LOW-DENSITY MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE.

RECOMMENDATION:

1. Open public hearing, receive and file all documents and correspondence on the proposed project;
2. Accept all testimony from staff, applicant, and the public and deliberate;
3. Close public hearing;
4. Adopt a Resolution by title only approving an Exemption Declaration and granting a Variance for a reduced front yard setback, reduced side yard setback, and reduced outdoor living space for first and second-story additions to an existing two-story single-family residence on property located within a Low-Density Multiple-Family Residential (R-3) Zone:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH APPROVING AN EXEMPTION DECLARATION AND VARIANCE FOR A REDUCED FRONT YARD SETBACK, REDUCED SIDE YARD SETBACK, AND REDUCED OUTDOOR LIVING SPACE FOR FIRST AND SECOND-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED AT 811 SPENCER STREET IN A LOW-DENSITY MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE. (CASE NO. 20250105)

EXECUTIVE SUMMARY

The applicant is requesting approval of a Variance to allow first and second story additions that would otherwise conflict with current front yard (9.1' existing vs. 15' required) and northern side yard (4.8' existing vs. 5' required) setbacks, as well as the 800 ft² outdoor living space requirement. The proposal would expand the second story over the existing two-car garage by 482 ft², add a 78 ft²-first floor entry and reorient the garage for direct driveway access, and include a new 107 ft² balcony and 78 ft² front porch; demolition of two rear sheds would increase open space from 210 ft² to approximately 583 ft². Special circumstances such as the lot's irregular 2,980 ft² size and substandard depth justify the Variance without granting undue privileges.

BACKGROUND

The subject property is located at 811 Spencer Street, between North Irena Avenue and El Redondo. The subject lot was created when the lot at 213 North Irena and the subject lot was subdivided into two lots. This subdivision created the irregular shaped lot where the proposed project is located. The lot is approximately 2,980 square feet in size with approximate lot dimensions of 55 feet at the front property line, 50 feet at the rear property line, 72 feet at the northern side property line, and 48 feet at the southern side property line. The zoning of the subject property is Low Density, Multi-family Residential (R-3) as is the zoning of all the properties surrounding the subject property.

The property is currently developed with a two-story single-family residence which is approximately 2,058 square feet in size with an attached two-car garage that was built in 1963. The site currently has a legal non-conforming rear yard setback, front yard setback, and north side setback. The 5 feet south side setback meets the current development standards for the R-3 zoning district. Development in the immediate vicinity consists of a mixture of single-family and multi-family developments containing up to 30 dwelling units.

The applicant proposes to remodel the existing single-family residence to expand the existing second story over the existing two car garage as a second-floor addition (482 ft²), construct a first-floor addition (78 ft²), changing the orientation and approach of the existing two-car garage, adding a new balcony (107 ft²), and new front porch (78 ft²). Additionally, the applicant is proposing to demolish 2 existing sheds that are located at the rear and side (south) of the property for the purposes of creating more outdoor living space.

As per the proposed floor plans, the first story addition will consist of a new entryway from the proposed porch and changing the orientation of the existing garage so that the indirect access driveway can become a direct access driveway. The garage will have its doors moved from the southern side to the western side of the garage so that a new driveway approach can be added that accesses the garage directly. A new 78 ft² front porch is also proposed. The 482 ft² second story addition will consist of a new master bedroom, laundry room, study/nook, and a 107 ft² balcony.

The owners are seeking a variance to allow reduced front and side yard setbacks and a reduction in the outdoor living space requirement. The existing structure's front setback is approximately 9.1 feet (required 15 feet) and the existing structure's northern side yard setback is approximately 4.8 feet (required 5 feet). The applicant seeks to maintain the existing northern side yard setback for the proposed second-floor addition to match the existing residence and reduce the second story front setback for the proposed second-floor. Lastly, the existing residences does not have the required outdoor living space area (800 square feet) to be compliant with the zoning code and the applicant is requesting a variance to allow for a diminished outdoor living space requirement. The existing residence has approximately 210 square feet of open living space area. If the sheds are removed, the residence would result in an open space area of approximately 583 square feet.

ANALYSIS**Variance**

Section 10-2.2510 of the Zoning Ordinance permits the Planning Commission to grant variances from development standards contained within the Ordinance in those instances where it is demonstrated that there are special circumstances applicable to the property including the size, shape, topography, location, or surroundings such that the strict application of the zoning provisions deprives such property of privileges enjoyed by other property in the vicinity and under identical zone designation; and where the variance does not constitute a grant of special privileges.

In this instance, a Variance is being requested to allow the reduction in the front and side yard setback and the outdoor living space requirement where there are a number of special circumstances applicable to the project property including the following:

- The property is substandard in size and shape, typically lots require a minimum size of 5,000 square feet in the R-3 zoning district but this lot was created at 2,980 square feet.
- The depth of the lot is significantly less than many standard R-3 zoned properties in the surrounding neighborhood. R-3 lots are required to be created with lot depths of at least 100 feet however this lot was created with a 72 feet lot length on the northern side and a 48 feet lot length on the southern side.
- Due to the substandard lot size and lot depth, the opportunity for outdoor living space is diminished.

More specifically, the size and depth of the property makes it difficult to develop the subject property according to the development standards for properties within the R-3 zone. As per the Zoning Ordinance, if the applicant were to maintain the required 18-foot front yard setback, 5 feet side yard setback, 15 feet rear yard setback, and 800 square feet required outdoor living space, it would decrease the buildable area of the lot significantly and make it difficult to design a house with a practical or reasonable floor plan.

Additionally, in an effort to decrease the non-conforming status of the outdoor living space, the applicant is proposing to remove two existing sheds at the rear and side of the property which will expand the existing outdoor living area of this lot by 283 ft².

For approval of the project, the Planning Commission must make the following findings in the affirmative. The following italicized text is the specific response to the individual criteria:

- a) There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, such that the strict application of the zoning provisions deprives such property of privileges enjoyed by other property in the vicinity and under identical zone designation

The subject lot's irregular shape and substandard size (2,980 ft² versus the 5,000 ft² minimum) and depth (72 ft/48 ft versus the 100 ft minimum) create unique development constraints not faced by other R-3 parcels in the surrounding neighborhood. Because the existing two-story home already encroaches into the front and northern side setbacks and lacks the required outdoor living area, strict adherence to the 18-ft front setback, 5-ft side setback, and 800 sf outdoor living space would eliminate nearly all buildable area and render the site undevelopable to a scale consistent with neighborhood character. These physical hardships justify relief from the standard yard and open-space requirements to afford the property the same development privileges as conforming lots.

- b) The Variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

To ensure equitable treatment with surrounding R-3 parcels, approval of this variance shall be conditioned upon: (1) strict matching of the second-story addition's front and side setbacks to the existing nonconforming dimensions; (2) removal of the two rear/south sheds to increase usable outdoor area by 283 sf; and (3) construction per the approved site plan and elevations. These conditions guarantee that no future enlargement beyond the existing building footprint or further encroachment into required yards will be permitted.

- c) The granting of a Variance shall not be contrary to the objectives of the Comprehensive General Plan.

Granting this variance supports the General Plan's objectives of preserving and enhancing the city's established residential neighborhoods (Policy LU-4.3) and encouraging infill development that is compatible in scale and design (Policy LU-4.5). By allowing modest additions that maintain the existing building envelope and by improving on-site open space through the removal of the sheds, the project furthers the goals of healthy, sustainable housing without adversely impacting neighborhood character or public welfare. Thus, the variance aligns with, and does not conflict with the Comprehensive General Plan.

ENVIRONMENTAL STATUS

Staff has determined that the proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under Article 19, Section 15301 (Existing Facilities) of the California Guidelines for Implementation of the CEQA. Specifically, the project includes a negligible expansion of the existing residence.

CONCLUSION

Staff recommends that the Planning Commission approve the Exemption Declaration and grant the Variance subject to the findings and conditions contained within the attached draft resolution.

Prepared by:

Approved by:

Steven Giang
Senior Planner

Sean Scully
Planning Manager

ATTACHMENTS

Attachment A - Draft Resolution

Attachment B - Architectural Drawings

Attachment C - Variance Application

Attachment D - CEQA Exemption Declaration

RESOLUTION NO. 2025-06-PC-**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH APPROVING AN EXEMPTION DECLARATION AND VARIANCE FOR A REDUCED FRONT YARD SETBACK, REDUCED SIDE YARD SETBACK, AND REDUCED OUTDOOR LIVING SPACE FOR FIRST AND SECOND-STORY ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE ON PROPERTY LOCATED AT 811 SPENCER STREET IN A LOW-DENSITY MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE.

WHEREAS, a Variance is requested under Redondo Beach Municipal Code Section 10-2.2510 to allow the proposed additions to maintain the existing 9.1-foot front setback, existing 4.8-foot north side setback, and a reduced outdoor living area; and

WHEREAS, the applicant proposes a 78 square-foot first-floor addition, a 482 square-foot second-floor addition, a new 107 square-foot balcony, a new 78 square-foot front porch, re-orientation of the garage doors from the south to the west elevation, and demolition of two sheds totaling 283 square feet to increase usable outdoor living area; and

WHEREAS, notice of the time and place of the public hearing where the Exemption Declaration and application would be considered was given pursuant to State law and local ordinances by publication in the Easy Reader, by posting the subject property, and by mailing notices to property owners within 300 feet of the exterior boundaries of the subject property;

WHEREAS, the existing two-story single-family home ($\pm 2,058$ square feet) with attached two-car garage was built in 1963 and currently encroaches into the front and north side-yard setbacks and lacks the required 800 square feet of outdoor living space; and

WHEREAS, the lot was created by subdivision from 213 North Irena Avenue, resulting in an irregular shape with $\pm 2,980$ square feet of lot area (55' front, 50' rear, 72' north side, 48' south side); and

WHEREAS, the project is Categorically Exempt from CEQA under Section 15301 (Existing Facilities) of the CEQA Guidelines; and

WHEREAS, the application and plans are accurate representations of the existing buildings and proposed improvements; and

WHEREAS, the Planning Commission of the City of Redondo Beach has considered evidence presented by the applicant, the Planning Division, and other

interested parties at the public hearing held on the 19th day of June, 2025, with respect thereto.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY FIND:

1. In accordance with Section 10-2.2510 of the Redondo Beach Municipal Code, the applicant's request for a Variance is consistent with the criteria set forth therein for the following reasons:

- a) There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, such that the strict application of the zoning provisions deprives such property of privileges enjoyed by other property in the vicinity and under identical zone designation

The subject lot's irregular shape and substandard size (2,980 ft² versus the 5,000 ft² minimum) and depth (72 ft/48 ft versus the 100 ft minimum) create unique development constraints not faced by other R-3 parcels in the surrounding neighborhood. Because the existing two-story home already encroaches into the front and northern side setbacks and lacks the required outdoor living area, strict adherence to the 18-ft front setback, 5-ft side setback, and 800 sf outdoor living space would eliminate nearly all buildable area and render the site undevelopable to a scale consistent with neighborhood character. These physical hardships justify relief from the standard yard and open-space requirements to afford the property the same development privileges as conforming lots.

- b) The Variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

To ensure equitable treatment with surrounding R-3 parcels, approval of this variance shall be conditioned upon: (1) strict matching of the second-story addition's front and side setbacks to the existing nonconforming dimensions; (2) removal of the two rear/south sheds to increase usable outdoor area by 283 sf; and (3) construction per the approved site plan and elevations. These conditions guarantee that no future enlargement beyond the existing building footprint or further encroachment into required yards will be permitted.

- c) The granting of a Variance shall not be contrary to the objectives of the Comprehensive General Plan.

Granting this variance supports the General Plan's objectives of preserving and enhancing the city's established residential neighborhoods (Policy LU-4.3) and encouraging infill development that is compatible in scale and design (Policy LU-4.5). By allowing modest additions that maintain the existing building envelope and by improving on-site open space through the removal of the sheds, the project furthers the goals of healthy, sustainable housing without adversely impacting neighborhood character or public welfare. Thus, the variance aligns with, and does not conflict with the Comprehensive General Plan.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF REDONDO BEACH DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. That based on the above findings, the Planning Commission does hereby approve the Exemption Declaration and grant the Variance pursuant to the plans and applications considered by the Planning Commission at its meeting of the 19th day of June, 2025.

Section 2. These permits shall be void in the event that the applicant does not comply with the following conditions:

1. The approval granted herein is for a reduced front yard setback, reduced side yard setback, and reduced outdoor living space for first and second-story additions to an existing two-story single-family residence on property located within a Low-Density Multiple-Family Residential (R-3) Zone.
2. A copy of this Resolution shall be copied onto a sheet in the construction plan set submitted to the Building and Safety Division.
3. The site shall be fully fenced prior to the start of construction.
4. All on-site litter and debris shall be collected daily.
5. Construction work shall occur only between the hours of 7:00 a.m. and 6:00 p.m. on Monday through Friday, between 9:00 a.m. and 5:00 p.m. on Saturday, with no work occurring on Sunday and specified holidays per RBMC Section 9-1.12.
6. The project developer and/or general contractor shall be responsible for counseling and supervising all subcontractors and workers to ensure that neighbors are not subjected to excessive noise, disorderly behavior, or abusive language.
7. Streets and sidewalks adjacent to the job site shall be clean and free of debris.
8. The first- and second-story additions shall maintain a 9.1-foot front yard setback and a 4.8-foot north side yard setback, matching the existing nonconforming dimensions, as depicted on the approved Site Plan.
9. Prior to issuance of any building permit, the two existing sheds located at the rear and south of the property shall be fully removed. Their removal shall expand the outdoor living area by 283 square feet.
10. The relocated garage entrance shall be designed to ensure that no vehicles may encroach into the public right-of way. Prior to permit issuance, the applicant shall

provide a site plan demonstrating adequate off-site parking and any other requirements as required by the Traffic Engineer to prohibit parking into the public right-of-way.

11. Prior to issuance of any building or grading permits, the applicant shall submit detailed improvement plans for the public right-of-way along the project frontage showing installation of sidewalk, curb and gutter constructed to current City standards.
12. Outdoor living area shall be limited to the extent shown on the approved plans. No additional structures, patios, or landscaping features shall encroach into the approved setbacks or increase the nonconforming status.
13. All construction, including the re-orientation of the garage doors and new driveway approach, shall strictly conform to the architectural drawings, floor plans, elevations, and site plan stamped "Approved" on June 19, 2025. The Planning Division shall be authorized to approve minor changes.
14. No future expansion of the building footprint or additional encroachments into front, side, or rear yard setbacks shall be allowed beyond that which is approved herein.
15. The applicant shall obtain all required demolition, building, grading, and mechanical permits and shall comply with all applicable provisions of the California Building Code, Fire Code, and City ordinances.

Section 3. That the approved Conditional Use Permit shall become null and void if not vested within 36 months after the Planning Commission's approval.

Section 4. That, prior to seeking judicial review of this resolution, the applicant is required to appeal to the City Council. The applicant has ten days from the date of adoption of this resolution in which to file the appeal.

FINALLY RESOLVED, that the Planning Commission forward a copy of this resolution to the City Council so the Council will be informed of the action of the Planning Commission.

PASSED, APPROVED AND ADOPTED this 19th day of June, 2025.

Planning Commission Chair
City of Redondo Beach

ATTEST:

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS
CITY OF REDONDO BEACH)

I, Sean Scully, Planning Manager of the City of Redondo Beach, California, do hereby certify that the foregoing Resolution No. 2025-06-PC-XX was duly passed, approved and adopted by the Planning Commission of the City of Redondo Beach, California, at a regular meeting of said Planning Commission held on the 19th day of June, 2025, by the following roll call vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Sean Scully,
Planning Manager

APPROVED AS TO FORM:

City Attorney's Office

Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

PROJECT TITLE	2
---------------	---

AND	J	JACK
ANCHOR BOLT	JST	JOIST
ABV	ABOVE	JOINT
AC	ASPHALTIC CONCRETE	LAM
ACC	AIR CONDITIONING	LAMINATED(I)
ACCUST	ACOUSTICAL	LBS
AD	ADJUSTABLE	POUNDS
ADRL	ADDITIONAL	LONG
ADJ	ADJUSTABLE	LGTH
ADJ	ADJUNCT	LENGTH
AFI	AFRAME FINISHED FLOOR	LLV
ALUM	ALUMINUM	LONG LEED VERTICAL
ALN	ALTERNATE	LP
ALN	ACCESS PANEL	LOW POINT
APP	APPROVED	LS
ARCH	ARCHITECTURAL	LAG SCREWS
AV	AUDIO VISUAL	LIGTS
		LIGHTING
		MAS
		MASONRY
		MATL
		MATERIAL
		MAX
		MAXIMUM
B	BOTTOM	MB
BD	BOARD	MACHINERY
BDO	BUILDING	MEF
BLK	BLACK	MEDIUM DENSITY FIBERBOARD
BLG	BLOCKING	MECH
BLW	BELOW	MECHANICAL
BLW	BELOW	MIR
BLW	BELOW	MALLEABLE IRON
BN	BOUNDARY NAIL	MI
BN	BULLNOSE	MINIMUM
BN	BOTTOM	MIW
BTWN	BETWEEN	MWB
		MALLEABLE ROLL WASHER
		MO
		MASONRY OPENING
		MTL
		METAL
		N
		NORTH
		NEW
		(N)
		N/A
		NOT APPLICABLE
C	COURSES	NAT
CAB	CABINET	NATURAL
CALC'S	CALCULATIONS	NG
CALC	CATCH BASIN	NATURAL GRADE
CALC	CALIFORNIA BUILDING CODE	NIC
CEM	CEMENT	NOT IN CONTACT
CEM	CEMENT	NUMBER
CEM	CEMENT	NOM
CEM	CEMENT	NOMINAL
CFM	CUBIC FEET PER MINUTE	NTS
CFM	CUBIC FEET PER MINUTE	NEAR SIDE
CFM	CUBIC FEET PER MINUTE	NOT TO SCALE
CJ	CONSTRUCTION JOINT	O.C.
CJ	CONSTRUCTION JOINT	ON CENTER
CL	CENTER LINE	OCCUPANCY
CL	CENTER LINE	OO
CL	CHAIN LINK	OUTSIDE DIAMETER
CLG	CEILING	OPNG
CLO	CLOSET	OPENING
CLO	CLOSET	OPP
CLO	CLOSET	OPPOSITE
CLO	CLOSET	OVRHD
CLO	CLOSET	OVERHEAD
CLO	CLOSET	OVR
CLO	CLOSET	OVER
CMU	CONCRETE MASONRY UNIT	P
CMU	CONCRETE MASONRY UNIT	PANEL
CMU	CONCRETE MASONRY UNIT	PROPOSED
CO	COLUMN	PARTN
CO	COLUMN	PARTN
CONC	CONCRETE	PAINT PAINTED
CONSTR	CONSTRUCTION	PL
CONSTR	CONSTRUCTION	PL
CONSTR	CONSTRUCTION	PL
CONSTR	CONSTRUCTION	PLANTG
CONSTR	CONSTRUCTION	PLAS
CONSTR	CONSTRUCTION	PLASTER
CONSTR	CONSTRUCTION	PLUM
CONSTR	CONSTRUCTION	PLUMBING
CONSTR	CONSTRUCTION	PLYWD
CONSTR	CONSTRUCTION	PLYWOOD
CONSTR	CONSTRUCTION	POC
CONSTR	CONSTRUCTION	POINT OF CONNECTION

NOTE:
IT IS THE CONTRACTOR OR OWNER/BUILDER'S RESPONSIBILITY
TO PROVIDE ONE HARD COPY SET OF PLANS WITH CITY APPROVAL
STAMP IN THE FIELD FOR INSPECTOR TO VIEW DRAWINGS AND
SPECIFICATIONS .

DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW AND DESCRIBE DETAILS FOR A COMPLETE BUILDING. IT IS IMPOSSIBLE TO SHOW AND DETAIL EACH AND EVERY CONDITION WITHIN THE BUILDING. THE CONTRACTORS SHALL EXECUTE PARTS AND DETAILS THAT ARE NOT FULLY SHOWN OR DESCRIBED ACCORDING TO THE HIGHEST STANDARD AND CUSTOMARY TRADE PRACTICE FOR QUALITY WORK AND IN SIMILAR MANNER AND SPIRIT OF DETAILS WHICH ARE SHOWN ON DRAWINGS OR DESCRIBED IN SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE TRADES OR WORKERS RESPONSIBLE FOR ALL ITEMS FOR COMPLETE PROJECT. THE DRAWINGS, SPECIFICATIONS INCLUDE ONLY MAJOR INFORMATION. IN THE ABSENCE OF INFORMATION, SECURE THE REVIEW AND APPROVAL OF MATERIALS, PRODUCTS AND SYSTEMS BY THE ARCHITECT. IT IS ASSUMED THAT ALL PERSONS AND COMPANIES PROPOSING WORK ON THIS PROJECT ARE SKILLED IN THE INTERPRETATION AND USE OF DRAWINGS AND SPECIFICATIONS; AND HAVE FOUND THESE CONTRACT DOCUMENTS FREE OF AMBIGUITIES SUFFICIENT FOR BIDDING AND SUCCESSFUL CONSTRUCTION PURPOSES OR HAVE NOTIFIED THE ARCHITECT IN WRITING OF SUCH AMBIGUITIES.



