

MILLS ACT SUBMITTAL




218 N. Catalina Avenue
North Catalina Historic District

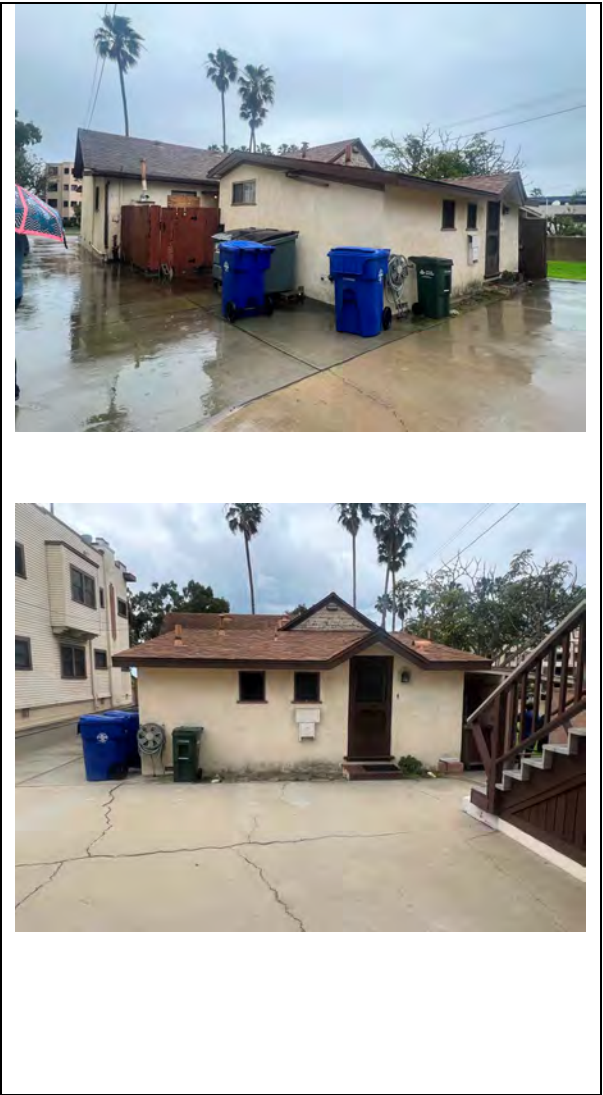
Residence


218 N. Catalina Avenue

FEATURE	LOCATION/DESCRIPTION	CONDITION	TREATMENT	PHOTOGRAPHS
Sitework	<p>The site is elevated from the street with a low stepping concrete block wall along the sidewalk. There is a short concrete walk along the north side of the concrete driveway that turns perpendicular to reach the front porch steps. The driveway continues around to the paved area behind the residential building.</p>	<p>The paving is in adequate condition with a few cracks. The paving in back is heavily stained and with cracking across the drive.</p>	<p>Paving should be cleaned and repaired and where necessary re-done. Front yard paving can be altered without affecting historic features. Rear concrete can similarly be refurbished or replaced with compatible material.</p>	

