

GENERAL NOTES:

DIG ALERT (811) IS TO BE CONTACTED AND MUST COMPLY WITH EXCAVATION SAFETY IN ACCORDANCE WITH GOVERNMENT CODE 4216 WILL BE FOLLOWED PRIOR TO ANY EXCAVATION TAKING PLACE.	<p>PRIOR TO COMMENCEMENT OF WORK, IT'S OWNER'S/ CONTRACTOR RESPONSIBILITY TO VERIFY ALL PROPERTY LINES.</p> <p>A PROFESSIONAL SURVEYOR IS</p>
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<input checked="checked" type="checkbox"/>	RECOMMENDED IF OWNER/ CONTRACTOR CAN NOT DETERMINE SUCH PROPERTY LINE.
<input type="checkbox"/>	DESIGNER/ ENGINEER SHOULD BE CONTACTED

ACKNOWLEDGEMENT OF OWNER OR CONTRACTOR REPRESENTING OWNER

SHEET INDEX	LOT DATA
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SHEET NO.	SHEET DESCRIPTION	PARCEL ID/ APN NO:	7503-028-004
TS	TITLE SHEET	LOT SIZE:	4,326 SQ.FT.
SP	SITE/ ROOF PLAN	LEGAL DESCRIPTION:	REDONDO BEACH LOT 3 BLK 148
A1.0	EXISTING/ PROPOSED FLOOR PLAN		
A2.0	PROPOSED ELEVATIONS		

PRIOR TO COMMENCEMENT OF WORK, IT'S
OWNER'S/ CONTRACTOR RESPONSIBILITY TO
VERIFY ALL PROPERTY LINES.

A PROFESSIONAL SURVEYOR IS
RECOMMENDED IF OWNER/ CONTRACTOR
CAN NOT DETERMINE SUCH PROPERTY LINE.

DESIGNER/ ENGINEER SHOULD BE CONTACTED
AND NOTIFIED OF ANY DISCREPANCIES PRIOR
TO COMMENCEMENT OF WORK.

LOT DATA	
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PARCEL ID/ APN NO:	7503-028-004
LOT SIZE:	4,326 SQ.FT.
LEGAL DESCRIPTION:	REDONDO BEACH LOT 3 BLK 148
STORY:	1
CONSTRUCTION TYPE:	V-B
ZONING:	R-3
OCCUPANCY GROUP:	R-3/U
SPRINKLERS:	NO