DETAIL TITLE	8
--------------	---

RENDERING	11
-----------	----

SHEET	TITLE
C-1	Coversheet / Site Plan & Roof Plan
C-2	Site Setback Plans
C-3	Boundary Survey With Topography
C-4	Out Door Area Plans
A-1	First Floor Plan
A-2	Second Floor Plan
A-3	First Floor Demolition Plan
A-4	Second Floor Demolition Plan
A-5	Exterior Elevations
A-6	Exterior Elevations & 3D Views
A-7	Existing Exterior Elevations
Total Sheets: 11	

TOTAL BUILDING:	
Name	Area (Sq. Ft.)
(E) 1ST FLOOR	847 SF
(E) 2ND FLOOR	787 SF
(E) GARAGE	424 SF
(N) 1ST FLOOR ADDITION	78 SF
(N) 2ND FLOOR ADDITION	482 SF
(N) BALCONY	107 SF
(N) PORCH	78 SF
	2801 SF

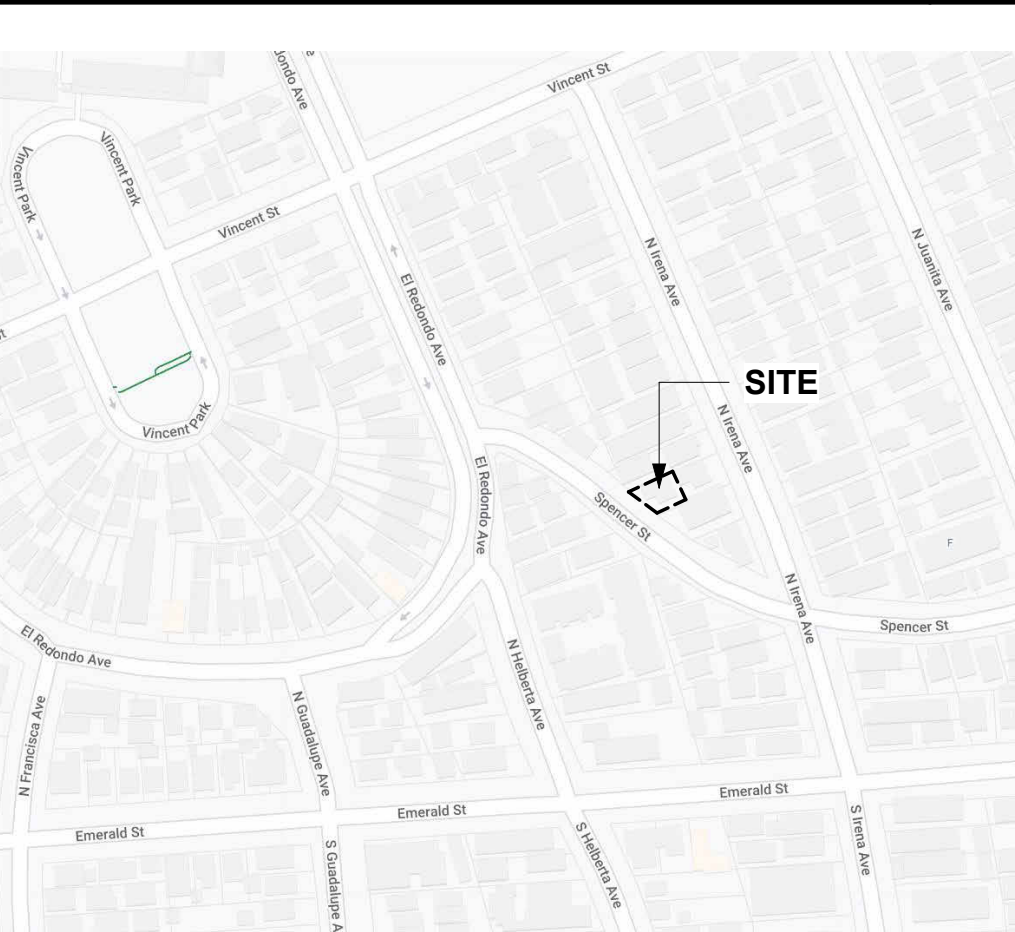
Area of interior remodel: 852 sf

OUTDOOR AREAS
SINGLE FAMILY DWELLING: 800 S.F. REQUIRED

TOTAL PROVIDED:	
(E) YARD	283 S.F.
7'X10' MIN. (N) BALCONY	107 S.F.X 150% = 160 S.F.

TOTAL PROVIDED: 443 S.F.

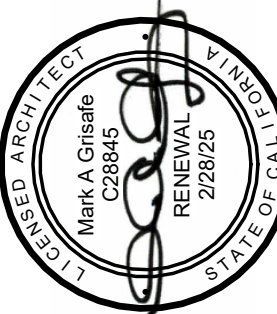
SHEET INDEX	17
--------------------	-----------



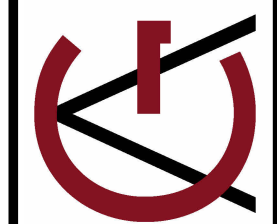
VICINITY MAP	23
--------------	----

Scale: 1/8" = 1'-0"

CONTACTS	24
-----------------	-----------

[illegible]

GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

65

Coversheet / Site Plan & Roof Plan

plot date: 5/29/2025 10:02:12 AM
job no. 202322

Sheet no.

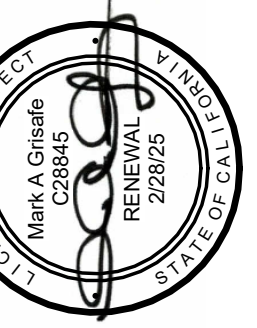
C-1
of sheets

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA

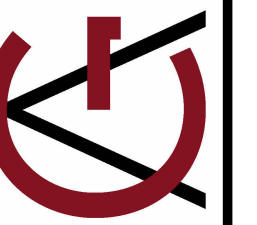
THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

REVISION



GRISAFÉ
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

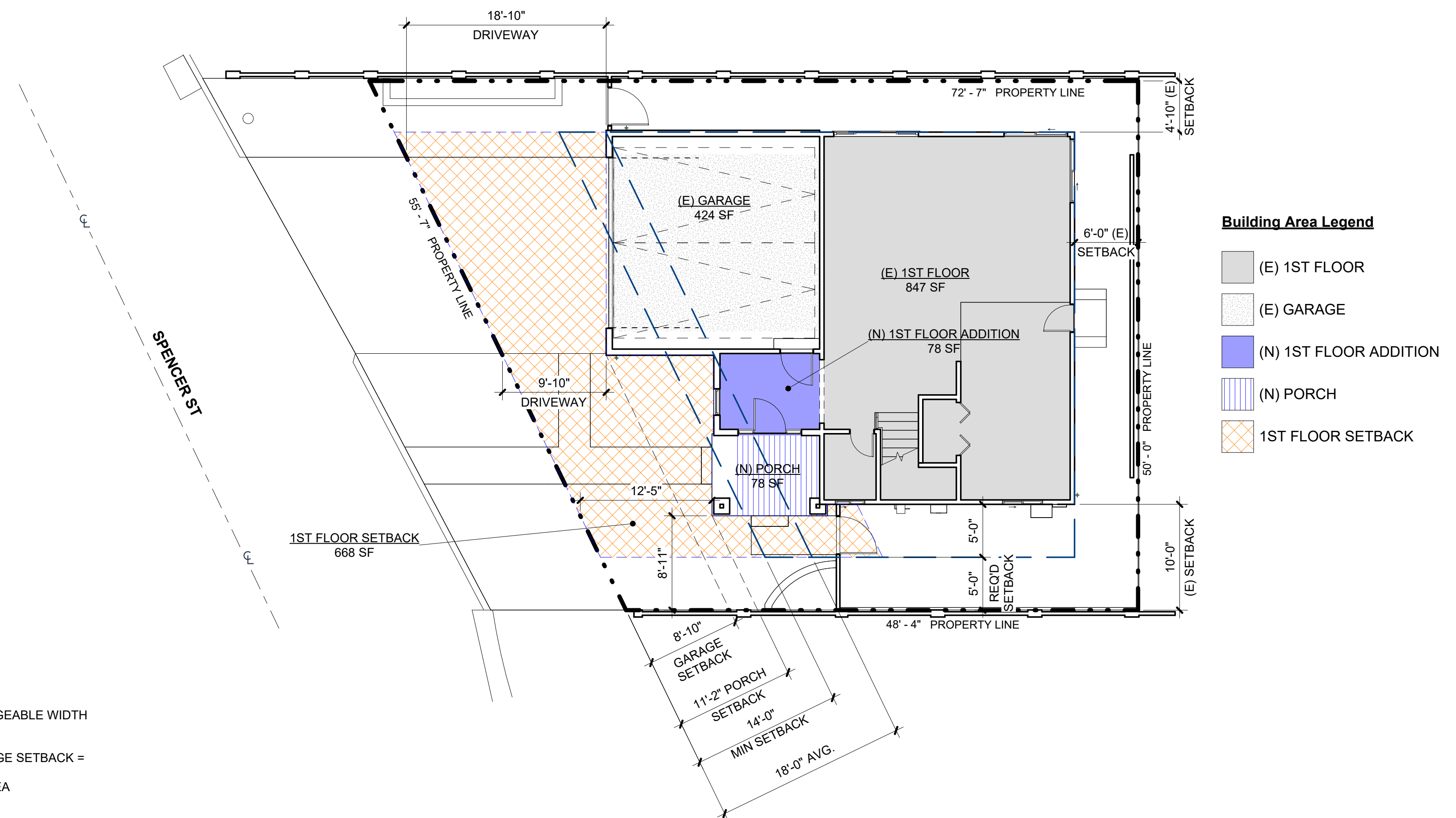
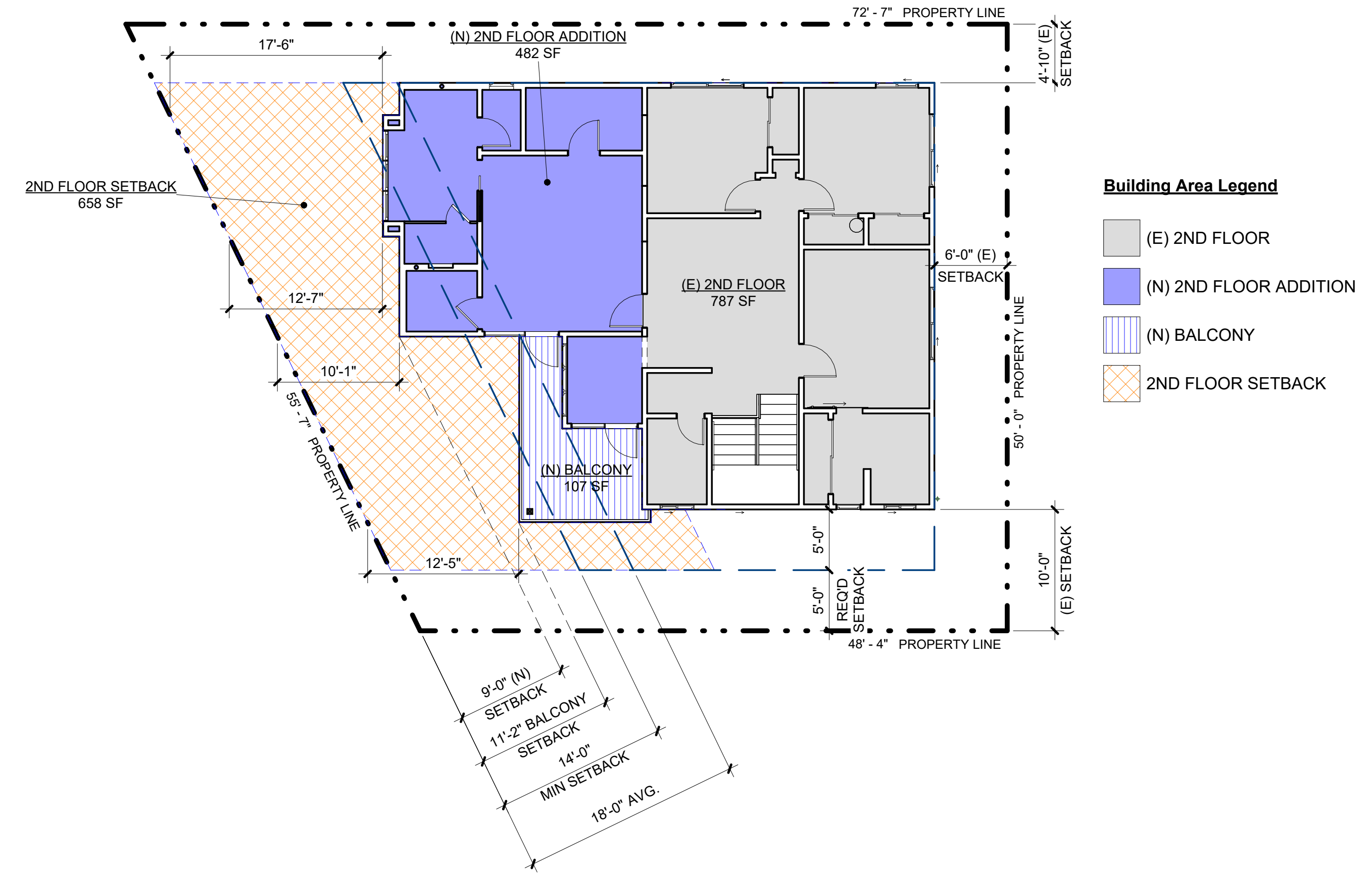
Site Belback Falls

Plot date:
1/29/2025
10:02:12 AM
Job no.
202322

Sheet no.

C-2

of sheets



SETBACK AVERAGING

LOT WIDTH - SIDE SETBACKS = AVERAGEABLE WIDTH
50' - 5' - 5' = 40' AVERAGEABLE WIDTH

AVERAGEABLE WIDTH X REQ'D AVERAGE SETBACK =
REQUIRED SETBACK AREA
40' X 18' = 720 REQUIRED SETBACK AREA

SETBACK AREA PROVIDED:
1ST FLOOR SETBACKS: 668 S.F.
2ND FLOOR SETBACKS: 658 S.F.

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA

BOUNDARY SURVEY
WITH TOPOGRAPHY

FOR
KIM CUTLER & ERIC YANG
811 SPENCER STREET
REDONDO BEACH, CA 90277
PHONE 909-239-7988

JOB ADDRESS
811 SPENCER STREET
REDONDO BEACH, CA 90277

LEGAL DESCRIPTION
PORTION OF LOT 3 & 4, BLOCK 103
TOWNSITE OF REDONDO BEACH
M.B. 39-1
APN 7504-013-036

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY FM CHECK BY TS 67

DRAWN ON JULY 1, 2024

REVISIONS
REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		EXISTING FENCE
	EXISTING CONTOUR		
	BLOCK WALL		
	BEGINNING OF CURB RETURN		
	CABLE TV PULL BOX		
	CONCRETE		
	CHIMNEY		
	CITY ENGINEERS FIELD BOOK		
	CENTERLINE		
	CHAIN LINE FENCE / WROUGHT IRON FENCE		
	EASTERLY		
	EAST		
	EDGE OF GUTTER		
	ELECTRIC METER		
	FINISH FLOOR		
	FIRE HYDRANT		
	FLOW LINE		
	GAS METER		
	GARAGE FINISH FLOOR		
	GUT WIRE		
	IRON PIPE MONUMENT		
	LEAD AND TACK / TAG MONUMENT		
	MANHOLE / SANITARY SEWER / STORM DRAIN		
	NORTHERLY		
	NAIL AND TAG / NAIL AND WASHER MONUMENT		
	NORTH		
	PROPERTY CORNER / PROP. CORNER		
	PROPERTY LINE / PROP. LINE		
	POWER POLE / UTILITY POLE		
	PARAPET		
	PUBLIC WORKS FIELD BOOK		
	RAIL ROAD		
	ROAD DEPARTMENT FIELD BOOK		
	RECORD OF SURVEY		
	SPR / S&W		
	SOUTHERLY		
	SANITARY SEWER CLEAOUT		
	STAKE / STAKE AND TAG MONUMENT		
	STREET LIGHT POLE / LIGHT POLE		
	TOP OF CURB		
	TOP OF APRON / BOTTOM OF APRON		
	WESTERLY		
	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THIS SURVEY PLAN FOR OFFSET
DIMENSIONS. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION BY PHONE AT:
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

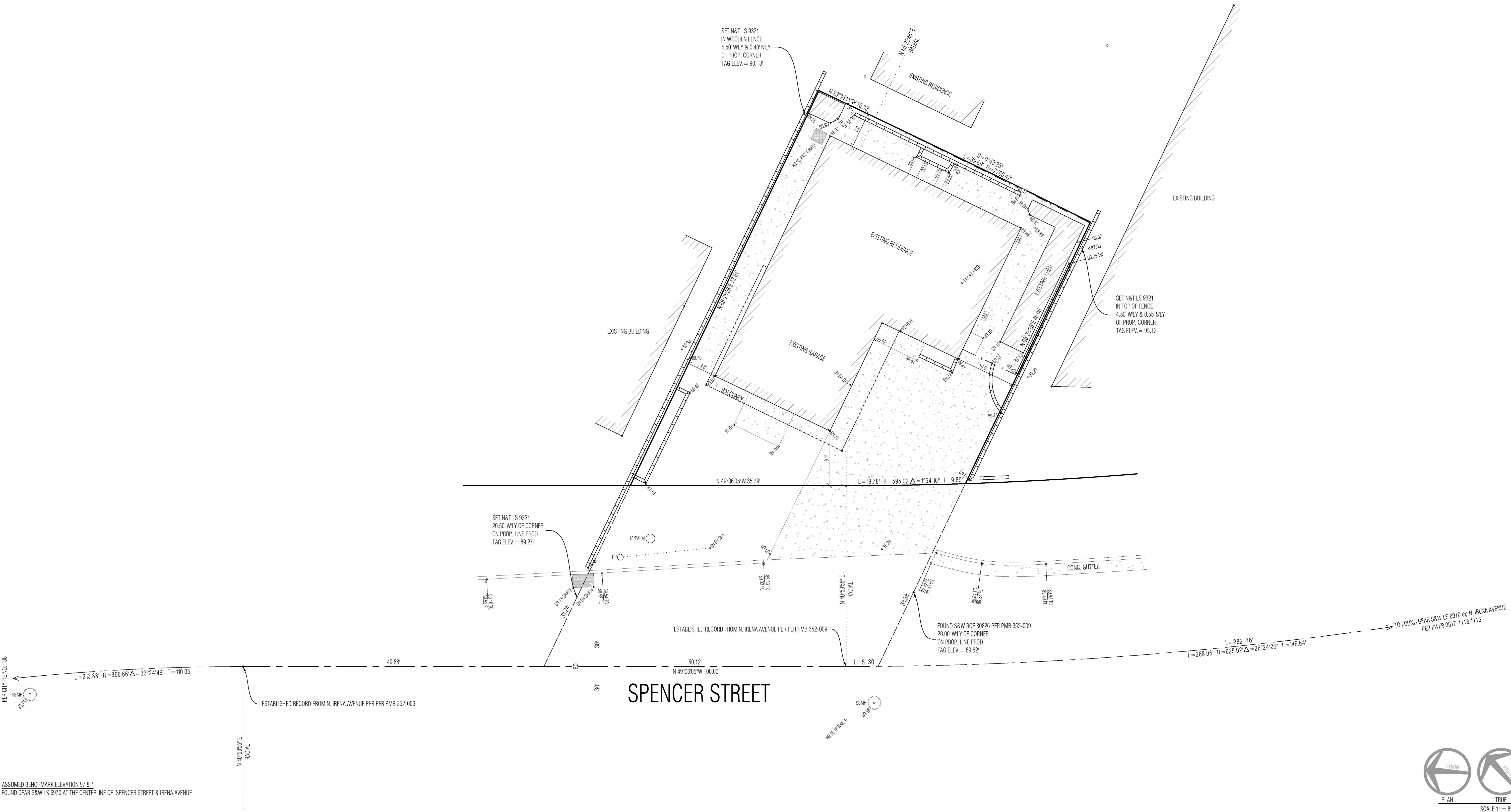
COPYRIGHT

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT
OF DENN ENGINEERS SHALL BE THE SOLE RESPONSIBILITY OF DENN ENGINEERS FROM ANY LIABILITY OR
DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY
ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS
MAY BE JOINED.