				
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<p>Landscape</p>	<p>The front yard is primarily lawn with small plants against the front façade and a small tree around the northwest corner. There is a thin strip of soil along the back elevation of the residence that is unplanted with a few pavers. There is also an unplanted area behind the rear building that is not easily accessible. The remainder of the site is paved.</p>	<p>Plantings are sparse. A small strip along the rear elevation is barren. The east and north side of the property is otherwise completely paved. The rear yard of the site behind the back building is not landscaped.</p>	<p>Existing plantings directly adjacent to the residence should be relocated or trimmed. The grass lawn will require upkeep. Irrigation should be reviewed</p>	
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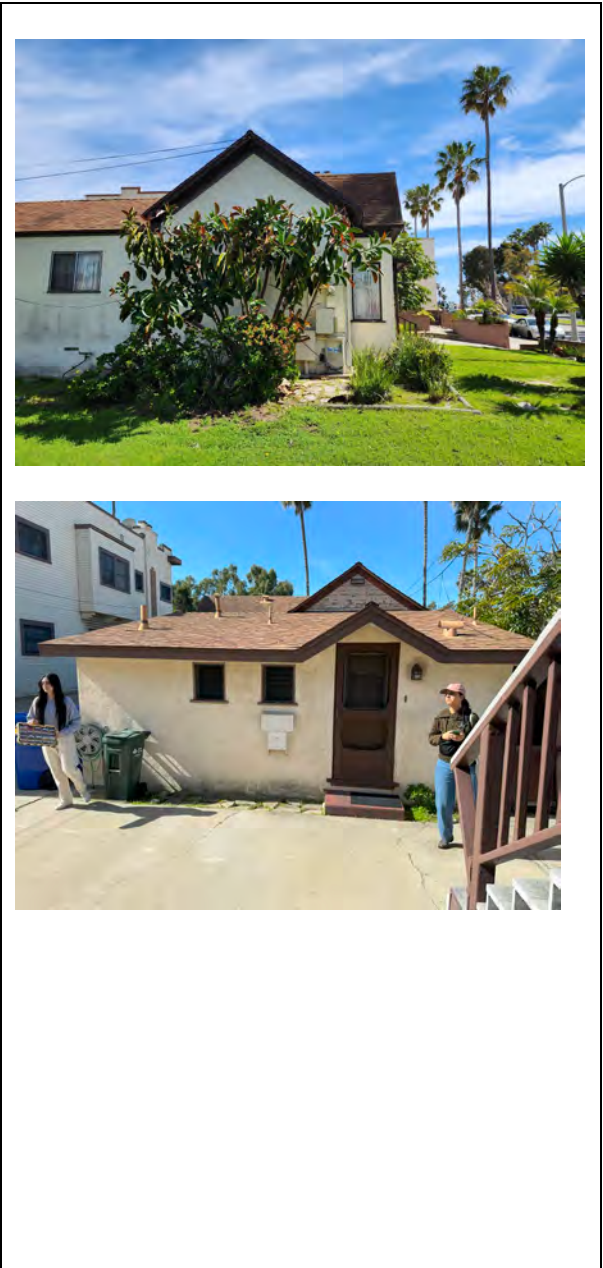
				