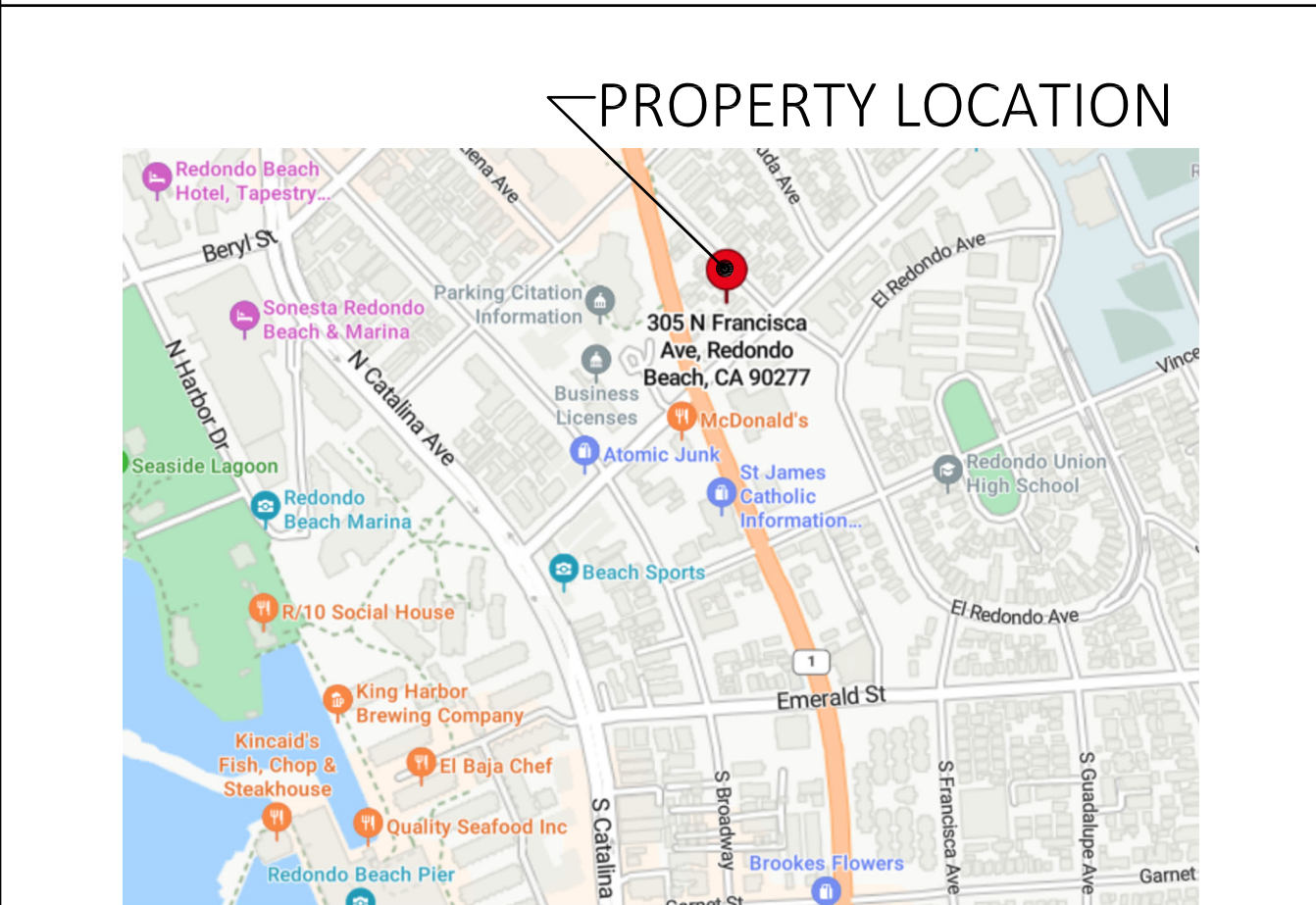
SCOPE OF WORK

*PROPOSED 300 SQ.FT ADDITION TO EXISTING SINGLE FAMILY DWELLING.
-ADDITION CONSISTING OF NEW MASTER BEDROOM, BATHROOM, & WALK IN CLOSET.