C-3

SHEET 1 OF 1

JOB NO. 24-205

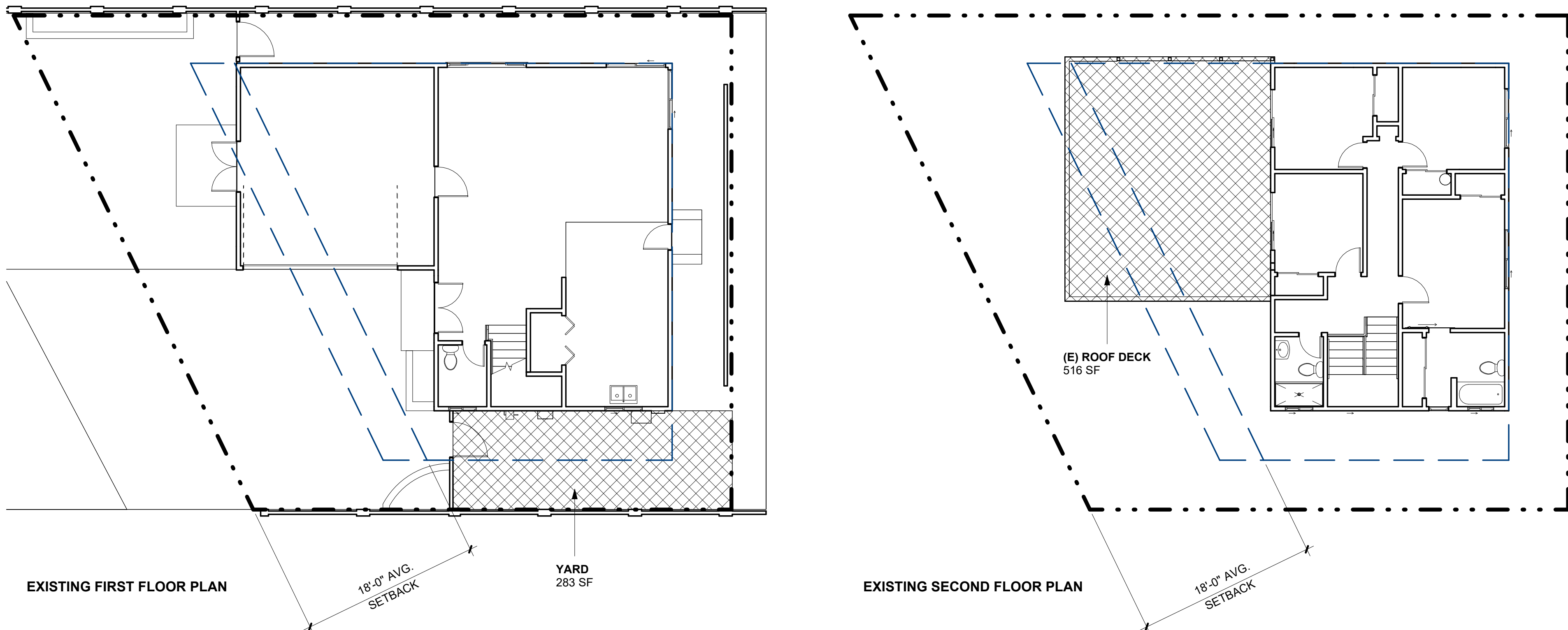
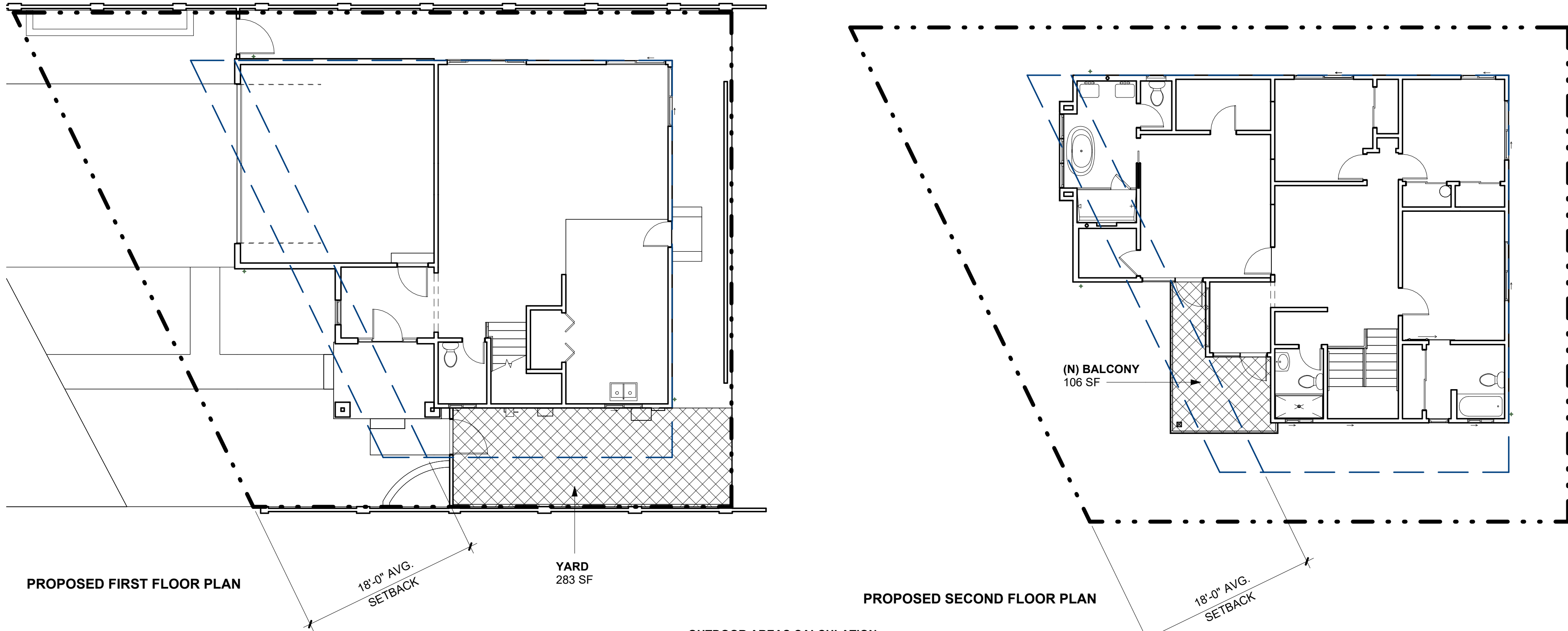


ASSUMED BENCHMARK ELEVATION 97.81'
FOUND GEAR S&W LS 6970 AT THE CENTERLINE OF SPENCER STREET & IRENA AVENUE

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING:

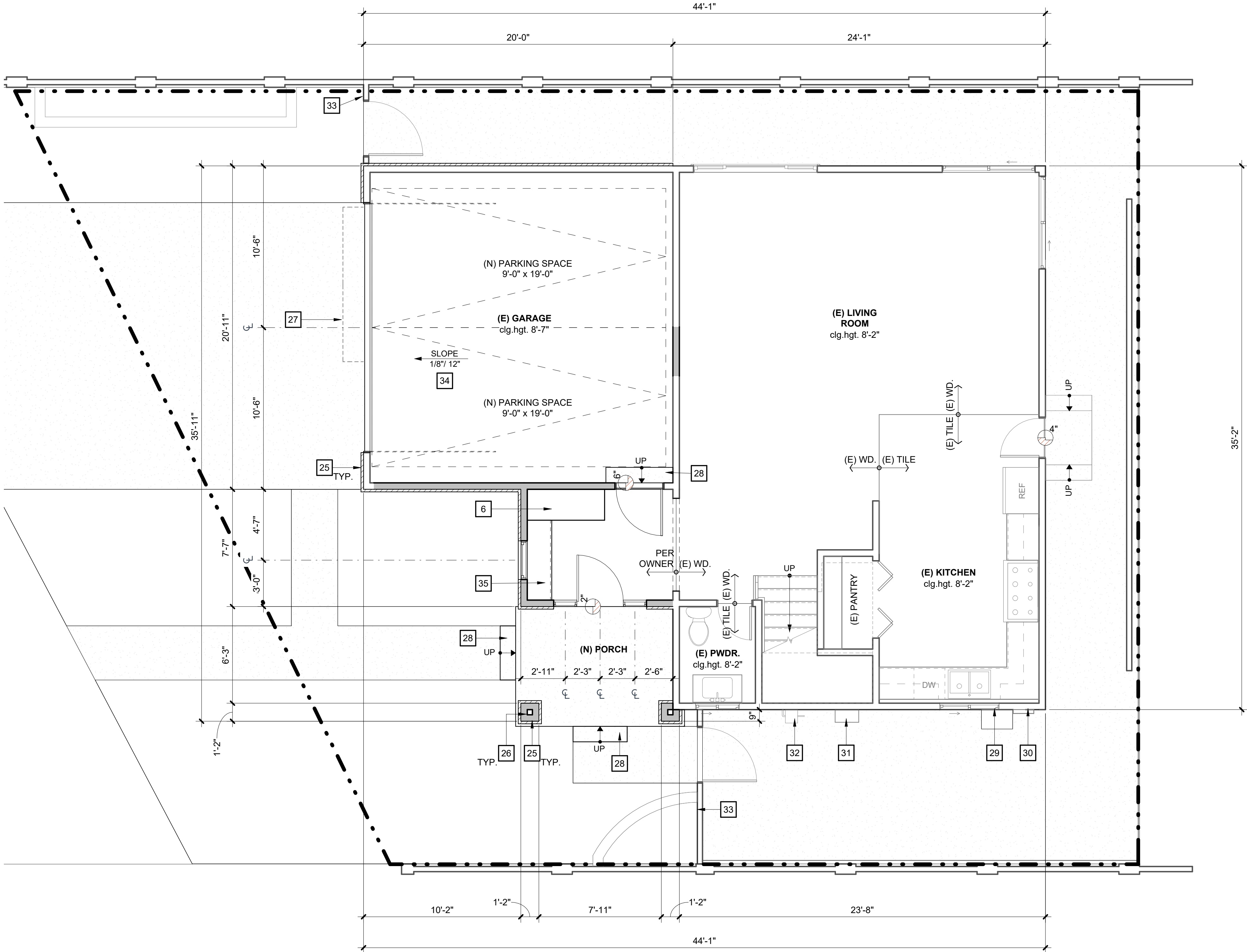
FIDELITY NATIONAL TITLE COMPANY
ORDER NO. 00213628-995-L80-JM6
DATED FEBRUARY 20, 2024

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA.

					
DETAIL TITLE	1	DETAIL TITLE	2	<p>EXISTING FIRST FLOOR PLAN</p> <p>EXISTING SECOND FLOOR PLAN</p> <p>PROPOSED FIRST FLOOR PLAN</p> <p>PROPOSED SECOND FLOOR PLAN</p> <p>YARD 283 SF</p> <p>(E) ROOF DECK 516 SF</p> <p>18'-0" AVG. SETBACK</p> <p>18'-0" AVG. SETBACK</p> <p>OUTDOOR AREAS CALCULATION SINGLE FAMILY DWELLING: 800 S.F. REQUIRED</p> <p>TOTAL PROVIDED:</p> <p>(E) YARD 283 S.F. 7'X10' MIN. (N) ROOF DECK 516 S.F.X 15% = 78 S.F. (PER RBMC 10-S-1510 - C2)</p> <p>TOTAL PROVIDED: 361 S.F.</p> <p>AREA LEGEND</p> <p>OUTDOOR AREA</p>	
DETAIL TITLE	7	DETAIL TITLE	8	<p>EXISTING OUTDOOR AREA</p>	
					
DETAIL TITLE	13	DETAIL TITLE	14	<p>PROPOSED FIRST FLOOR PLAN</p> <p>PROPOSED SECOND FLOOR PLAN</p> <p>YARD 283 SF</p> <p>(N) BALCONY 106 SF</p> <p>18'-0" AVG. SETBACK</p> <p>18'-0" AVG. SETBACK</p> <p>OUTDOOR AREAS CALCULATION SINGLE FAMILY DWELLING: 800 S.F. REQUIRED</p> <p>TOTAL PROVIDED:</p> <p>(E) YARD 283 S.F. 7'X10' MIN. (N) BALCONY 107 S.F.X 150% = 160 S.F. (PER RBMC 10-S-1510 - C1)</p> <p>TOTAL PROVIDED: 443 S.F.</p> <p>AREA LEGEND</p> <p>OUTDOOR AREA</p>	
DETAIL TITLE	19	DETAIL TITLE	20	<p>PROPOSED OUTDOOR AREA</p>	

[illegible]

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA



FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES

- (N) PLUMBING VENT
- 2X6 PLUMBING WALL
- MIRROR- SEE INTERIORS
- (N) BATHROOM VANITY SINK, FIXTURE AS SELECTED BY OWNER
- (N) TOWEL BAR
- (N) CABINET-OWNER PROVIDED, CONTRACTOR INSTALLED
- (N) COUNTERTOPS PER OWNER
- 30" CLEAR MIN WATERCLOSET ACCESS WITH 15" MIN. FROM CENTER TO WALL 24" MIN CLEAR IN FRONT OF TOILET.
- (N) TOILET AS SELECTED BY OWNER.
- (N) TEMPERATURE CONTROL VALVE PER OWNER
- HAND-BUILT SHOWER AND SAFETY GLASS WALL ADJACENT TO SHOWER. MINIMUM SHOWER DIMENSIONS 1024 SQUARE INCHES. SHOWER OPENING MUST BE A MINIMUM 22" WIDE
- WATER PROOF TILE UP TO 78" MIN. WATER RESISTANT GYPSUM WALL BOARD IS NOT PERMITTED FOR TILE BACKING AT SHOWER.
- LINEAR SHOWER DRAIN
- (N) SHOWER HEAD PER OWNER
- RECESSED SHELF
- (N) BATHTUB PER OWNER
- CURBLESS, ZERO THRESHOLD SHOWER TRANSITION. SEE DETAIL: XX/XX
- PROVIDE SHELF & POLE UNLESS OWNER INDICATES OTHERWISE
- (E) ATTIC ACCESS
- LINE OF ROOF ABOVE
- (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL
- RELOCATE (E) STACKABLE W/D FROM GARAGE. PROVIDE WATER, WASTE, & SMITTY PAN
- (N) DRYER VENT PER U.M.C. 504.3.4" DIAMETER TO THE OUTSIDE, EQUIPPED WITH BACK-DRAFT DAMPER, DUCT LENGTH IS LIMITED TO 14' WITH 2 90 DEGREE ELBOWS, CMC 504.3.2.2. SEE PLAN FOR ROUTE TO EXTERIOR
- (N) PAINTED WOOD COLUMN
- (N) STONE VENER AS SELECTED BY OWNER, INSTALL PER MANUFACTURER'S SPECIFICATIONS
- WOOD FRAMED COLUMN
- LINE OF 2ND FLOOR ABOVE
- (N) CONC. STEP
- (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
- (E) ELECTRICAL METER, UPGRADE AS REQUIRED TO 200 AMP MIN. PER SOUTHERN CALIFORNIA EDISON
- (E) TANKLESS WATER HEATER
- (E) GAS METER
- (E) FENCE AND GATE
- CHANGE SLOPE DIRECTION TO (N) GARAGE DOOR
- (N) MUDROOM STYLE BENCH SEAT
- (E) DUCT CHASE
- (E) FAU IN ATTIC ABV.

FLOOR PLAN NOTES

11

DETAIL TITLE

17

DETAIL TITLE

23

GENERAL NOTES:

- The governing codes are the 2022 CBC, 2022 CMC, 2022 CPC, 2022 CEC.
- Bathroom and service room windows shall provide 1.2 square feet minimum openable area or be provided with mechanical ventilation capable of providing five air changes per hour.
- Provide interconnected smoke detectors in each hallway leading to bedrooms and in each bedroom of new and existing construction and on top of stairway. In new construction, detectors to be wired, with battery backup. (Detectors are not to be located in kitchen, garage, or within 3 feet from door to kitchen or bathroom or supply air registers.) See:
- All gypsum wall board shall be 5/8" thick minimum, 5/8" Type X where indicated on plans. All work shall conform to UBC 2511. Inspection of nailing required for all gypsum wall board. Corner beads are to be nailed. Joint spacing 3/8" maximum.
- All glass panels over 9 square feet within 18" of floor and glass within 24" of door edges shall be fully tempered. All glazing in tub and shower enclosures shall be laminated, fully tempered, or wire glass. All safety glazing shall be etch marked per CBC 2406.
- All existing plumbing fixtures must be upgraded pursuant to California Civil Code, Sections 1101.1-1101.8 to comply with the following consumption limits:
 - Any toilet manufactured to use more than 1.6 gallons of water per flush
 - Any urinal manufactured to use more than one gallon of water per flush.
 - Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
 - Any interior faucet that emits more than 2.2 gallons of water per minute.
- New water closets shall be 1.28 gallons per flush at maximum. Showerheads shall have a max. flow rate of 2.0 gallons per minute at 80 psi. Laundry and sink faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Lavatory faucets shall have a maximum flow rate of 1.5 gallons per minute at 60 psi. Control valves for shower and tub-shower shall be of the pressure balance or thermostatic mixing valve type Sec. 4.303 CBC. Hot water is required to be on left.
- All hose bibbs shall be protected by an anti-siphon device.
- Pools, spas, walls, fences, patio covers and other freestanding structures require separate reviews and permits.
- All plumbing material used in the water supply system, except valves and similar devices, shall be of like materials.
- Title 24 Energy Conservation:
 - Insulation:
 - Per energy efficiency calculations
 - Glazing:
 - Refer to window / door schedule.
- Provide shatter resistant material for shower enclosure. Water resistant gypsum wall board is not permitted for tile backing at shower.
- Edison Company approval is required for meter location prior to installation.
- Electrical service shall be upgraded as required.
- Existing sewer lateral to be changed and a clean-out installed at the property line to comply with city standard if any of the following conditions occur:
 - Alteration to the building sewer is done.
 - Additional plumbing fixtures require an increase in size of building line.
 - When 6 or more fixture units are added to an existing undersized plumbing system.
 - When it is found that the building sewer is installed in an illegal or unsanitary manner.
- If the Building Inspector determines that any of these conditions occur, sewer lateral shall be changed and a new clean out installed to comply with City standards.
- New gas FAU's shall have 78% AFUE, minimum.
- Provide street address on building per City requirement.
- Provide fire blocking per CBC 708.
- Provide water heater combustion air, venting, drain pan and line per UPC Chapter 5. Water heaters shall be strapped at top and bottom with 1 1/2" x 16-gauge strap with 3/8" Ø x 3" lag screws each end to studs. Vent to outside air. Pressure relief valve to terminate outside of garage.
- Field inspectors shall review and approve underground service requirements prior to concrete placement.
- A licensed surveyor must complete FEMA elevation certificate and submit to Building Department inspector after the first floor is poured.
- All mechanical and electrical equipment including ducts to be above elevation 6.27 msl.
- Stucco lath and drywall shall be nailed to all studs and top-bottom plates.
- Use 2-15# felt backing when stucco is applied over plywood, CBC Sec. 2510.
- Insulation installer shall post in a conspicuous location in building a certificate signed by the installer and the builder stating the installation conforms with the requirements of Title 24, part 6 and that the materials installed conform with the requirements of Title 20, Chapter 2, Subchapter 4, Article 3.
- The builder shall provide the original occupant with a list of the heating, cooling, water heating and lighting systems and conservation or solar devices installed in the building and instructions on how to use them efficiently.
- Shower compartments and walls above bathtub with shower heads shall be finished with a smooth, nonabsorbent surface to a height not less than 6 feet above floor. (R307.2)
 - Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas. (R702.4.2)

GENERAL NOTES

18

- FLOOR PLAN NOTE
- WINDOW CALL-OUT
- DOOR CALL-OUT
- GYP. BD. OVER WOOD STUD WALLS - 2X4 INTERIOR 2X6 EXTERIOR - @ 16" O.C. U.N.O. (REFER TO STRUCTURAL PLANS) ALL EXTERIOR STUD WALLS INSULATED PER ENERGY EFF. CALCS.
- EXISTING WALL TO REMAIN
- FLOOR MATERIAL CHANGE. REFER TO INTERIORS FOR MATERIALS
- DETAIL
- THRESHOLD HEIGHT INDICATOR

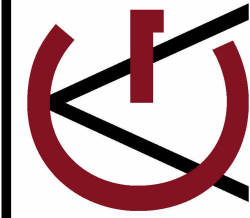
FLOOR PLAN LEGEND

24

REVISION



GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

First Floor Plan

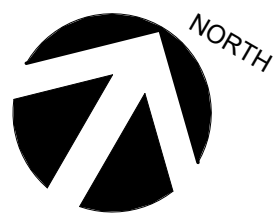
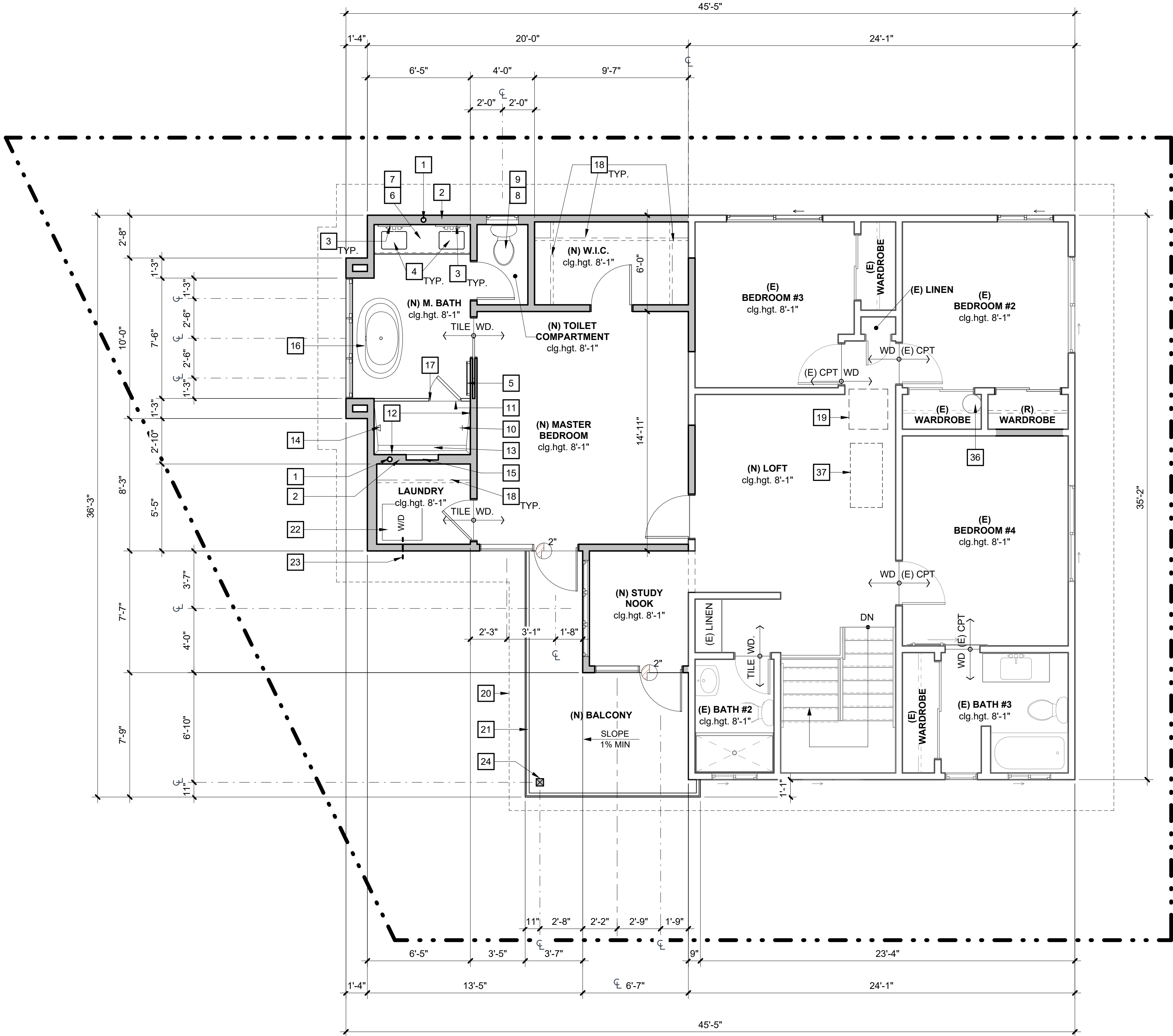
plot date:
5/29/2025
10:02:16 AM
job no.
202322

Sheet no.