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<p>Foundation / Structural</p>	<p>The residence has typical continuous perimeter footings and internal piers for support of the wood frame structure. There are concrete footings, but little is visible as plaster finish continues to grade. although the front along the north especially at the living room has settled substantially Underfloor review may reveal seismic improvements. The rear portion of the residence also appears to have a raised floor but low to the grade.</p>	<p>The foundations do not show significant failures. There is no evident subsidence although the rear portion is close to grade. There is minor horizontal cracking along the top of the foundation in the court area.</p>	<p>A structural engineer should review. Any unsafe seismic condition should be strengthened including review of attachments of the wood frame to the concrete footings. There should be underfloor inspection for potential rotted wood.</p>	
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<p>Plaster Exterior</p>	<p>The building exterior is a slightly uneven surface and textured stucco. This texture is a rough sand finish that has been painted multiple times. The finish is relatively consistent around the building.</p>	<p>The stucco is in adequate to fair condition with a few cracks and water stains.</p>	<p>The stucco is best maintained with regular cycles of prep and paint. Following any work, repairs need to be carefully crafted to match the existing finish and color.</p>	
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<p>Wood doors</p>	<p>Exterior doors are primarily wood frame. This includes doors at the front, the side court and the rear entry and storage area. The doorways have similar wood screen doors on the exterior.</p>	<p>The existing doors are mostly intact although showing years of deferred maintenance and should be preserved where possible, especially the front entry door. Other existing doors also show wear and deferred maintenance</p>	<p>Doors should be evaluated for repair and rehabilitation where possible as well as whether any doors should be rebuilt due to extensive damage. Rotting at the bottom of doors should be checked to avoid ongoing deterioration. Prep and painting should be provided to protect and maintain doors. Screen doors should be evaluated for reuse with new screen material.</p>	 <p>The image block contains three photographs. The top photo shows a close-up of a wooden door with a screen door on a porch. The middle photo shows the exterior of a single-story house with a dark door and a blue trash bin. The bottom photo shows a side or rear entry area with a door and a sink.</p>
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<p>Windows</p>	<p>Most of the windows appear to have been modified or changed over time with aluminum frames and jalousie windows in most locations. There are several horizontal window openings and very small windows for the back portion of the building.</p>	<p>Existing windows are in need of refurbishment. Window hardware is missing in places. Jalousie windows are not secure.</p>	<p>Aluminum window sash may pit near the ocean and where appropriate should be replaced with compatible window types. Window operation should be reviewed and repaired as needed. Ongoing window maintenance programs may consider replacement of the aluminum and jalousie windows for wood windows. Compatible window shapes should be considered.</p>	
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<p>Wood trim and railings</p>	<p>The window openings are generally cased with wood surrounds. The eaves and fascia boards are wood. The front porch is a key feature with wood columns and porch ceiling on the front as well as scalloped shingles in the front facing pediment.</p>	<p>Most of the wood frames appear in satisfactory condition although in need of cycle of care..</p>	<p>The wood details and railings should be periodically refurbished, painted and continually maintained</p>	
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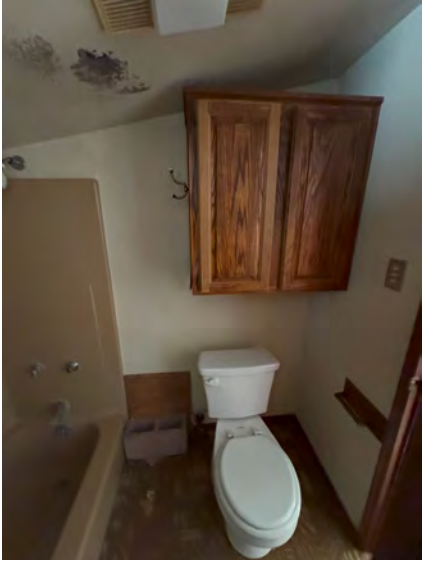
<p>Roofing</p>	<p>The roof is covered with asphaltic shingles, light brown in color throughout. The roof edge trim is dark brown metal. There is a small covering at the court area with slat siding over wood joists.</p>	<p>The current roofing may be adequate in most areas for the next few years. The lower sloped rear roof and the very low sloped roof in the northwest corner of the court are potential leak areas. The translucent roofing on the eave projection over a portion of the court also creates drainage issues.</p>	<p>Roof life cycle should be evaluated. A new roof may be needed over the next years. Any leaks should be identified and repaired expeditiously. The roofing around the court should be reviewed including the roof projection at the court for possible removal or alternate construction.</p>	 <p>The first photograph shows a front view of a house with a gabled roof and a small porch, situated on a green lawn. The second photograph shows a side view of the house with a wooden fence in the foreground and a blue sky. The third photograph shows a rear view of the house, highlighting the roof structure and a small projection over the court area.</p>
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<p>Gutters and Drainage</p>	<p>The gabled roof slopes down to metal gutters at a few walls connected to downspouts to grade. There are numerous short sections of gutters due to the roof complexities as well as complexities to the routing of the downspouts.</p>	<p>The gutters and downspouts are painted metal. The roof projection at the court creates an awkward set of gutters and downspouts. The paving in areas may not properly slope for roof runoff</p>	<p>Gutters and downspouts should be repaired and painted, and where necessary, replaced with compatible profile gutters Downspouts and overall site drainage should be reviewed including water tests as necessary. Drainage to street should be reviewed for possible adjustments to paving.</p>	
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<p>Hardware</p>	<p>Wood doors have older hardware although various elements are missing in areas. It is unlikely that any hardware is original but older hardware sets should be maintained where possible. Window hardware is mixed with a variety of window types.</p>	<p>The front door handle is in satisfactory condition. Some window and door hardware elements are missing or not properly aligned and functional.</p>	<p>Existing hardware should be refurbished where possible. Replacement hardware for windows and doorways should be selected to maintain consistency, compatibility and security.</p>	
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<p>Exterior Lights</p>	<p>There is a front porch ceiling light and a wall mounted fixture at the courtyard entry to the building. There is another wall mounted porch type fixture on the rear elevation adjacent to the entry door.</p>	<p>A few lights are in satisfactory condition although they may need re-lamping. A court fixture is rusted and a fixture cover is missing at the rear elevation</p>	<p>Existing porch lights can be re-lamped for energy conservation with appropriate bulb. New compatible exterior lighting can be added for security and to illuminate the residence or landscape.</p>	 <p>The image block contains three photographs. The top photo shows a front porch with a wooden door and a window, with a light fixture on the wall. The middle photo shows a courtyard entry with a rusted light fixture and a missing cover. The bottom photo shows a rear elevation with a wall-mounted porch light fixture.</p>
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<p>Electrical</p>	<p>The primary electrical is underground to the house.</p>	<p>The electrical equipment and wiring may need upgrades</p>	<p>The electrical service should be reviewed by an engineer. The building should be rewired as needed as well as other appropriate upgrades for safety.</p>	 A photograph showing an electrical meter and a panel mounted on the exterior wall of a building. The meter is a circular device with a glass cover, and the panel is a rectangular white box. There are some wires and pipes visible around the equipment. A window with blue curtains is visible in the background.
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<p>Plumbing</p>	<p>The interior plumbing and underfloor system is dated. The plumbing to the rear bathroom is awkward with a sunken tub</p>	<p>The plumbing service including sewer has not been investigated. Much of the plumbing throughout the house is older piping and may need replacement. The bathroom plumbing is leaking, damaging the finishes and structure..</p>	<p>Plumbing should be reviewed. New service and drain lines may be necessary.</p>	
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<p>Mechanical and Heating</p>	<p>There is gas service to the building so that both water and space heating is currently gas.</p>	<p>The system is operable but needs upgrade</p>	<p>Mechanical systems including water heating and HVAC may require update or change to electric. Review gas shut off for safety.</p>	
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MILLS ACT MAINTENANCE PLAN
218 N. Catalina Avenue