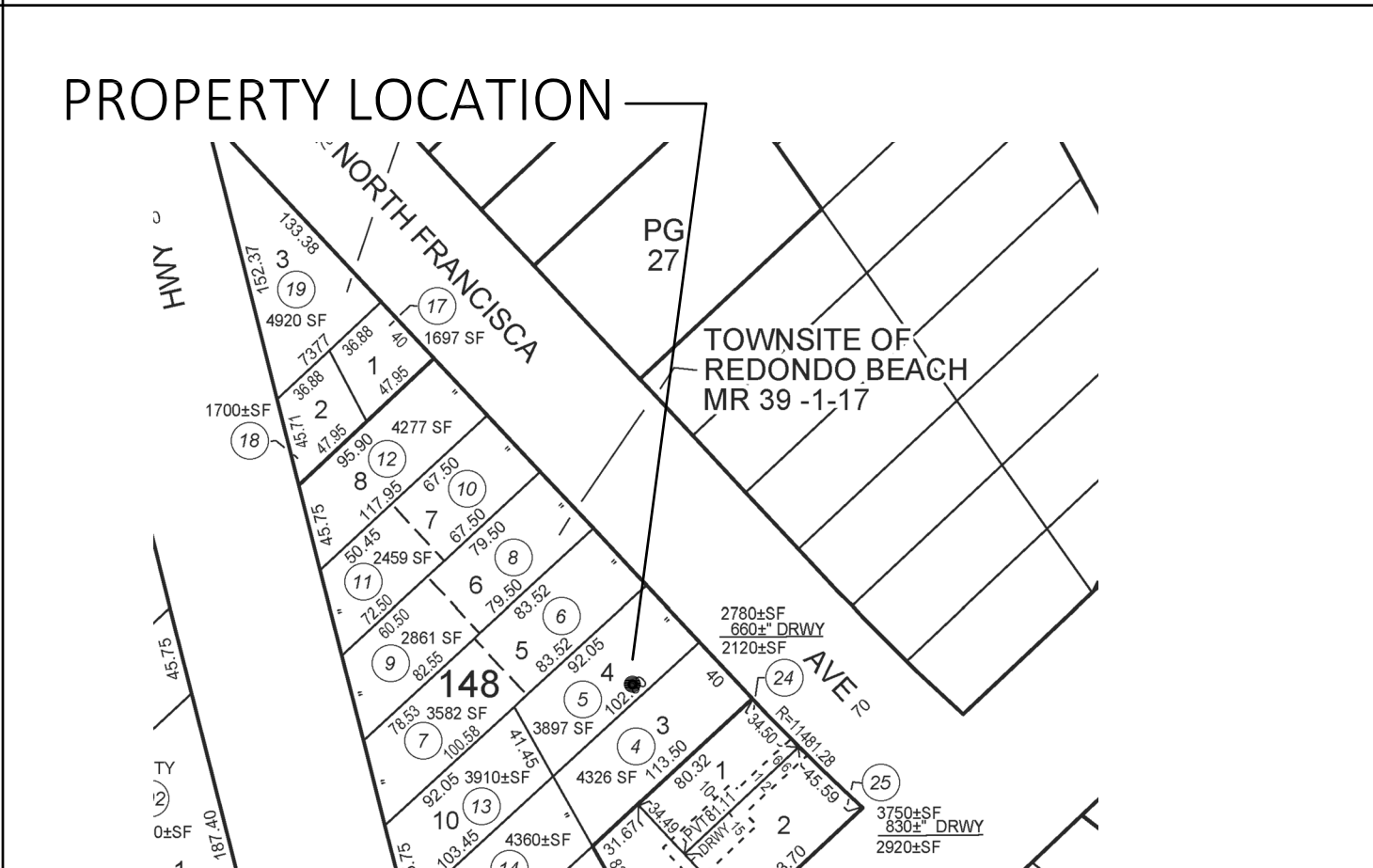
*PROPOSED 137 SQ.FT. DECK ATTACHED TO NEW ADDITION.

*NO CHANGES TO GRADING/ LANDSCAPE/
HARDSCAPE

VICINITY MAP	PARCEL MAP
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PARCEL MAP



KENSON RESIDENCE

305 N. FRANCISCA AVE
REDONDO BEACH, CA 90277

PROJECT SUMMARY	
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EXISTING RESIDENCE	
305 N. FRANCISCA AVE:	808 SQ.FT.
PROPOSED ADDITION:	300 SQ.FT.
TOTAL AREA:	1,108 SQ.FT.
PROPOSED DECK:	137 SQ.FT.
EXISTING PORCH	
305 N. FRANCISCA AVE:	84 SQ.FT.
EXISTING GARAGE	
305 N. FRANCISCA AVE:	289 SQ.FT.