A-1
of sheets

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA



Scale: 1/4" = 1'-0"

FLOOR PLAN NOTES

- (N) PLUMBING VENT
- 2X6 PLUMBING WALL
- MIRROR- SEE INTERIORS
- (N) BATHROOM VANITY SINK, FIXTURE AS SELECTED BY OWNER
- (N) TOWEL BAR
- (N) CABINET-OWNER PROVIDED, CONTRACTOR INSTALLED
- (N) COUNTERTOPS PER OWNER
- 30" CLEAR MIN WATERCLOSET ACCESS WITH 15" MIN. FROM CENTER TO WALL 24" MIN CLEAR IN FRONT OF TOILET.
- (N) TOILET AS SELECTED BY OWNER.
- (N) TEMPERATURE CONTROL VALVE PER OWNER
- HAND-BUILT SHOWER AND SAFTEY GLASS WALL ADJACENT TO SHOWER. MINIMUM SHOWER DIMENSIONS 1024 SQUARE INCHES. SHOWER OPENING MUST BE A MINIMUM 22" WIDE
- WATER PROOF TILE UP TO 78" MIN. WATER RESISTANT GYPSUM WALL BOARD IS NOT PERMITTED FOR TILE BACKING AT SHOWER.
- LINEAR SHOWER DRAIN
- (N) SHOWER HEAD PER OWNER
- RECESSED SHELF
- (N) BATHTUB PER OWNER
- CURBLESS, ZERO THRESHOLD SHOWER TRANSITION. SEE DETAIL: XX/XX
- PROVIDE SHELF & POLE UNLESS OWNER INDICATES OTHERWISE
- (E) ATTIC ACCESS
- LINE OF ROOF ABOVE
- (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL
- RELOCATE (E) STACKABLE W/D FROM GARAGE. PROVIDE WATER, WASTE, & SMITTY PAN
- (N) DRYER VENT PER U.M.C. 504.3 4" DIAMETER TO THE OUTSIDE. EQUIPPED WITH BACK-DRAFT DAMPER. DUCT LENGTH IS LIMITED TO 14' WITH 2 90 DEGREE ELBOWS. CMC 504.3.2.2. SEE PLAN FOR ROUTE TO EXTERIOR
- (N) PAINTED WOOD COLUMN
- (N) STONE VENEER AS SELECTED BY OWNER, INSTALL PER MANUFACTUERER'S SPECIFICATIONS
- WOOD FRAMED COLUMN
- LINE OF 2ND FLOOR ABOVE
- (N) CONC. STEP
- (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
- (E) ELECTRICAL METER, UPGRADE AS REQUIRED TO 200 AMP MIN. PER SOUTHERN CALIFORNIA EDISON
- (E) TANKLESS WATER HEATER
- (E) GAS METER
- (E) FENCE AND GATE
- CHANGE SLOPE DIRECTION TO (N) GARAGE DOOR
- (N) MUDROOM STYLE BENCH SEAT
- (E) DUCT CHASE
- (E) FAU IN ATTIC ABV.

DETAIL TITLE

6

DETAIL TITLE

11

FLOOR PLAN NOTES

12

DETAIL TITLE

17

DETAIL TITLE

18

1

FLOOR PLAN NOTE

101

WINDOW CALL-OUT

101

DOOR CALL-OUT

GYP. BD. OVER WOOD STUD WALLS - 2X4 INTERIOR 2X6 EXTERIOR - @ 16" O.C. U.N.O. (REFER TO STRUCTURAL PLANS) ALL EXTERIOR STUD WALLS INSULATED PER ENERGY EFF. CALCS.

EXISTING WALL TO REMAIN

FLOOR MATERIAL CHANGE. REFER TO INTERIORS FOR MATERIALS

X
A-X

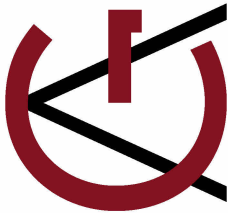
DETAIL

1"

THRESHOLD HEIGHT INDICATOR

REVISION

GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

Second Floor Plan

plot date:
5/29/2025
10:02:16 AM

job no.
202322

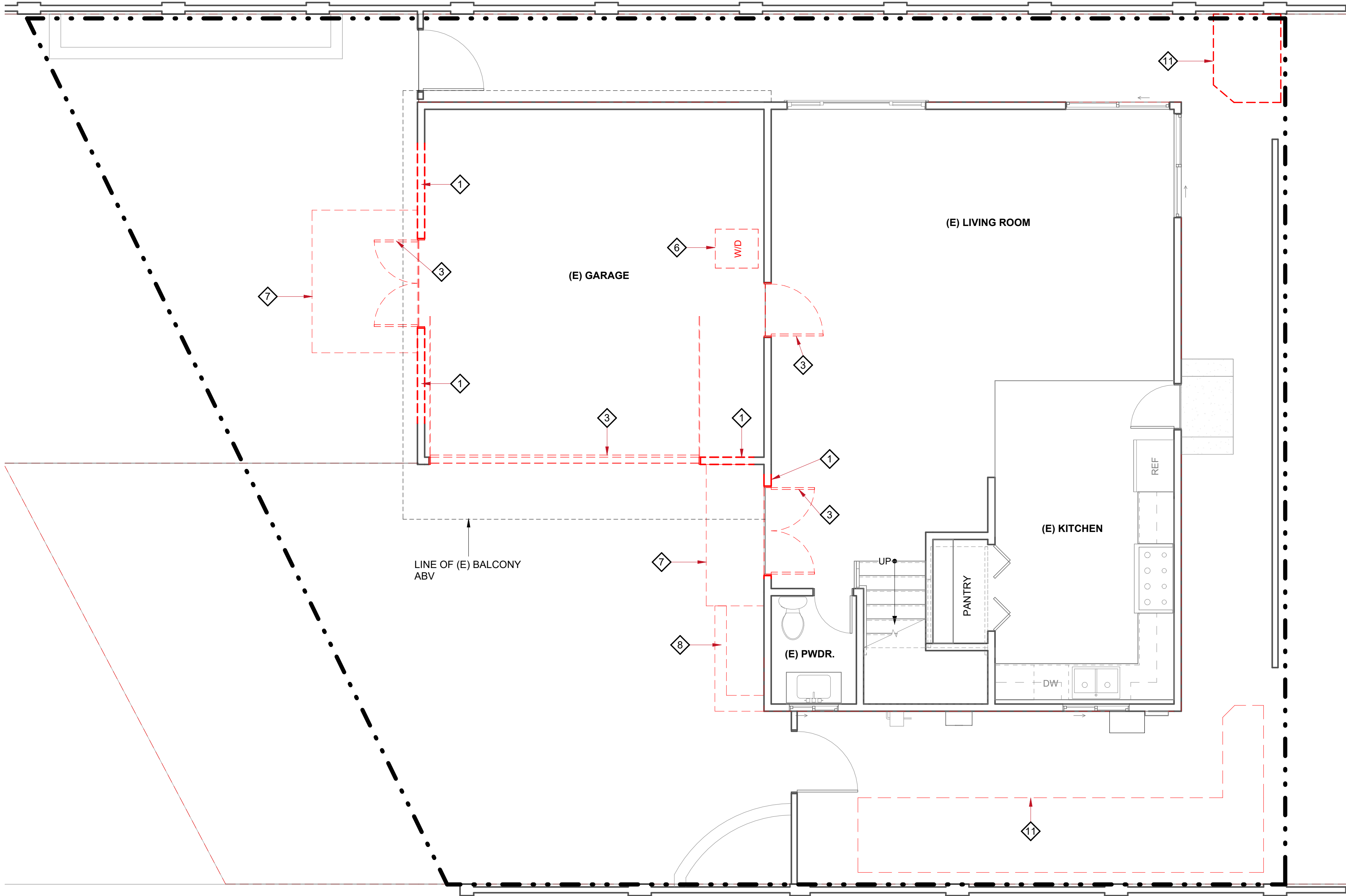
Sheet no.

A-2

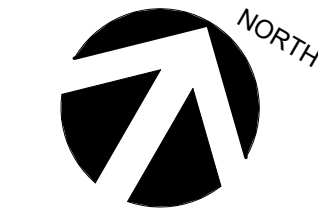
of sheets

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

Mark, Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA



FIRST FLOOR DEMOLITION PLAN



Scale: 1/4" = 1'-0"

22

DETAIL TITLE

5

DETAIL TITLE

11

DEMOLITION NOTES

- 1 REMOVE PORTION OF WALL
- 2 REMOVE GUARDRAIL
- 3 REMOVE DOOR
- 4 REMOVE SHELF AND POLE
- 5 REMOVE FIN. FLOORING MATERIAL AS INDICATED BY OWNER
- 6 REMOVE AND RELOCATE APPLIANCE, SAVE FOR REINSTALLATION - CAP OR REMOVE UTILITIES AS REQUIRED
- 7 REMOVE (E) CONCRETE LANDING
- 8 REMOVE (E) PLANTER
- 9 HATCH INDICATES REMOVAL OF BALCONY FINISHES & RELATED FRAMING AS REQUIRED TO ACCOMMODATE ADDITION
- 10 SHADING INDICATES LOCATION OF 182 S.F ROOF REMOVAL OR REVISION, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION. PROVIDE ATTIC VENTING AS INDICATED ON ROOF PLAN
- 11 REMOVE (E) UNPERMITTED SHED ABOVE

DEMOLITION SCHEDULE

17

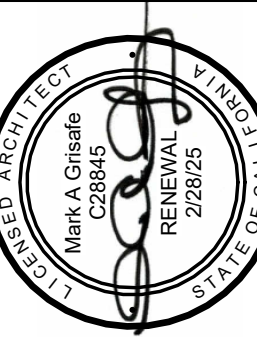
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- AREA OF ROOF TO BE DEMOLISHED/REVISED, COORDINATE WITH STRUCTURAL PLANS PRIOR TO DEMOLITION

DEMOLITION LEGEND

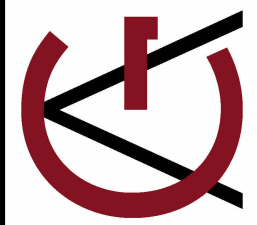
DEMOLITION NOTES

- IN COMPANY WITH OWNER AND ARCHITECT, VISIT SITE AND VERIFY EXTENT AND LOCATION OF SELECTIVE DEMOLITION REQUIRED. VERIFY WHAT ITEMS ARE TO BE KEPT AND PROVIDE PROPER AND SAFE STORAGE OF THESE ITEMS.
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHAT KIND, HOW MANY, AND HOW LONG TEMPORARY BRACING IS TO BE PLACED. ANY AREAS OF THE BUILDING DAMAGED THROUGH NEGLIGENCE BY THE GENERAL CONTRACTOR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.
 - PREPARE AND FOLLOW AN ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS:
 - SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING PUBLIC UTILITY LINES IN ACCORDANCE WITH REQUIREMENTS OF PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
 - COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS.
 - NOTIFY OWNER'S SECURITY COMPANY AND COORDINATE AS REQUIRED.
 - DEMOLISHED MATERIAL IS PROPERTY OF CONTRACTOR: COMPLETELY REMOVE FROM JOB SITE AND DISPOSE OF IN A LAWFUL MANNER.
 - PREVENT DUST BECOMING A NUISANCE TO PUBLIC, TO NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR JOB SITE.
JOB CONDITIONS
 - DO NOT INTERFERE WITH USE OF ADJACENT PROPERTIES OR CONTINUING OPERATION OF BUILDING DURING WORKING HOURS. MAINTAIN FREE AND SAFE PASSAGE FOR WORKERS AND PUBLIC ON PRIVATE AND PUBLIC PROPERTIES AND EASEMENTS.
 - PREVENT MOVEMENT AND SETTLEMENT OF STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, COLLAPSE, DAMAGES, OR INJURY.
 - CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED AND ASSURED. BE SOLELY RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK.
 - CAREFULLY REMOVE, STORE, AND PROTECT FOR RE-INSTALLATION, MATERIALS AND EQUIPMENT IDENTIFIED ON DRAWING OR DESIGNATED BY THE ENGINEER OR OWNER IN FIELD. MAINTAIN POSSESSION OF ALL OTHER MATERIALS AND EQUIPMENT BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE IN A LAWFUL MANNER.
 - DURING REMOVAL OF OVERHEAD ELEMENTS, PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
 - PROTECTION:
 - ERECT BARRIERS, FENCES, GUARD RAILS, ENCLOSURES, CHUTES, AND SHORING TO PROTECT PERSONNEL, STRUCTURES, AND UTILITIES REMAINING INTACT.
 - PROTECT EXISTING MATERIALS FROM DAMAGE.
 - MAINTAINING TRAFFIC:
 - ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, DRIVEWAYS, SIDEWALKS, AND ADJACENT FACILITIES.
 - DO NOT CLOSE OR OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR PASSAGEWAYS WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 - IF REQUIRED BY GOVERNING AUTHORITIES, PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS.
- PREPARATION
- VERIFY CONTINUATION OF UTILITY SERVICES TO THE STRUCTURE.
 - PROVIDE ADEQUATE BARRIERS BETWEEN THE ADDITION/REMODEL AREAS AND THE EXISTING AREAS THAT WILL BE OCCUPIED SO THAT NOISE AND DUST WILL NOT BE TRANSFERRED INTO HABITABLE AREAS.
 - REMOVE ITEMS SCHEDULED TO BE SALVAGED FOR OWNER, AND PLACE IN DESIGNATED STORAGE AREA.
 - IF REQUIRED, PRIOR TO CONSTRUCTION, THE OWNER WILL HAVE HAD ALL FRIABLE AND TOXIC MATERIALS REMOVED AND THE BUILDING CERTIFIED. IF ANY ADDITIONAL EVIDENCE OF THE POTENTIAL OF AIRBORNE ASBESTOS, OR TOXIC WASTES BECOMES APPARENT - STOP WORK IMMEDIATELY AND NOTIFY THE OWNER. THE OWNER'S ASBESTOS INSPECTION OR ABATEMENT SHALL COMPLY WITH THE REGULATIONS CONTAINED IN 40 CFR PART 763 ALSO KNOWN AS THE ASBESTOS HAZARD EMERGENCY RESPONSE ACT (AHERA). DEMOLITION
 - COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. REMOVE AND UNDERTAKE DEMOLITION IN A DELIBERATE AND SYSTEMATIC MANNER, TAKING NOTE OF ALL MATERIALS AND SYSTEMS ENCOUNTERED. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED. DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ITS REMOVAL OR DEMOLITION MAY HAVE ON EXISTING CONSTRUCTION, STRUCTURE AND BUILDING SERVICES. IF THERE ARE ANY QUESTIONS CONCERNING THE DISPOSITION OF EXISTING CONSTRUCTION ENCOUNTERED NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING. ASSUME ALL RESPONSIBILITY AND LIABILITY, INCLUDING CONSEQUENTIAL DAMAGES RESULTANT OF FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.
 - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO OWNER MATCH EXISTING TO REMAIN OR NEW WORK.

REVISION	



GRISAFE
ARCHITECTURE, INC.
4409 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

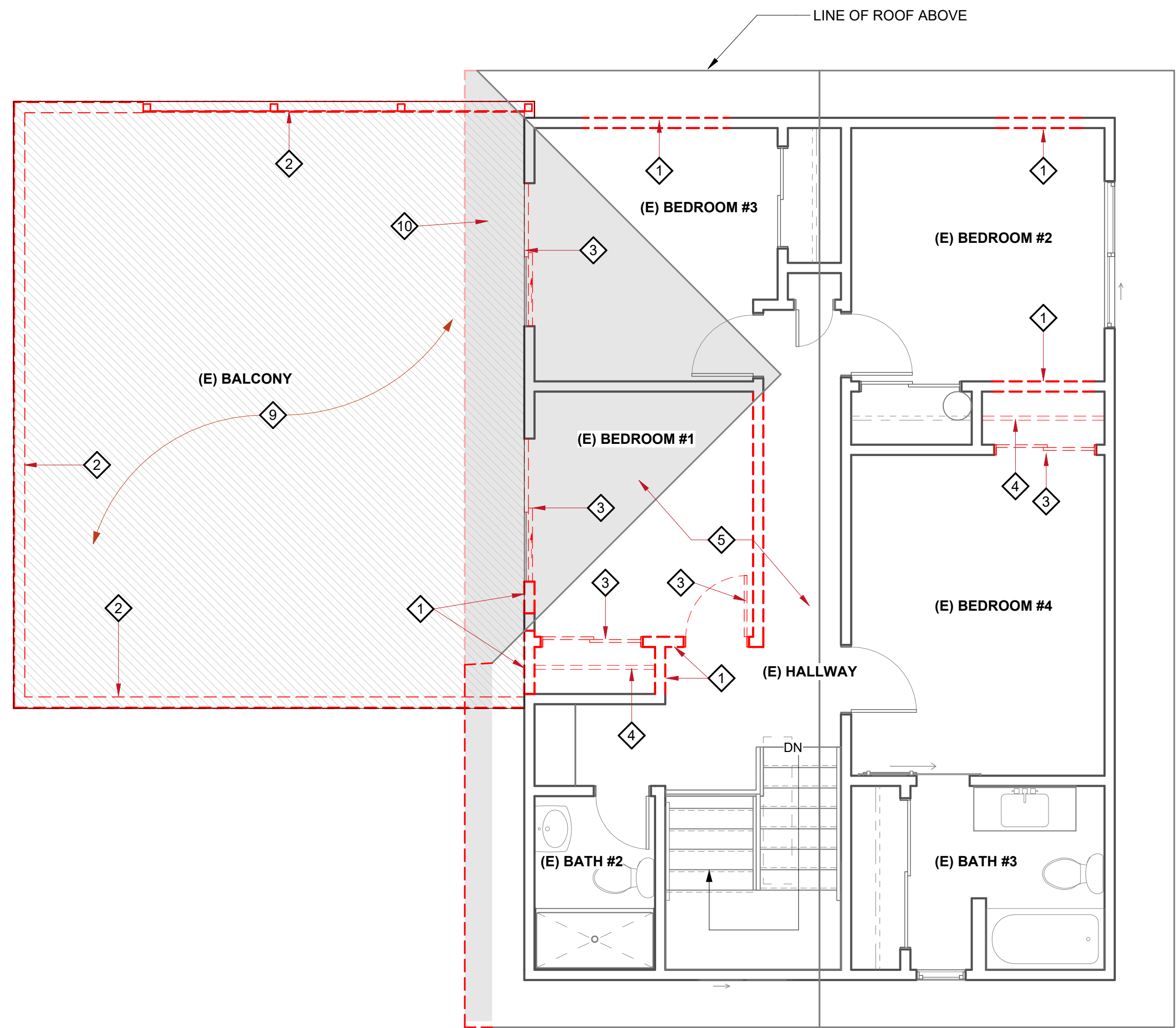
First Floor Demolition Plan

plot date:
5/29/2025
10:02:17 AM
job no.
202322

Sheet no.