MAINTENANCE PLAN: 218 N. Catalina Avenue - Front building

Item #	Maintenance Schedule	Feature	Location	Recommended Treatment Maintenance per Secr of Ints Stds.	Total (Est. Budgets)
SITE					
1	2024 ongoing	Sitework	Entry walk at front, driveway on south concrete paving around back of building	Refurbish paving	\$ 15,000.00
2	monthly	Landscape	Minimal plantings.Frontyard lawn Small plantings against bulding on south and west	Maintain landscape, check irrigation Trim plants and irrigation against stucco walls Refurbish ground cover & maintain	\$ 12,000.00
EXTERIOR					
3	2024	Foundations/Structural	Footings	Review structural Improve seismic connection as needed	\$ 5,000.00
4	2024 5 year cycle 2029	Plaster exterior	Complete exterior	Review plaster. Patch cracks Prep and paint on regular cycle	\$ 8,000.00
5	2024 5 year cycle 2029	Wood entry doors	Entry, ground floor entry doors	Maintain original doors Prep and paint, reconstruct as needed	\$ 2,000.00
6	2024 rehab ongoing	Windows	Throughout	Maintain windows and operation. Prep and paint reconstruct as needed. Provide new matching wood windows at current jalousie wdws	\$ 5,000.00
7	2024 5 year cycle 2029	Wood trim and railings	Exterior wood work around bldg incl entry porch rails. Wood infil at front and rear gable pediments	Prep and paint approx. 5 year cycle Repair as needed Care to preserve scalloped shingles	\$ 5,000.00
8	2024 5 year cycle 2029	Roofing	Entire roof	Maintain with 5 year review	\$ 15,000.00
9	2024 5 year cycle 2029	Gutters and Drainage	Exposed downspouts. along sides and in court	Repair and refinish gutters as necessary Review roof and site drainage	\$ 1,000.00
10	2024 & ongoing	Hardware	Exterior Windows and Doors	Maintain original window and door hardware, replace missing hardware with consistent finish	\$ 2,000.00
11	2024 & ongoing	Exterior Lights	Front porch and rear entries General site lighting for safety	Relamp as needed Check for weather seal and finish condition	\$ 1,000.00
SYSTEMS					
12	2024 upgrade	Electrical	Upgrade as needed	Upgrade service and wiring as needed Review exterior outlets for safety	\$ 6,000.00
13	2024 rehab & ongoing	Plumbing	Throughout site and residence	Maintain and refurbish plumbing Replace piping as needed	\$ 8,000.00
14	2924 New elec HVAC as needed	Heating/AC/Gas	Throughout Gas feed at south elevation	Rework existing service, New HVAC (elec) for climate control. Check for shutoffs	\$ 4,000.00
ADMINISTRATIVE					
15	2024	Permits Fees related to historic items		City of Redondo Beach	\$ 5,000.00

**TOTAL MILLS ACT MAINTENANCE PLAN 10 Years
Front Building \$ 94,000.00**