A-3
of sheets

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA



SECOND FLOOR DEMOLITION PLAN

Scale: 1/4" = 1'-0"

22

DETAIL TITLE

23

DETAIL TITLE

24

of she

of sheets

THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY

plot date:
5/29/2025
10:02:17 AM

job no.
202322

Sheet no

A-4

of sheets

72

DEMOLITION NOTES




- 1 REMOVE PORTION OF WALL
- 2 REMOVE GUARDRAIL
- 3 REMOVE DOOR
- 4 REMOVE SHELF AND POLE
- 5 REMOVE FIN. FLOORING MATERIAL AS INDICATED BY OWNER
- 6 REMOVE AND RELOCATE APPLIANCE. SAVE FOR
REINSTALLATION - CAP OR REMOVE UTILITIES AS REQUIRED
- 7 REMOVE (E) CONCRETE LANDING
- 8 REMOVE (E) PLANTER
- 9 HATCH INDICATES REMOVAL OF BALCONY FINISHES &
RELATED FRAMING AS REQUIRED TO ACCOMMODATE
ADDITION
- 10 SHADING INDICATES LOCATION OF 182 S.F ROOF REMOVAL
OR REVISION. COORDINATE WITH STRUCTURAL PLANS
PRIOR TO DEMOLITION. PROVIDE ATTIC VENTING AS
INDICATED ON ROOF PLAN
- 11 REMOVE (E) UNPERMITTED SHED ABOVE

DETAIL TITLE

5

DEMOLITION SCHEDULE

6

 EXISTING WALL TO REMAIN
 EXISTING WALL TO BE DEMOLISHED
 AREA OF ROOF TO BE DEMOLISHED COORDINATE WITH STRUCTURAL PLAN TO DEMOLITION

DETAIL TITLE

11

DEMOLITION LEGEND

12

DETAIL TITLE

17

DETAIL TITLE

18

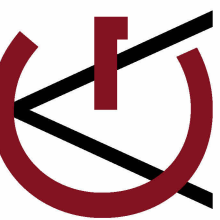
DETAIL TITLE

23

DETAIL TITLE

24

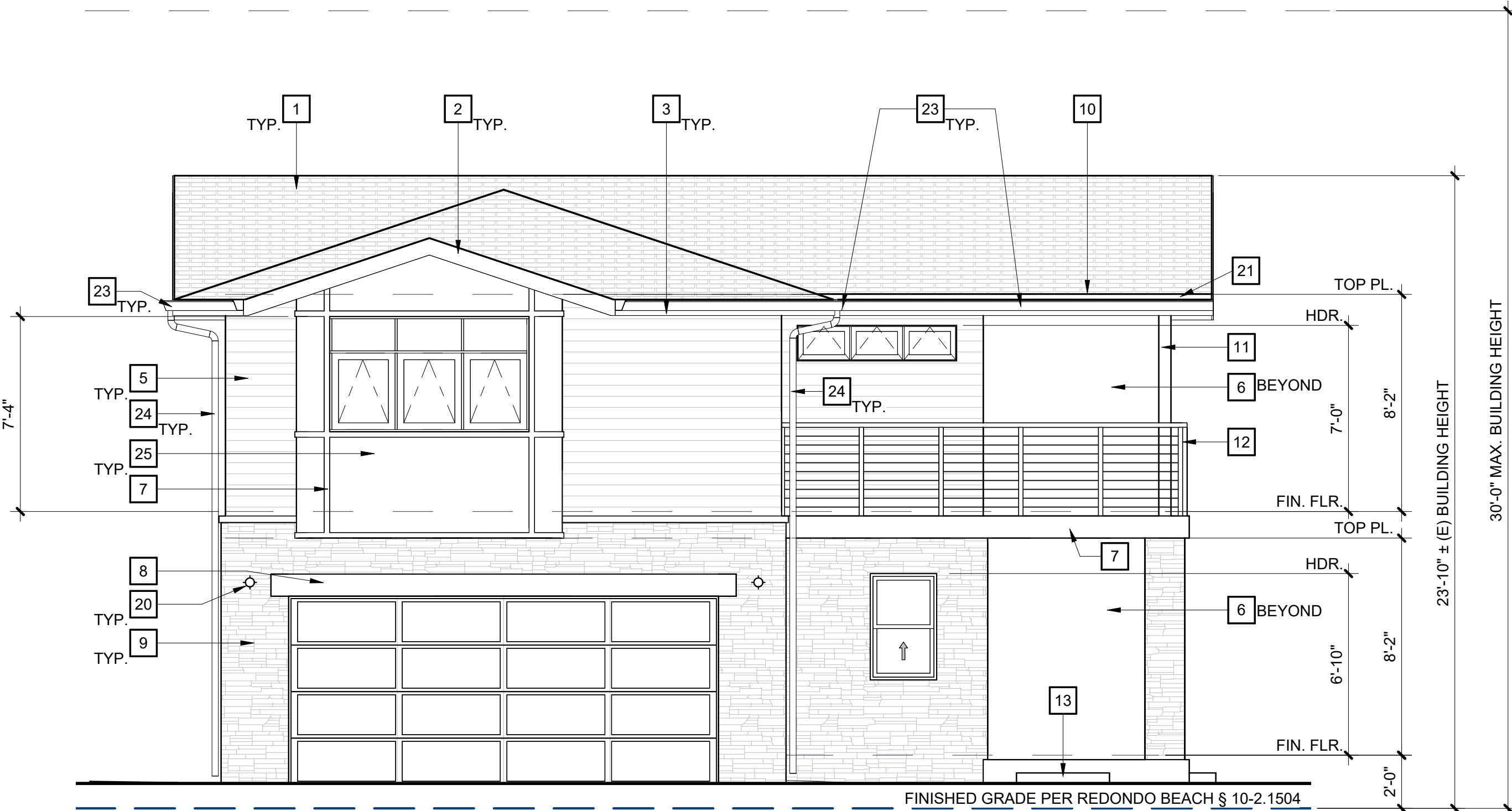
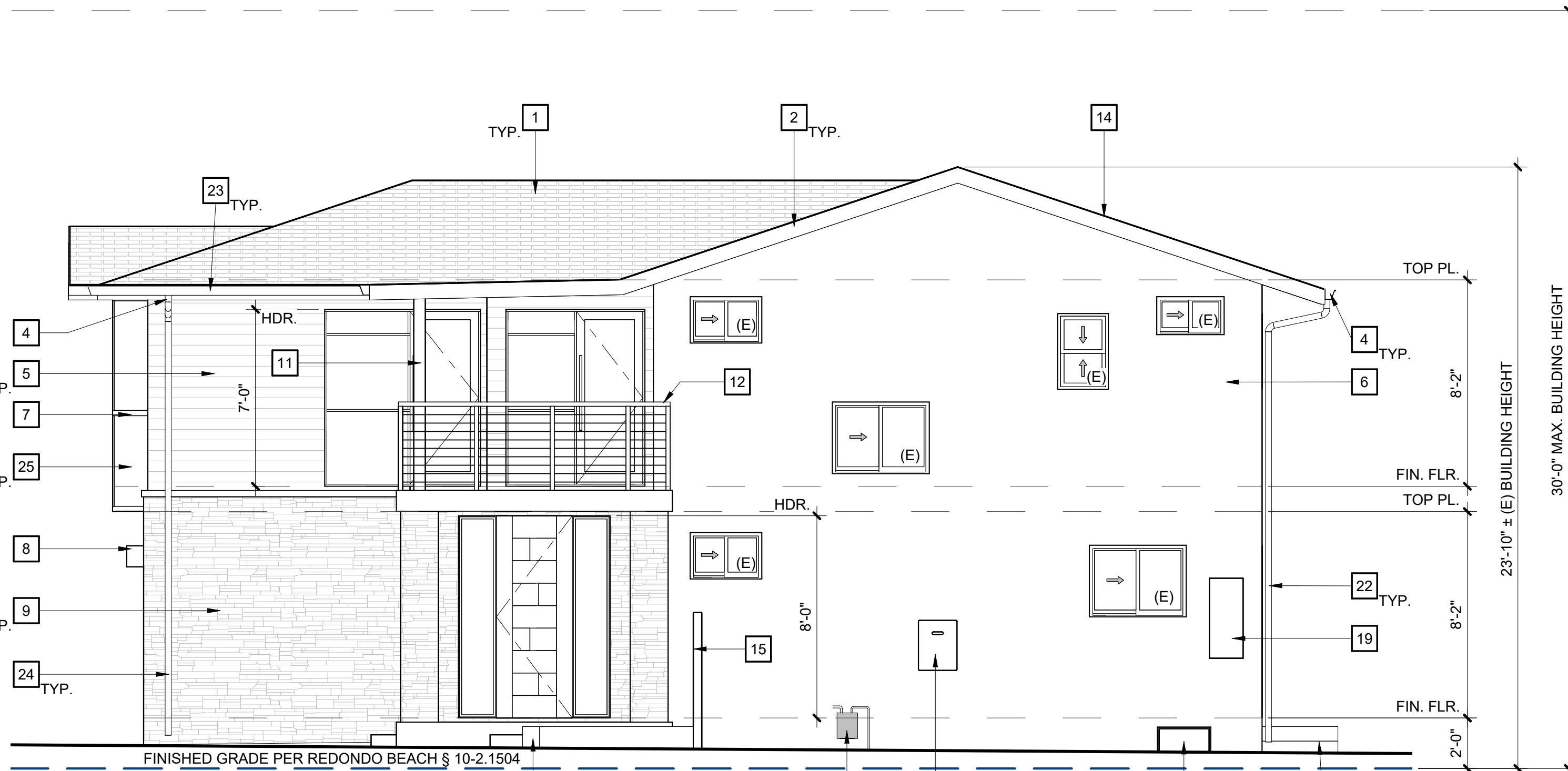
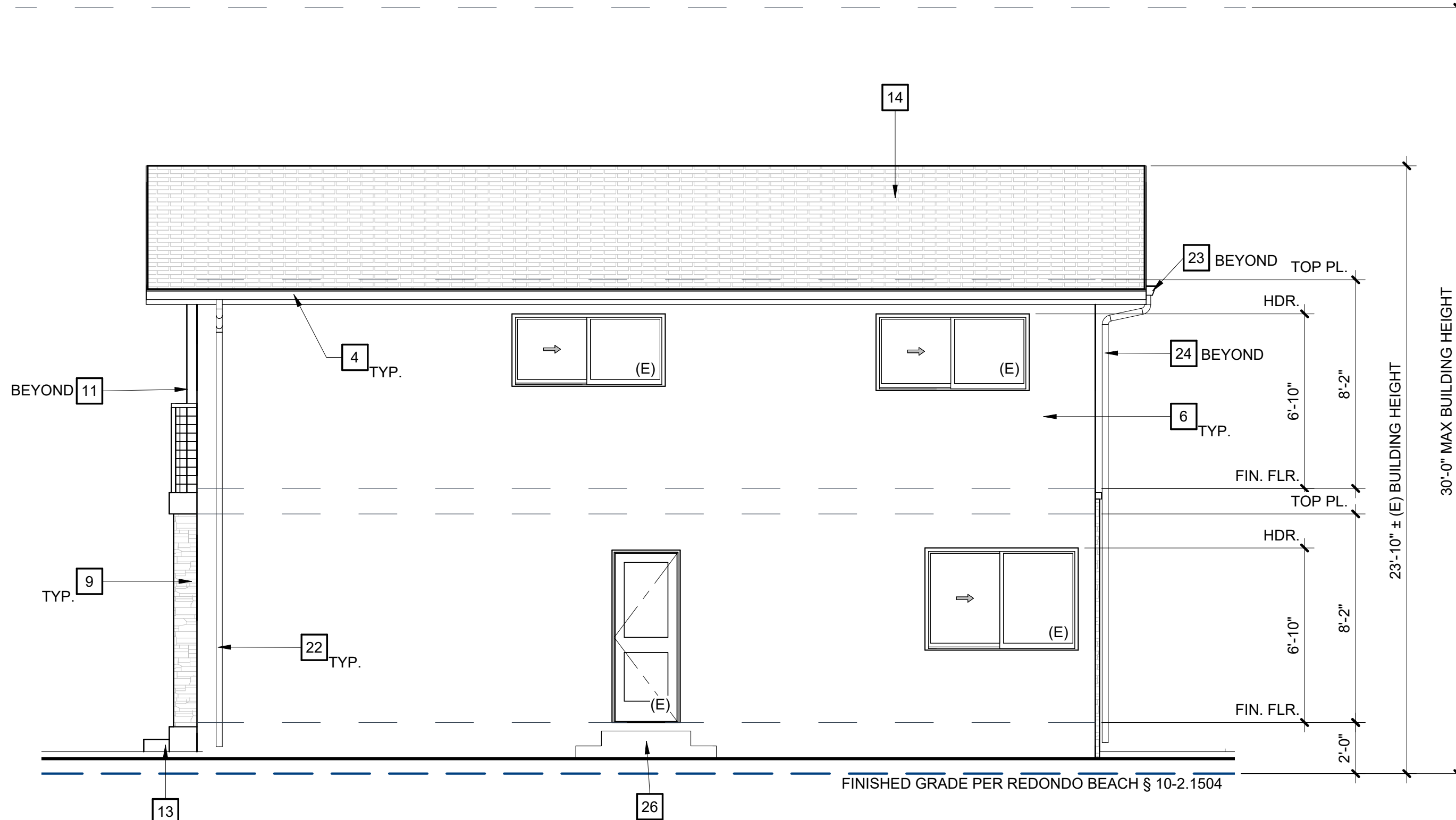
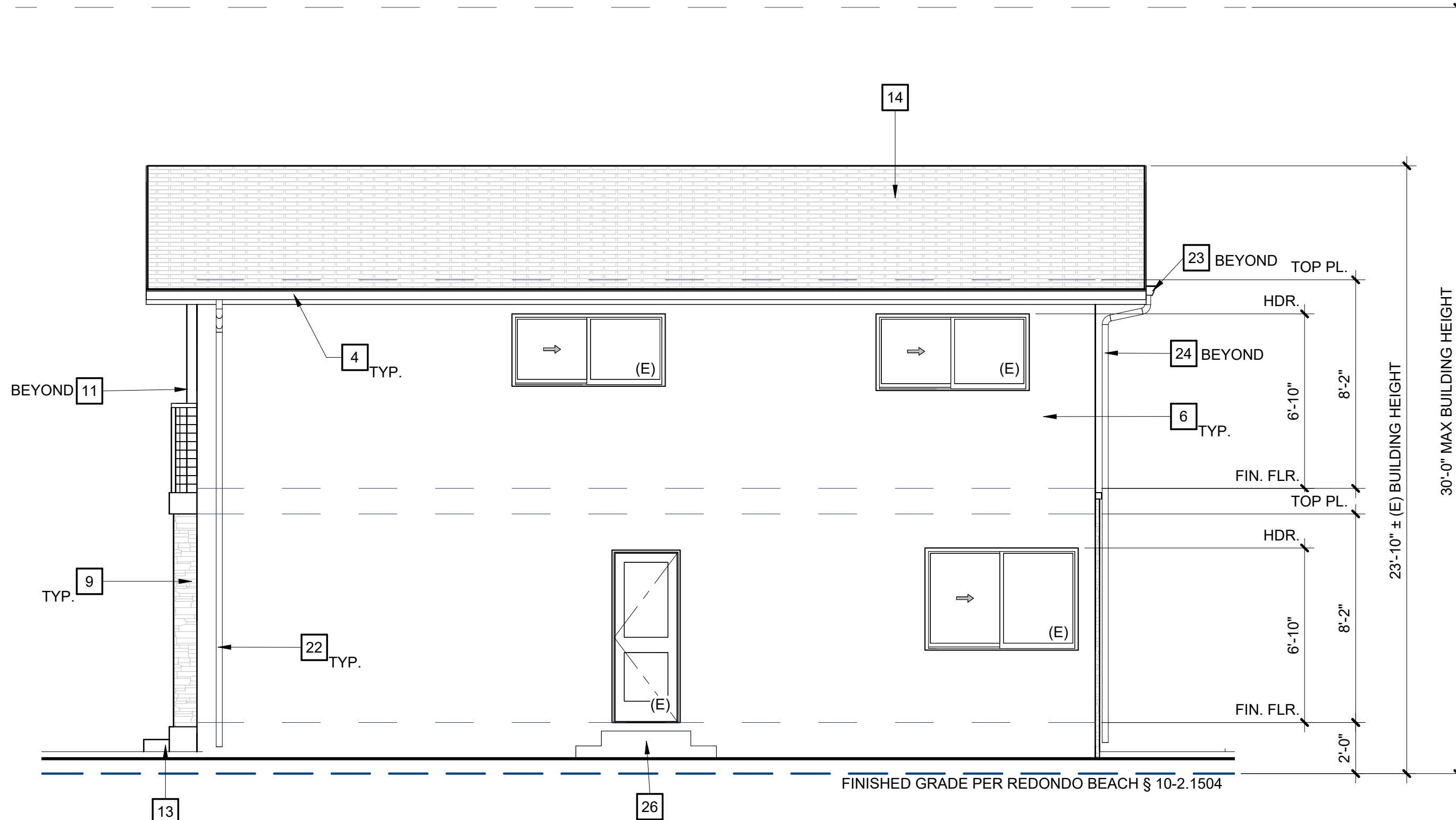
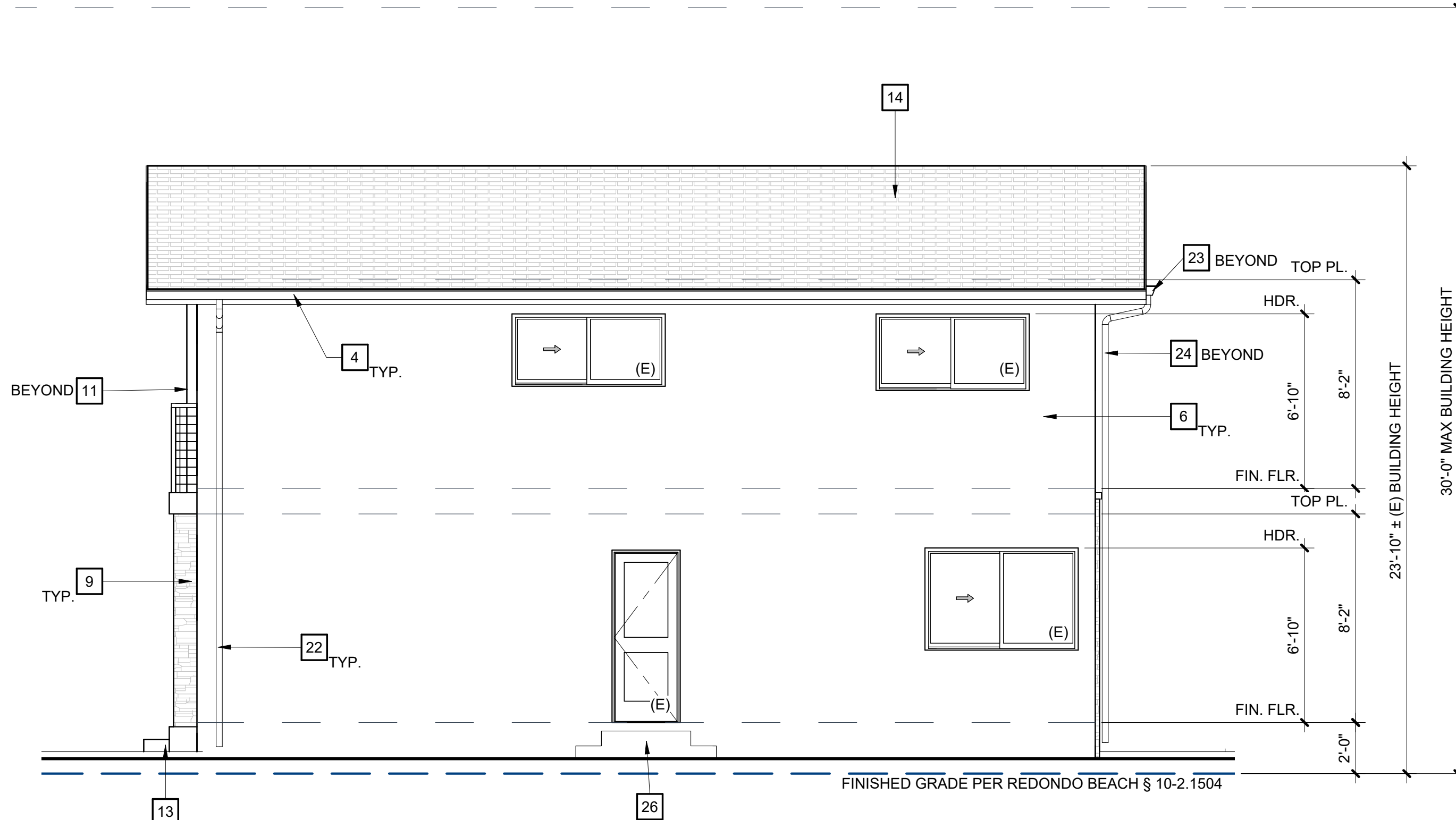
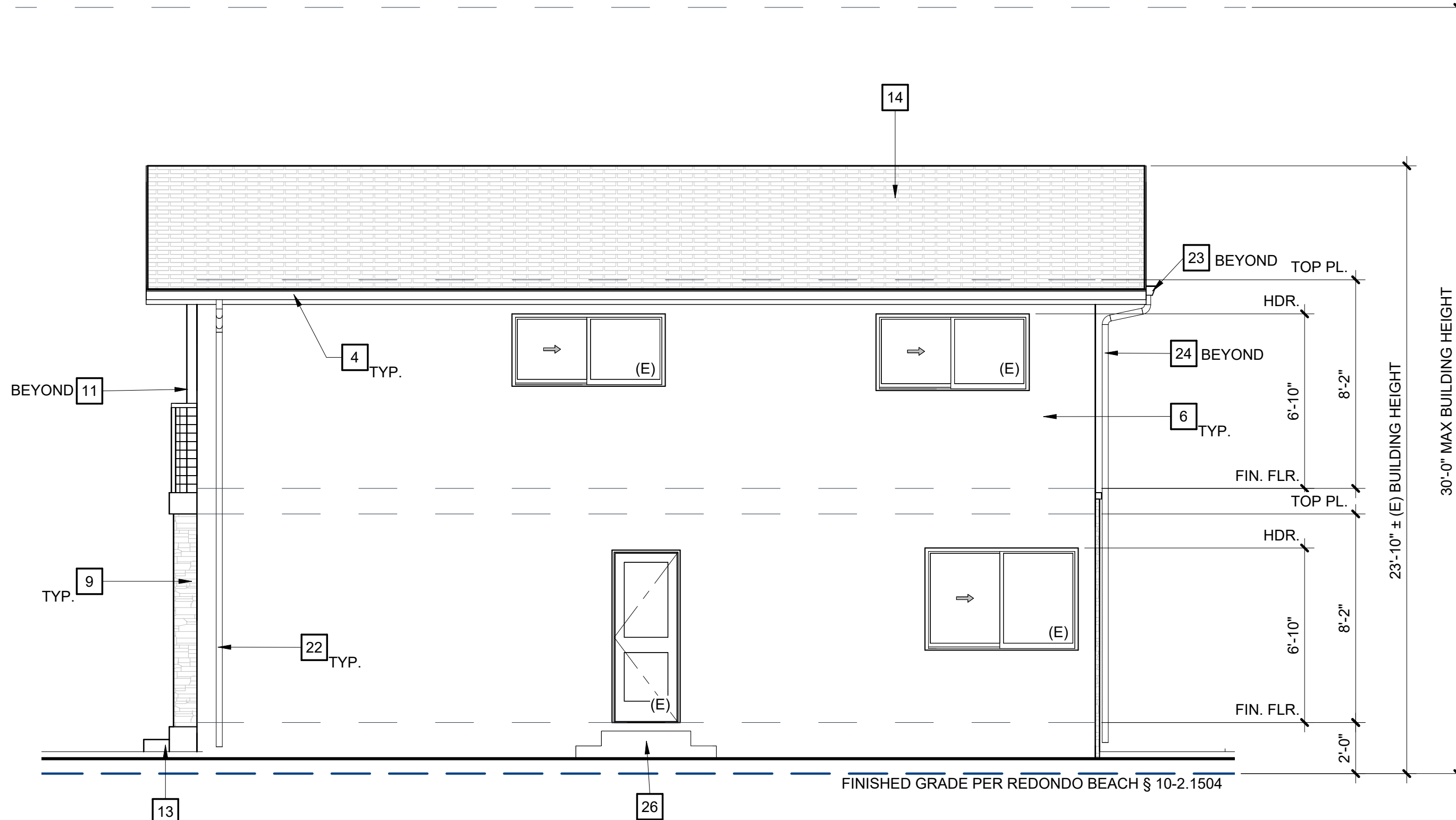
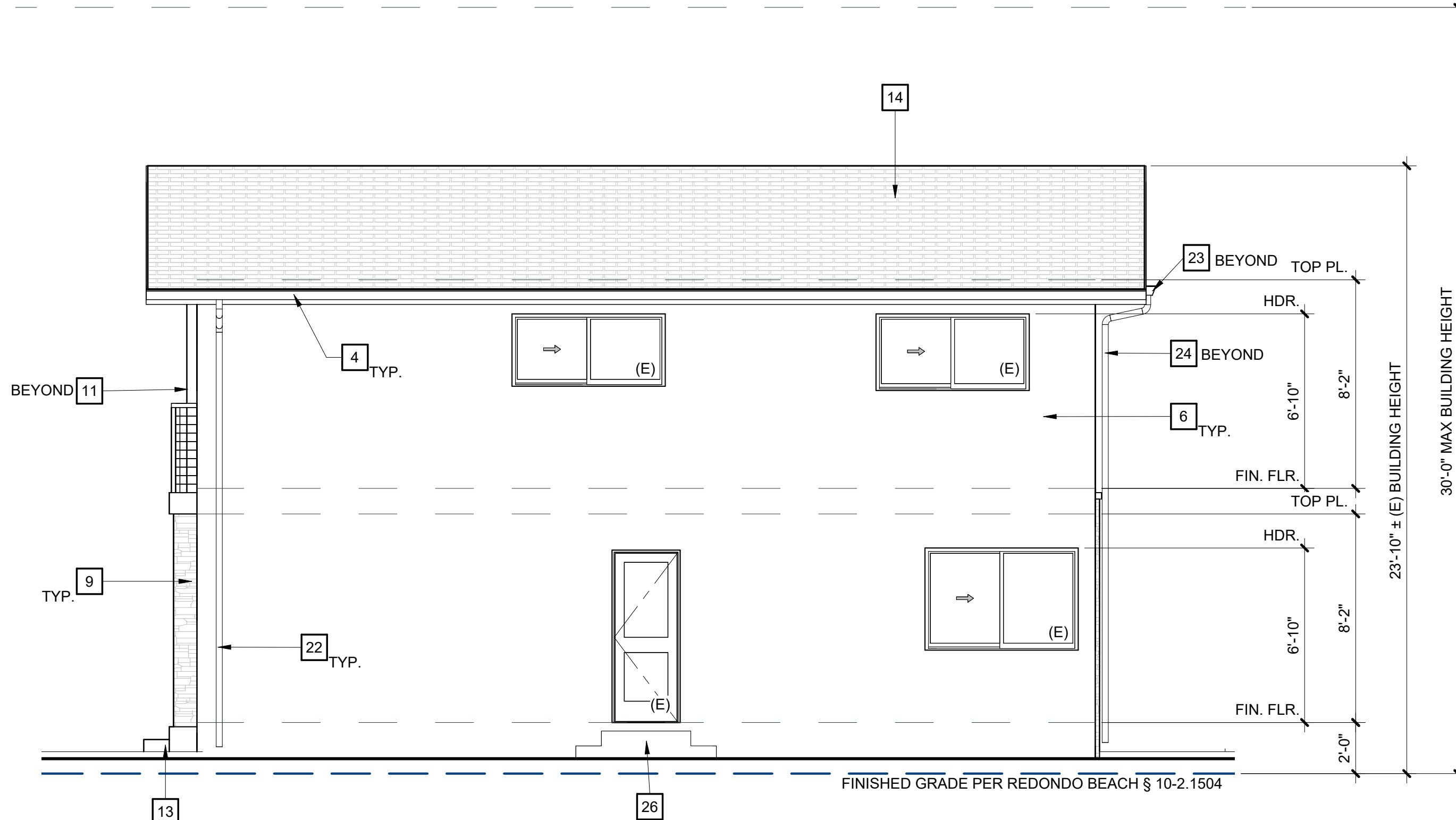
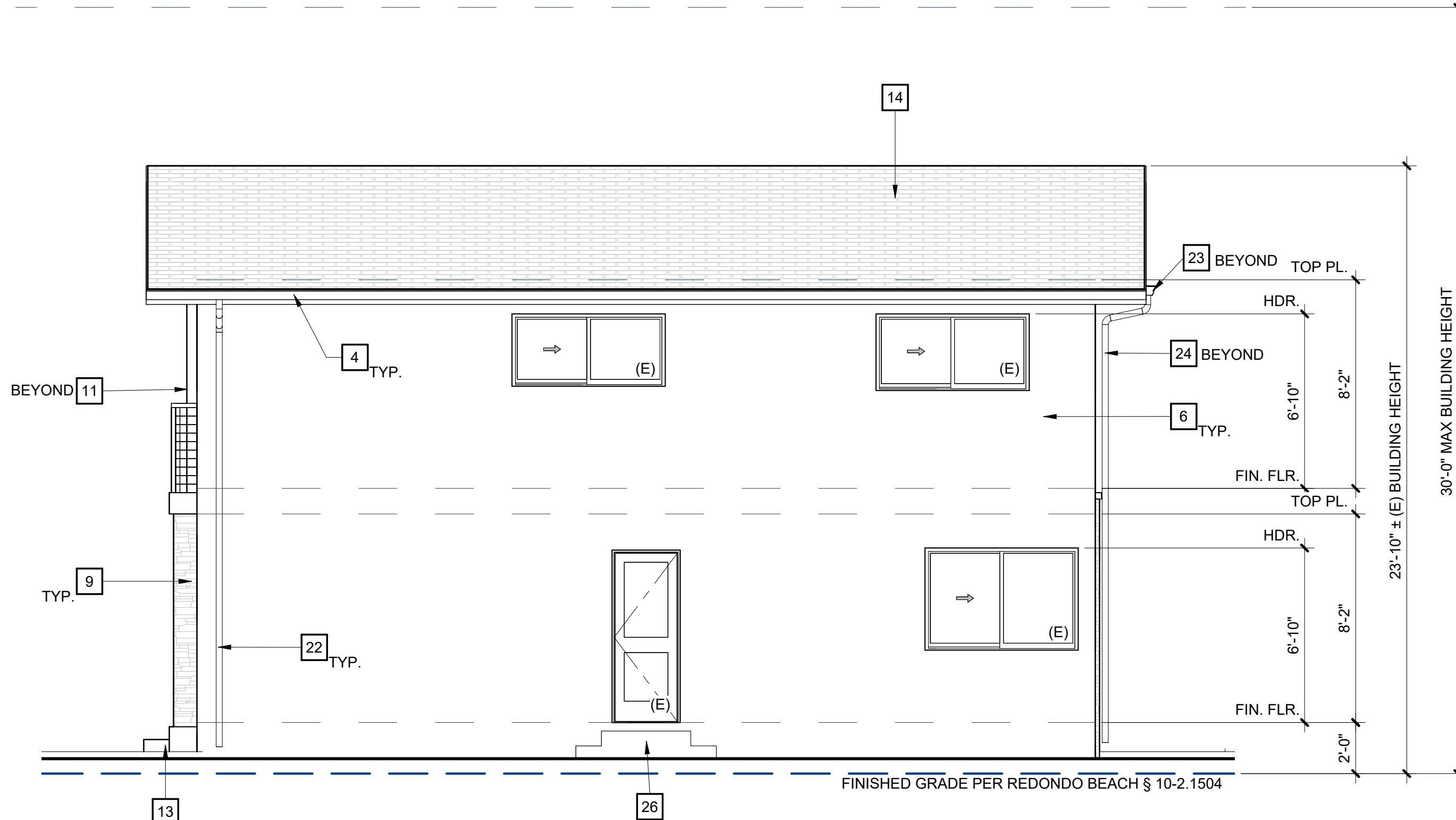
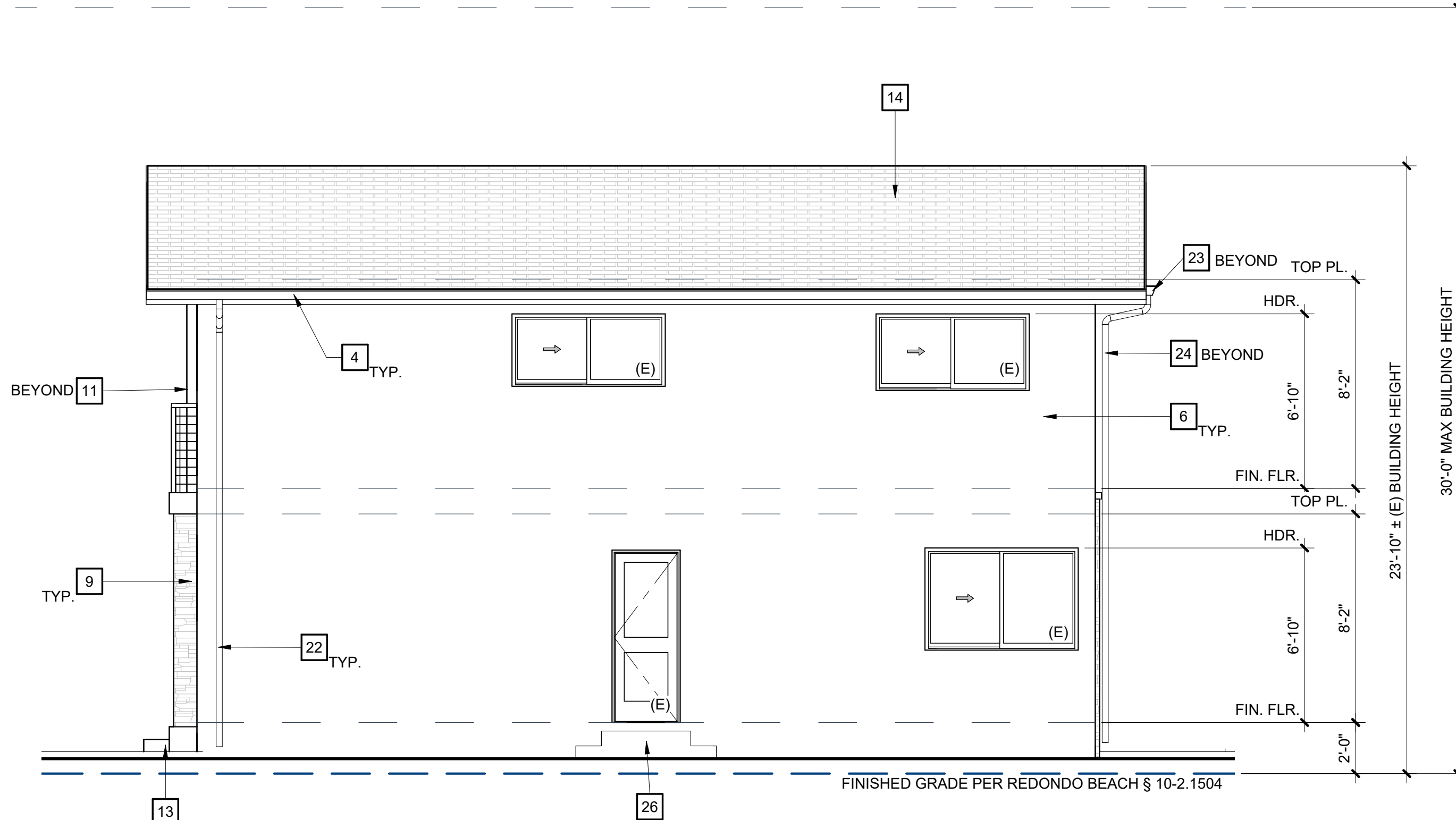
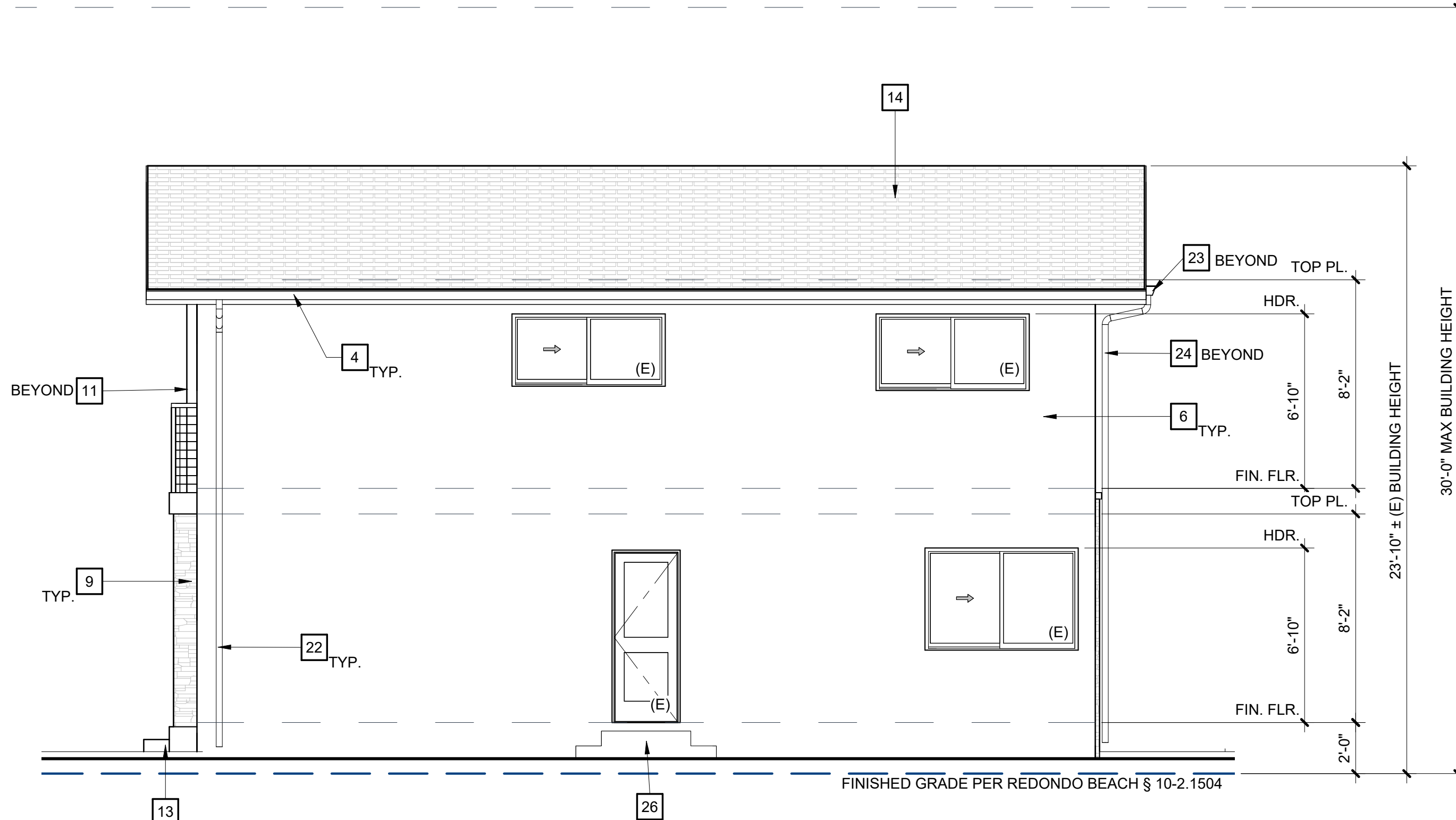
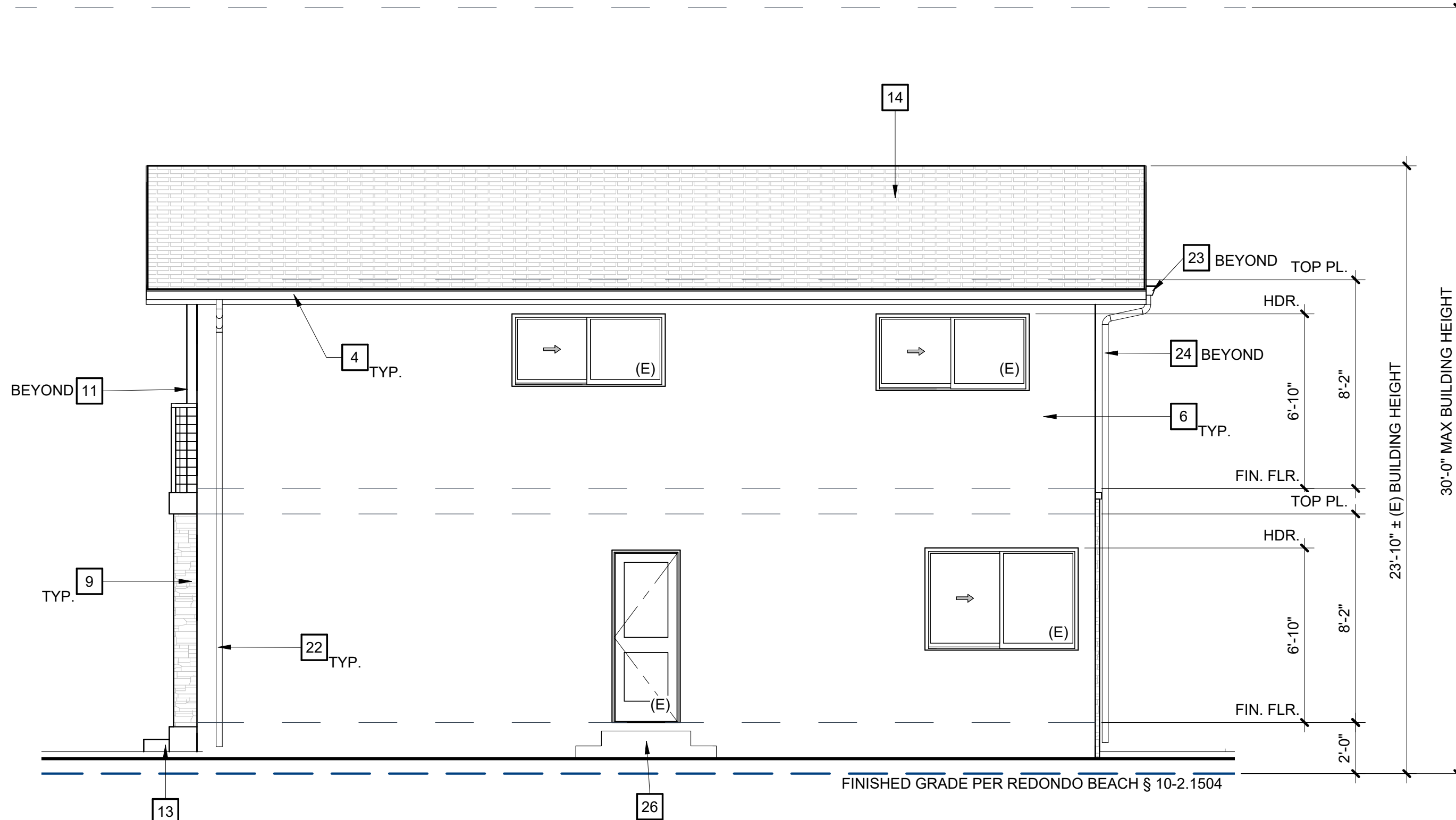
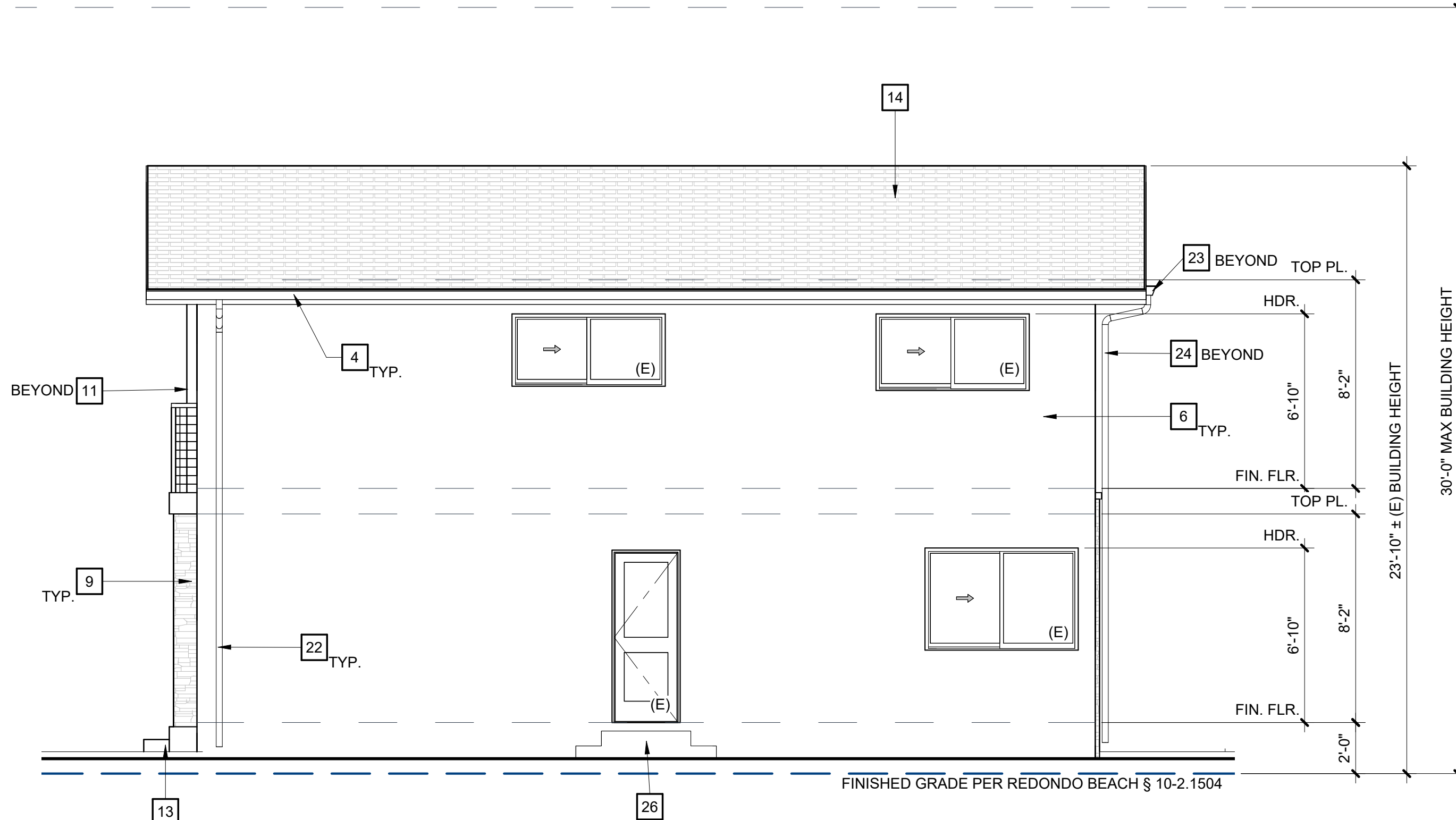
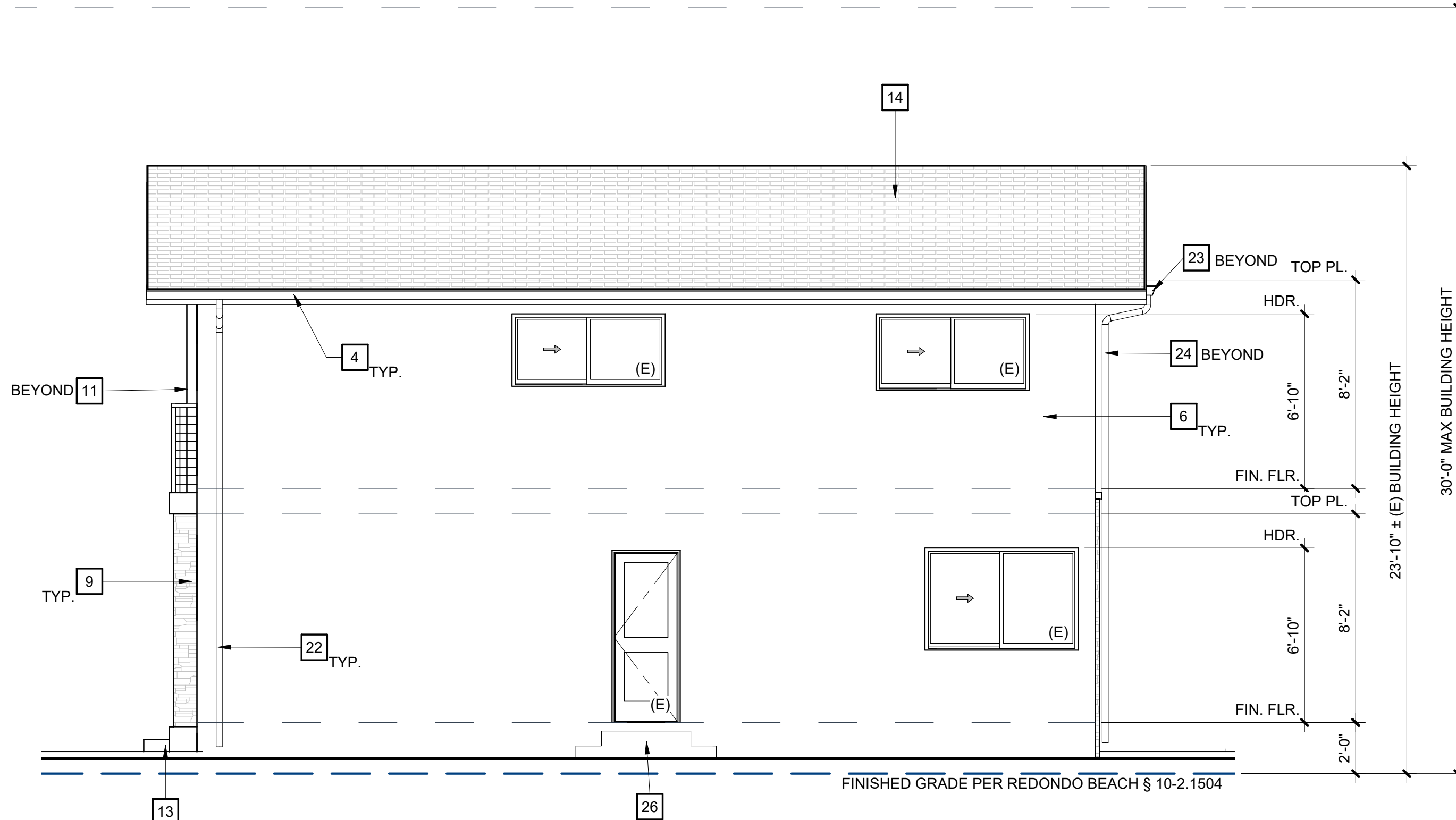
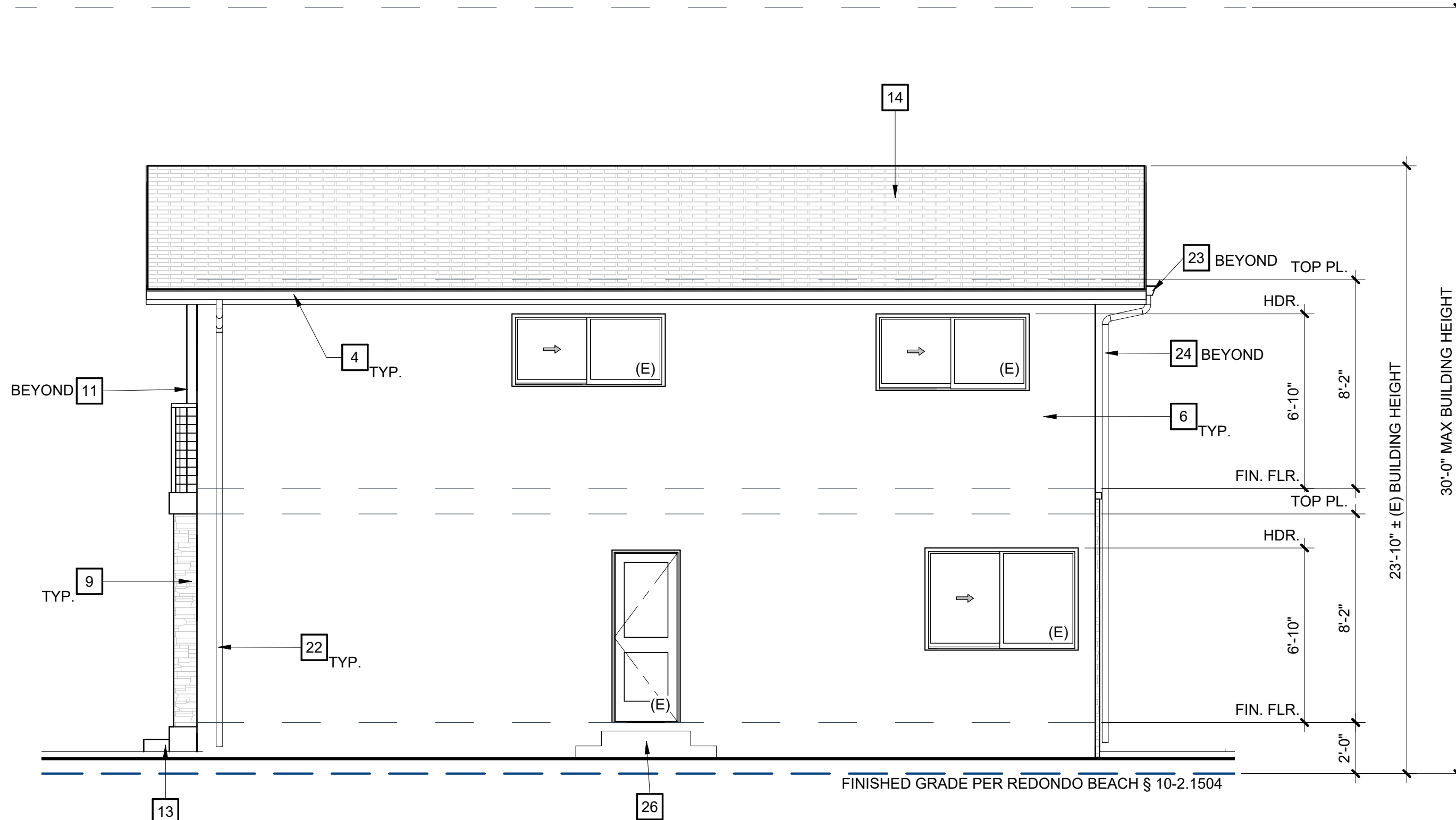
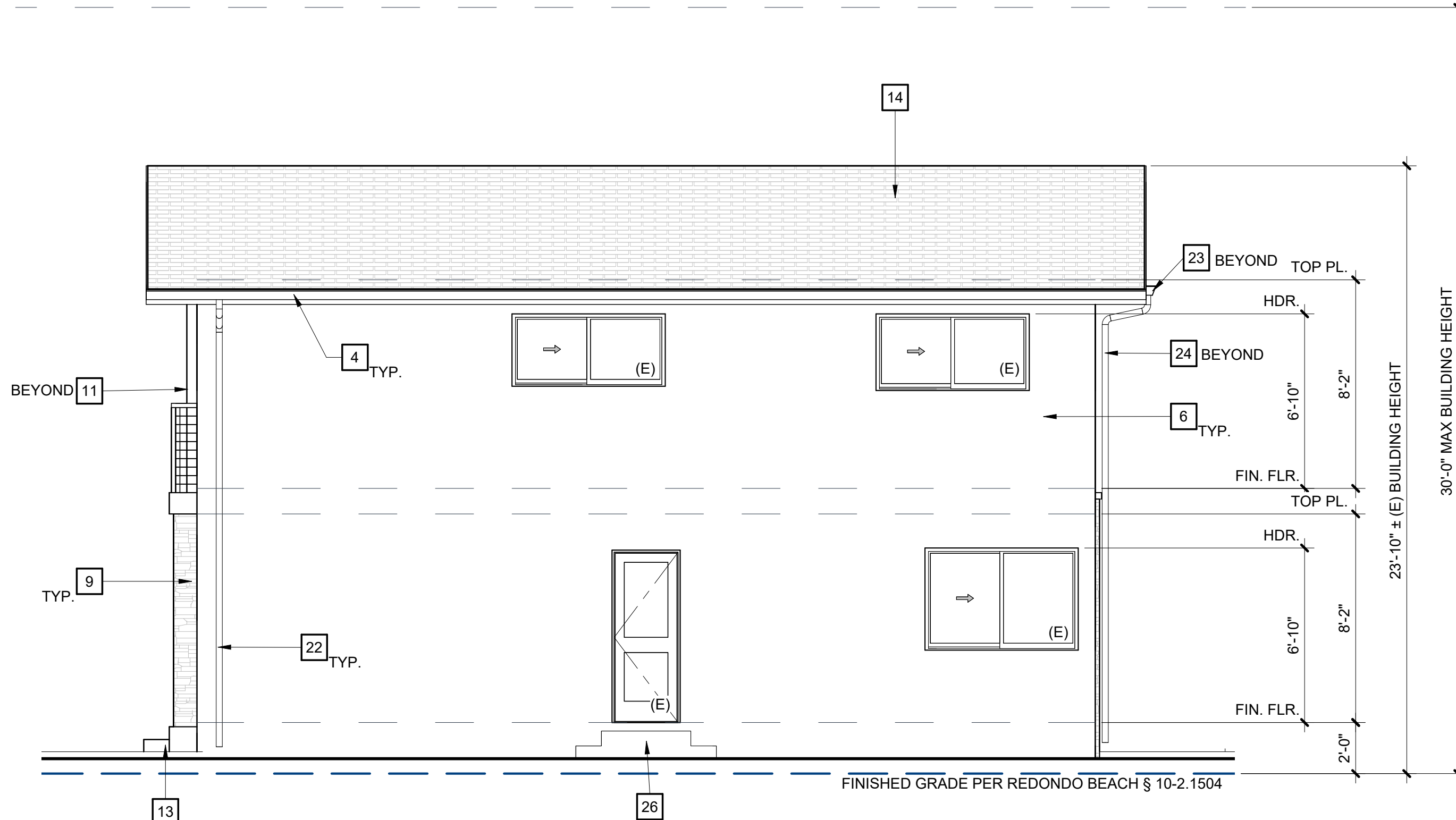
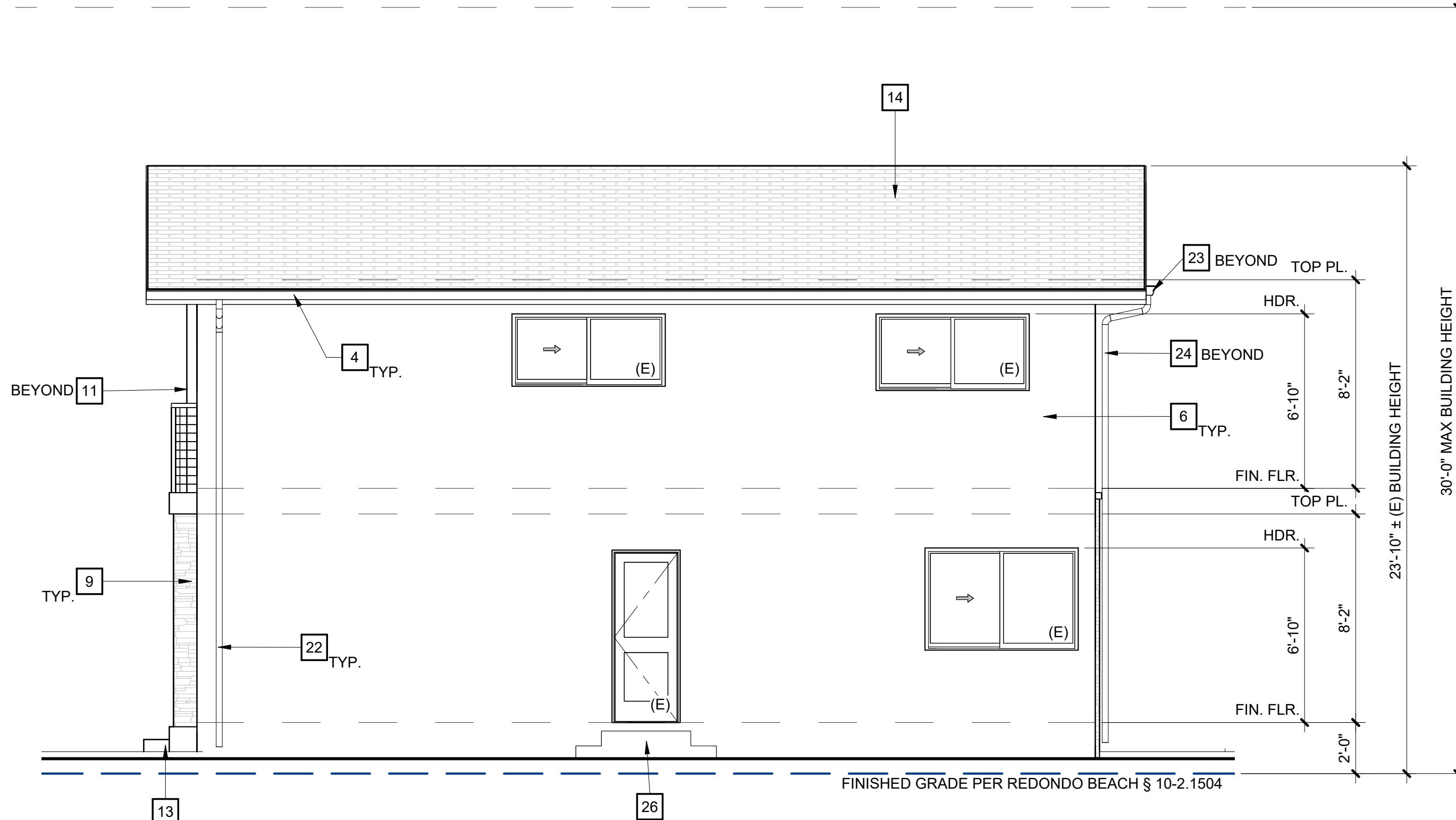
GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

Second Floor Demolition Plan

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA

					
WEST ELEVATION			SOUTH ELEVATION		
Scale: 1/4" = 1'-0"			Scale: 1/4" = 1'-0"		
DETAIL TITLE		13	DETAIL TITLE		14
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE			EAST ELEVATION		
Scale: 1/4" = 1'-0"			Scale: 1/4" = 1'-0"		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND PAINT AS REQUIRED</div> <div><div>7</div>PAINTED WOOD TRIM OR EQ.</div> <div><div>8</div>CONCRETE OR STONE LINTEL AS SELECTED BY OWNER</div> <div><div>9</div>EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY OWNER</div> <div><div>10</div>LINE OF CHANGE OF ROOF PITCH</div> <div><div>11</div>(N) PAINTED WOOD COLUMN</div> <div><div>12</div>(N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS BETWEEN BALUSTERS/ RAILS SHALL BE LESS THAN 4"</div> <div><div>13</div>(N) CONC. STEP</div> <div><div>14</div>(E) ASPHALT SHINGLE ROOF TO REMAIN</div> <div><div>15</div>(E) FENCE AND GATE</div> <div><div>16</div>(E) GAS METER</div> <div><div>17</div>(E) TANKLESS WATER HEATER</div> <div><div>18</div>(E) 2'-0" x 1'-6" UNDERFLOOR ACCESS</div> <div><div>19</div>(E) ELECTRICAL PANEL, UPGRADE AS REQUIRED</div> <div><div>20</div>(N) EXTERIOR LIGHT FIXTURE</div> <div><div>21</div>(N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS SELECTED BY OWNER TO MATCH ADJACENT</div> <div><div>22</div>(E) DOWNSPOUT</div> <div><div>23</div>(N) GUTTER, MATERIAL & COLOR BY OWNER</div> <div><div>24</div>(N) DOWNSPOUT, MATERIAL & COLOR BY OWNER</div> <div><div>25</div>EXTERIOR WALL FINISH: HARDIPANEL SIDING. COLOR & FINISH AS SELECTED BY OWNER TO COMPLEMENT ADJACENT MATERIALS</div> <div><div>26</div>(E) CONC. LANDING & STEPS</div>		
DETAIL TITLE			EXTERIOR ELEVATION NOTES		
19			20		
DETAIL TITLE		19	DETAIL TITLE		20
			<div>EXTERIOR ELEVATION NOTES</div> <div><div>1</div>(N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO MATCH EXISTING ADJACENT</div> <div><div>2</div>BARGE BOARD</div> <div><div>3</div>FASCIA BOARD</div> <div><div>4</div>(E) GUTTER</div> <div><div>5</div>EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED EQUAL</div> <div><div>6</div>EXTERIOR WALL FINISH:</div>		

REVISION

GRISAFE

ARCHITECTURE, INC.

4609 E. Anaheim St. Ste. B

Long Beach, Ca 90808

(562) 420-1035

Yang & Cutler Residence

811 Spencer St.

Redondo Beach, CA 90277

Exterior Elevations

plot date:

5/29/2025

10:02:18 AM

job no.

202322

Sheet no.

A-5

of sheets

73

THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS



Scale: 1/4" = 1'-0"

12

EXTERIOR ELEVATION NOTES

- 1 (N) ROOF MATERIAL: CLASS 'A' ASPHALT SHINGLE, COLOR TO
2 MATCH EXISTING ADJACENT
- 3 BARGE BOARD
- 4 FASCIA BOARD
- 5 (E) GUTTER
- 6 EXTERIOR WALL FINISH: HARDIBOARD MANUFACTURED
7 HORIZONTAL SIDING WITH MITERED CORNERS OR APPROVED
8 EQUAL
- 9 EXTERIOR WALL FINISH: (E) STUCCO TO REMAIN. PATCH AND
10 PAINT AS REQUIRED
- 11 PAINTED WOOD TRIM OR EQ.
- 12 CONCRETE OR STONE LINTEL AS SELECTED BY OWNER
- 13 EXTERIOR WALL FINISH: (N) STONE VENEER AS SELECTED BY
14 OWNER
- 15 LINE OF CHANGE OF ROOF PITCH
- 16 (N) PAINTED WOOD COLUMN
- 17 (N) 42" MIN. HIGH WROUGHT IRON GUARDRAIL. OPENINGS
18 BETWEEN BALUSTERS/RAILS SHALL BE LESS THAN 4"
- 19 (N) CONC. STEP
- 20 (E) ASPHALT SHINGLE ROOF TO REMAIN
- 21 (E) FENCE AND GATE
- 22 (E) GAS METER
- 23 (E) TANKLESS WATER HEATER
- 24 (E) 2'-0" x 1'-6" UNDERFLOOR ACCESS
- 25 (E) ELECTRICAL PANEL, UPGRADE AS REQUIRED
- 26 (N) EXTERIOR LIGHT FIXTURE
- 27 (N) CLASS 'A' HEAT APPLIED ROLL-TYPE ROOFING, COLOR AS
28 SELECTED BY BALUSTERS
- 29 (E) DOWNSPOUT
- 30 (N) GUTTER, MATERIAL & COLOR BY OWNER
- 31 (N) DOWNSPOUT, MATERIAL & COLOR BY OWNER
- 32 EXTERIOR WALL FINISH: HARDIPANEL SIDING, COLOR & FINISH
33 AS SELECTED BY OWNER TO COMPLEMENT ADJACENT
34 MATERIALS
- 35 (E) CONC. LANDING & STEPS

DETAIL TITLE

16

DETAIL TITLE

17

DETAIL TITLE

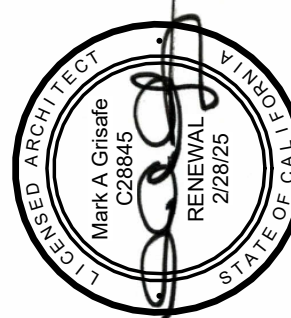
22

DETAIL TITLE

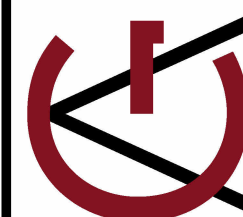
23

EXTERIOR ELEVATION NOTES

24

[illegible]

GRISAFE
ARCHITECTURE, INC.
4609 E. Anaheim St. Ste. B
Long Beach, Ca 90808
(562) 420-1035



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

Exterior Elevations & 3D Views

plot date:
5/29/2025
10:02:23 AM

job no.
202322

Sheet no.

A-6

of sheets

THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY

ORIGINAL DRAWING SIZE IS 24" X 36" DO NOT SCALE DRAWINGS FOR MEASUREMENTS

Mark Grisafe, AIA expressly reserves his common law copyright for these plans. These plans are not to be changed or copied in any form or manner, nor are they to be assigned to a third party, without first obtaining the written permission and consent of Mark Grisafe, AIA

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a gabled roof. The upper story features a balcony with horizontal railings and two sets of windows. The lower story has two large, multi-paned doors. To the right of the building, vertical dimension lines indicate heights: 8'-2" from the top of the roof to the finished floor level, and 8'-2" from the finished floor level to the top of the roof. A total height dimension of 23'-10" ± (E) BUILDING HEIGHT is shown. At the bottom, a note reads "FINISHED GRADE PER REDONDO BEACH § 10-2.1504".

Scale: $1/4" = 1'-0"$

Architectural elevation drawing of a building facade. The drawing shows a two-story structure with a gabled roof. The left side features a large, multi-paned window or door. The right side has several smaller windows and a door. Dimensions are indicated on the right: 8'-2" for the upper story, 8'-2" for the lower story, and 2'-0" for the base. A note at the bottom left reads "FINISHED GRADE PER REDONDO BEACH § 10-2.1504". A vertical label on the far right reads "30'-0" MAX BUILDING HEIGHT".

Scale: 1/4" = 1'-0"


Architectural elevation drawing of a building facade. The drawing shows a long, low structure with a flat roof and a series of windows. The roof is labeled "BEYOND TOP PL." and "HDR." with a dimension of "8'-2\"". The main wall is labeled "BEYOND" and "FIN. FLR." with a dimension of "6'-10\"". The total height of the building is labeled "23'-10\" ± (E) BUILDING HEIGHT" and "30'-0\" MAX BUILDING HEIGHT". The drawing includes a dashed line indicating the "FINISHED GRADE PER REDONDO BEACH § 10-2.1504". The drawing also shows a set of stairs leading up to a door on the right side. The door is labeled "FIN. FLR." and "HDR." with a dimension of "6'-10\"". The total height of the building is labeled "23'-10\" ± (E) BUILDING HEIGHT" and "30'-0\" MAX BUILDING HEIGHT".

Scale: 1/4" = 1'-0"

Architectural elevation drawing of a building facade. The drawing shows a gabled roof on the left and a flat roof on the right. The left side has two windows with double arrows indicating they are double doors. The right side has a large window with horizontal blinds. The drawing includes height markers on the left: "TOP PL." at 8'-2", "FIN. FLR." at 8'-2", and "FIN. FLR." at 2'-0". A vertical dimension on the right indicates "30'-0" MAX. BUILDING HEIGHT". The bottom right corner notes "FINISHED GRADE PER REDONDO BEACH § 10-2.1504".

Scale: 1/4" = 1'-0"

THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY



Yang & Cutler Residence
811 Spencer St.
Redondo Beach, CA 90277

Existing Exterior Elevations

plot date: 5/29/2025 10:02:23 AM
job no. 202322

Sheet no.
A-7
of sheets

CITY OF REDONDO BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION

APPLICATION FOR VARIANCE

FEES: \$3,200

1. PURPOSE:

There may be practical difficulties, unnecessary hardships, and results inconsistent with the general intent and purpose of the Zoning Ordinance if a strictly literal interpretation is made. A Variance may alleviate these conditions only if the decision-making body finds there are exceptional circumstances applicable to the property such that strict application of the zoning provisions deprives the property of privileges enjoyed by other property in the vicinity in the same zone. A Variance shall not grant special privileges inconsistent with the limitations on other properties in the vicinity in the same zone.

In order to ascertain whether a proposed development is compatible with other existing and permitted developments, the Planning Commission/Harbor Commission must review a complete application. The Commission is wholly dependent on the applicant to provide all information necessary to enable the Commission to reach an informed decision. An application must contain all information, either written or graphic, necessary for the Commission to determine that the proposed project will be consistent with the Redondo Beach General Plan, the Municipal Code, and the policies of the Commission, and will be generally compatible with the surrounding area and free from unacceptable adverse impacts. Conversely, a vague, sketchy, incomplete or non-specific application will make it difficult for the Commission to approve the request.

2. INSTRUCTIONS FOR FILING:

a. Application Form

- 1) All information in this application shall be typed or legibly printed.
- 2) Give full and complete answers to all questions.
- 3) If necessary, attach extra sheets to answer questions fully.

b. Application Fee

At the time of filing payment of the application fee is required.

c. Attachments

1. Two (2) complete sets of full-scale Conceptual Drawings and 25 complete copies of reduced Conceptual Drawings, as set forth in the attached *Instructions for Graphic Portions*, **must** accompany this application at the time of filing. All plans shall be folded to 8½" X 11" size. An electronic version (PDF) of drawings must accompany the submittal.

2. Two (2) copies of the property survey prepared by a licensed land surveyor. An electronic PDF version of the survey should also be included.

*d. Low Impact Development (LID)

IF REQUIRED A copy of the LID approved by the City's Engineering Division must accompany this application at the time of the filing, if the project is considered a "Priority Project" as defined by the City's NPDES Permit. (Attached to this application is a Storm Water Program Planning Checklist, which will determine if the project is a "Priority Project").

3. REPRESENTATION:

THE APPLICANT OR HIS REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARING TO ANSWER ANY QUESTIONS THE PLANNING COMMISSION/HARBOR COMMISSION MAY WISH TO ASK PERTAINING TO THIS REQUEST. FAILURE TO APPEAR AT THE PUBLIC HEARING, UNLESS THE PLANNING COMMISSION/HARBOR COMMISSION RECEIVES WRITTEN NOTIFICATION FROM THE APPLICANT PRIOR TO SAID HEARING, MAY CONSTITUTE GROUNDS FOR DENIAL OF THE REQUEST.

4. LIMITATIONS:

- a. A Variance shall become null and void unless vested within 36 months after the date of approval.
- b. The applicant must comply with all conditions set forth by the resolution as a result of public hearing by the Planning Commission/Harbor Commission or the City Council. If this is not done, the approval shall be **subject to revocation** pursuant to the provisions of Section 10-2.2510(L) of the Municipal Code.

5. PROCEDURE:

- a. Applications for Variance shall be filed with the Planning Division approximately 30 days prior to the date of the public hearing (verify the exact filing deadline with the Planning Division). Additional time will be required between the filing date and the date of public hearing where review under the California Environmental Quality Act (CEQA) is required.
- b. Public notification stating the time, place and nature of the application is posted 10 days prior to the public hearing. Included are newspaper publications, signs posted on the subject property, and letters sent by first class mail to property owners within 300 feet of the subject property.
- c. The Planning Commission's/Harbor Commission's decision on this application shall be final and conclusive unless, within 10 days of the date of said decision, a written appeal requesting a public hearing before the City Council is filed with the City Clerk and all required fees for said appeal are paid in full.

INSTRUCTIONS FOR GRAPHIC PORTIONS OF THE APPLICATION

A. INSTRUCTIONS FOR PREPARATION

(All plans must be drawn to scale and fully dimensioned)

- a. A site plan, floor plan, and elevations of the project drawn to scale and dimensioned, graphically representing the proposed development or changes in existing conditions contemplated by the applicant, **must be submitted with the application at the time of filing**. Otherwise, the application will not be accepted until such time as the site plan, floor plan, and elevation plans are completed and provided.
- b. **Size:** 2 sets up to 18" X 24" and 25 sets up to 11" x 17." Larger sizes must be approved by the Planning Division.
- c. **Scale:** Preferably at least 1/8" =1'. Larger scales up to 1/4"=1' may be used to show development on small lots. Scale used must be sufficiently large to be clearly legible and show project details.
- d. **Contents:**
 - 1) North arrow.
 - 2) Title block (showing the address of subject property, name and address of person who prepared the map, scale of map, and date).
 - 3) All boundary lines of subject property fully dimensioned, showing the name and location of abutting streets.
 - 4) Existing topography and proposed grading.
 - 5) Existing trees with a trunk diameter of six inches (6") or greater.
 - 6) All buildings and structures, and the uses within each room.
 - 7) Improvements in the public right of way, including location of sidewalk, parkway, curb, gutter, street width to centerline, and dedications.
 - 8) Exterior lighting.
 - 9) Easements.
 - 10) Off-street parking areas, including the stall striping, aisles, and driveways.
 - 11) Setbacks and spaces between buildings.
 - 12) Walls, fences, and landscaping and their location, height, and materials.
 - 13) Landscaping areas.
 - 14) Trash and recycling facilities.
 - 15) The architectural elevations of all sides of all structures depicting design, color, materials, textures, ornaments, or other architectural features.
 - 16) The location, dimensions, and design of all signs.
 - 17) A section of the building as it relates to the existing topography and proposed grading where the slope of the site is greater than four (4) feet.
 - 18) Such other data as may be required to demonstrate that the project meets the criteria of Section 10-2.2510(B) of Chapter 2, Title 10 of the Redondo Beach Municipal Code.

B. OTHER EXHIBITS:

1. Property Survey prepared by a licensed land surveyor is required.

Additional graphic materials to illustrate the project are always helpful to the Planning Commission and Harbor Commission, and are suggested as exhibits to accompany this application. Typical exhibits are: photographs, renderings, color and materials board, and models. An electronic version (PDF) of drawings must accompany the submittal.

CITY OF REDONDO BEACH
PLANNING DIVISION

APPLICATION NO.

DATE RECEIVED:

APPLICATION FOR VARIANCE

Application is hereby made to the Planning Commission/Harbor Commission of the City of Redondo Beach, for Variance, pursuant to Section 10-2.2510 or Section 10-5.2510 Title 10 of the Redondo Beach Municipal Code.

PART I - GENERAL INFORMATION

A	APPLICANT INFORMATION		
	STREET ADDRESS OF PROPERTY: 811 Spencer St. Redondo Beach, CA 90277		
	EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: Portion lot 3 & 4 BLOCK: 103 TRACT: Townsite		ZONING: R-3 Single Family Residential
	RECORDED OWNER'S NAME: Eric Yang & Kim Cutler	APPLICANT'S NAME & EMAIL: Grisafe Architecture, Rachel Fuller Rachel @grisafearchitecture.com	AUTHORIZED AGENT'S NAME: (if different than applicant) Mark Grisafe, Architect Mark@grisafearchitecture.com
	MAILING ADDRESS: 811 Spencer St. Redondo Beach, CA 90277	MAILING ADDRESS: 4609 E. Anaheim St. Suite B Long Beach, CA 90804	MAILING ADDRESS: 4609 E. Anaheim St. Suite B Long Beach, CA 90804
	TELEPHONE: (909) 239-7988	TELEPHONE: (562) 420-1035	TELEPHONE: (562) 420-1035

B	REQUEST
	<p>Describe the proposed project and indicate the development standards from which a Variance is requested: Addition of ensuite bedroom above existing garage. Convert side entry garage into front entry garage: no proposed change to square footage of garage.. Add new entry and porch to improve facade and add balcony above. Variance requested for: 1. Reduction of front yard setback minimum dimension and required square footage. Front yard setback square footage reduced to 658 S.F. Front yard setback dimension reduced to 9' at (N) second floor 2. Reduction of outdoor areas to 437</p>

C

SHOWINGS: Explain how the project is consistent with the criteria in Section 10-2.2510(B) of the Zoning Ordinance.

1. Indicate the special circumstances applicable to your property, including size, shape, topography, location, or surroundings.

Smaller than standard lot under 3,000 S.F. with front property line/setbacks highly affected by the angle of Spencer St.

Property already has reduced existing front setback of 9' to (E) garage, 6' rear setback, and 4'-10" on one side

2. Indicate how the strict application of the zoning provisions, in light of the above circumstances, deprives your property of privileges enjoyed by other property in the vicinity and in the same zone.

The lot was divided in the past and its reduced size limits the size of home allowed and makes it difficult to fit all of the essential facilities within the required setbacks. Other properties in the vicinity are allowed larger homes due to having deeper property lines able to accommodate the setback requirements.

Adjacent properties & homes on the same street which also share the smaller lot size of this property have been granted similar encroachments which have allowed them larger home sizes than the provisions would have otherwise allowed. The strict application of the zoning provisions would deprive this property of that same privilege.

3. Indicate how the adjustment authorized by the Variance, if granted, does not constitute a grant of special privileges that is inconsistent with the limitations upon other properties in the vicinity and in the same zone.

As this lot was most likely part of the lot behind it to the east, this house sits on only a portion of a lot. Thus this variance would not provide a special privilege, but would rather allow the property owner to enjoy a more equitable use of the property similar to other lots- both which were split and granted variance and those which were not split.

C	SHOWINGS: Explain how the project is consistent with the criteria in Section 10-2.2510(B) of the Zoning Ordinance.
	<p>4. Indicate how the Variance, if granted, will not be contrary to the objectives of the General Plan. Property was a single family residential before and will remain a single family residential after without changing the density. Redondo Beach General Plan has the area as low density multi-family residential which allows for single family residences and is consistent with this use.</p>
	<p>5. Describe how the proposed use is consistent with the intent and purpose of the Redondo Beach General Plan. The proposed use does not change the density/use of the property, is consistent with the desired use indicated in the Redondo Beach General Plan, and design considerations utilized include the following: 1. Use Materials, colors and forms which complement the neighborhood. 2. Modulation and articulation of building elevations 3. Use of a well-defined roofline 4. Inclusion of recessed entries and/or porches 5. Minimization of amount of width of the paving of front yards for driveway and garage access</p>

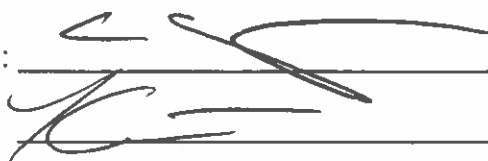
D	It is desirable, but not required, to have the signatures of owners of property in the immediate area affected, certifying that they have no objection to the Variance. Use reverse side of this sheet if more space is needed.				
	NAME	ADDRESS	LOT	BLOCK	TRACT
	Sy Sheyban	818 Spencer St.	7	102	
	Christian Rose	205 N. Irena Unit B	LOT 105 Unit B	103	
	Kevin Anderson	810 Spencer St RB	Condo Unit 1	102	
	Cora Parker	215 N. Irena Ave Unit B	LOT 1 Unit B	103	
	David Waples	205 N. Irena A	LOT 1 Unit A	103	
	Betty Baron Anderson	213 N. Irena Ave	NW 1/4 of NE 1/4 of Lot 3 of Lot 4	103	

OWNER'S AFFIDAVIT

Project address: 811 Spencer St Redondo Beach CA 90277Project description: Addition

I (We) Eric Yang & Kimberly Cutler, being duly sworn, depose and say I am (we are) the owner(s) of all or part of the property involved and that this application has been prepared in compliance with the requirements printed herein. I (we) further certify, under penalty of perjury that the foregoing statements and information presented herein are in all respects true and correct to the best of my (our) knowledge and belief.

Signature(s):



Address:

811 Spencer StRedondo Beach CA90277Phone No. (Res.) cell 909-239-7988

(Bus.) _____

Subscribed and sworn to (or affirmed) before me this ____ day of _____, 20____

by _____, proved to me on the basis of satisfactory

evidence to be the person(s) who appeared before me.

See C.A. Jurat
Attached W.V. 4/10/2025

FILING CLERK OR NOTARY PUBLIC

State of California)
County of Los Angeles)

ss

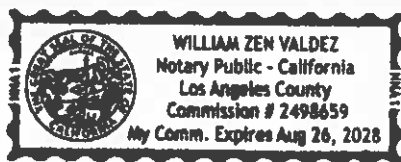
Seal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of LOS ANGELES

Subscribed and sworn to (or affirmed) before me on this 10
day of April, 2025, by Eric Yang;
Kimberly Cutler

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature [Signature]





CITY OF REDONDO BEACH

EXEMPTION DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: June 19, 2025

PROJECT ADDRESS: 811 Spencer Street

PROPOSED PROJECT: Consideration of an Exemption Declaration and granting a Variance for a reduced front yard setback, reduced side yard setback, and reduced outdoor living space for first and second-story additions to an existing two-story single-family residence on property located within a Low-Density Multiple-Family Residential (R-3) Zone. (Case No. CUP-2024-0044)

In accordance with Chapter 3, Title 10, Section 10-3.301(a) of the Redondo Beach Municipal Code, the above-referenced project is Categorically Exempt from the preparation of environmental review documents pursuant to:

The project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA), under Article 19, Section 15301 (Existing Facilities) of the California Guidelines for Implementation of the CEQA. Specifically, the project includes a negligible expansion of the existing residence.

Additionally, the subject site is not located within an area designated as an environmental resource of hazardous or critical concern, or within the California Coastal Zone, or within an officially designated, state scenic highway, or within a hazardous waste site included on any list compiled pursuant to Section 65962.5 of the Government Code.

Steven Giang

Steven Giang
Senior Planner