ATTACHMENT A
BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Development Construction
Projects/Certification Statement

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
- Other: _____

• Other: _____

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____
(Owner or authorized agent of the owner)

CONSULTANTS	BUILDING CODES
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OWNERS NAME: KIM KENSON 305 N. FRANCISCA AVE REDONDO BEACH, CA 90277	APPLICANT/ DEVELOPER SHALL COMPLY WITH APPLICABLE PROVISIONS OF: 2022 CALIFORNIA RESIDENTIAL CODE
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<p>ARCHITECTURAL & STRUCTURAL ENGINEERING:</p> <p>JOSE C RAMIREZ, P.E. RAMIREZ STRUCTURAL INC. (562) 519-6045</p>	<p>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA GREEN BUILDING CODE 2022 CALIFORNIA ENERGY CODE</p>
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BUILDING CODES


APPLICANT/ DEVELOPER SHALL COMPLY WITH APPLICABLE PROVISIONS OF:

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING CODE
2022 CALIFORNIA ENERGY CODE

W/ CITY OF REDONDO BEACH AMENDMENTS

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KENSON RESIDENCE
(N) 300 SQ.FT. ADDITION W/
(N) 300 SQ.FT. OPEN DECK ABOVE

305 N. FRANCISCA AVE
RENDONDO BEACH, CA 90277

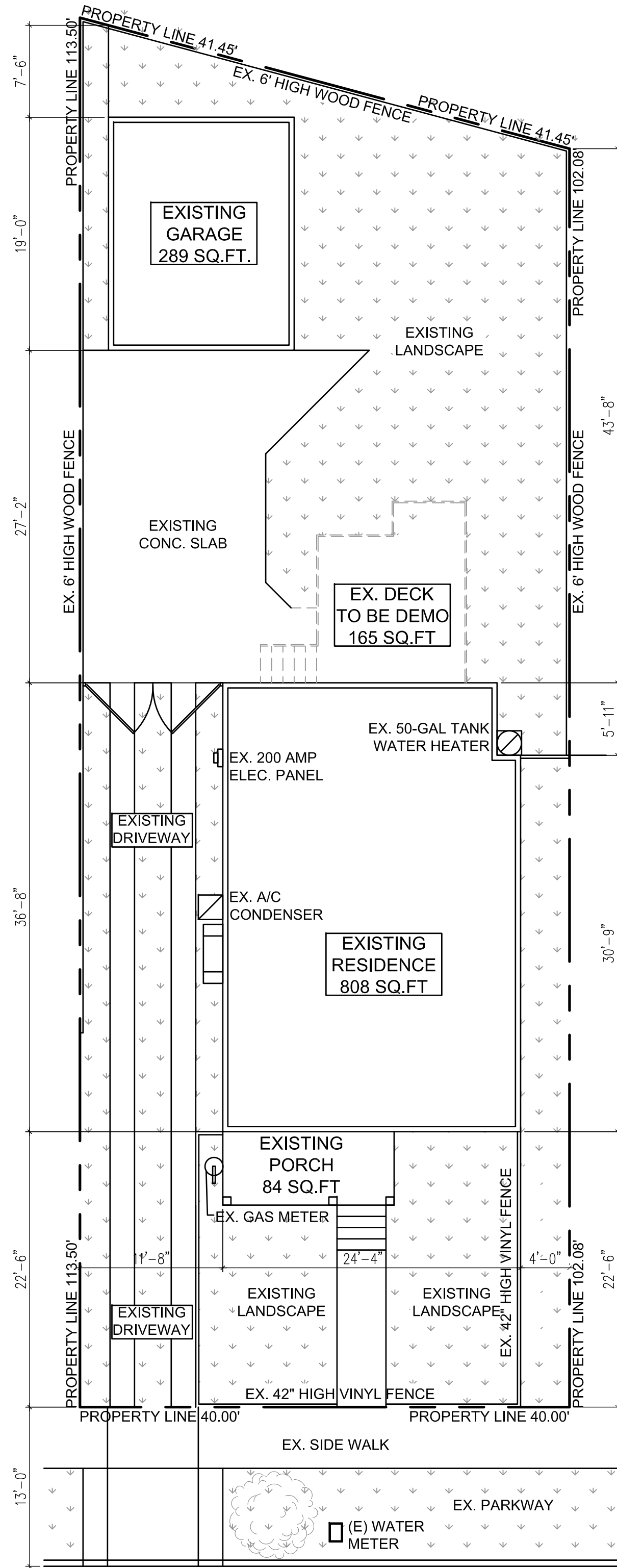
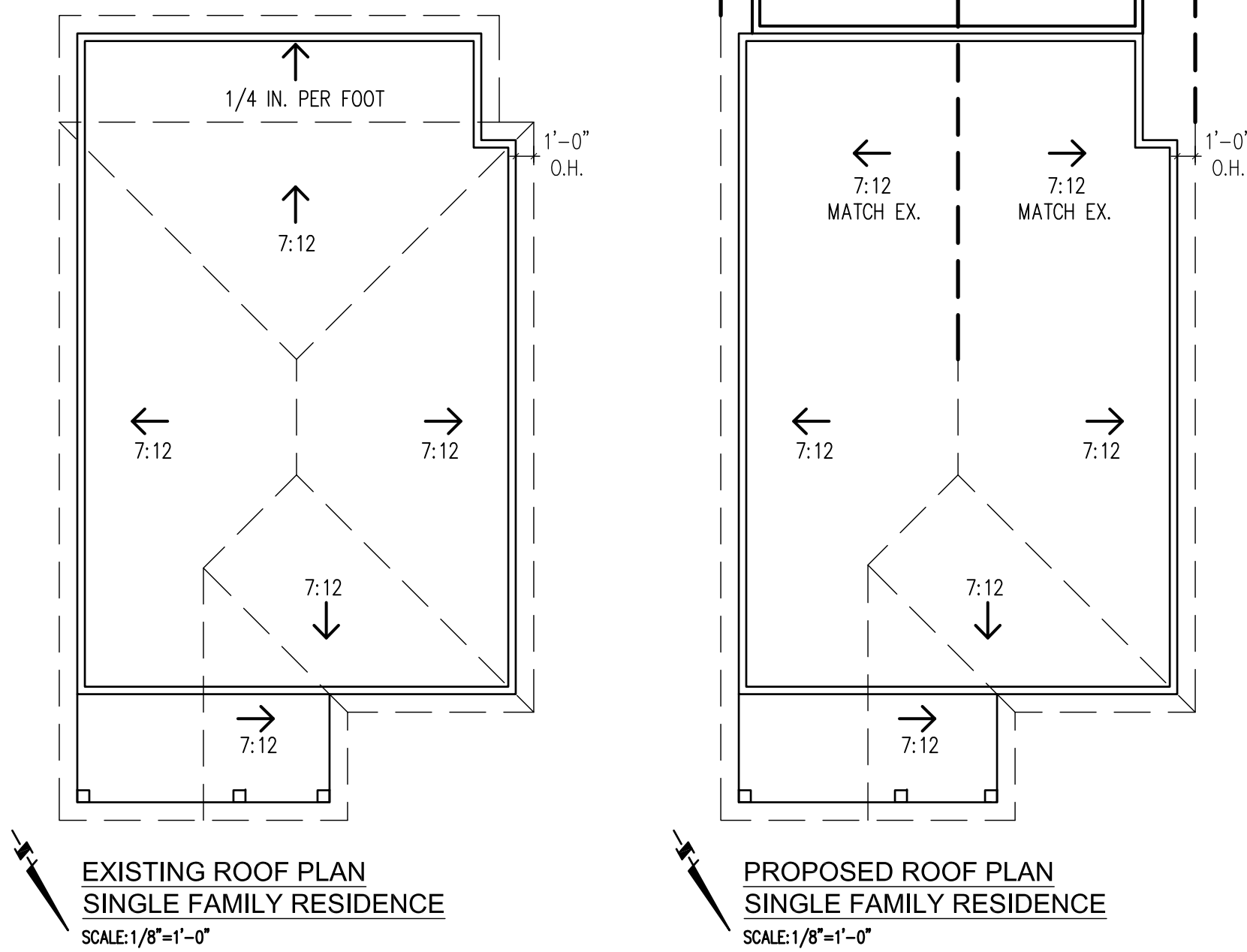
PROJECT NO. 24-233

DATE: 08/07/24

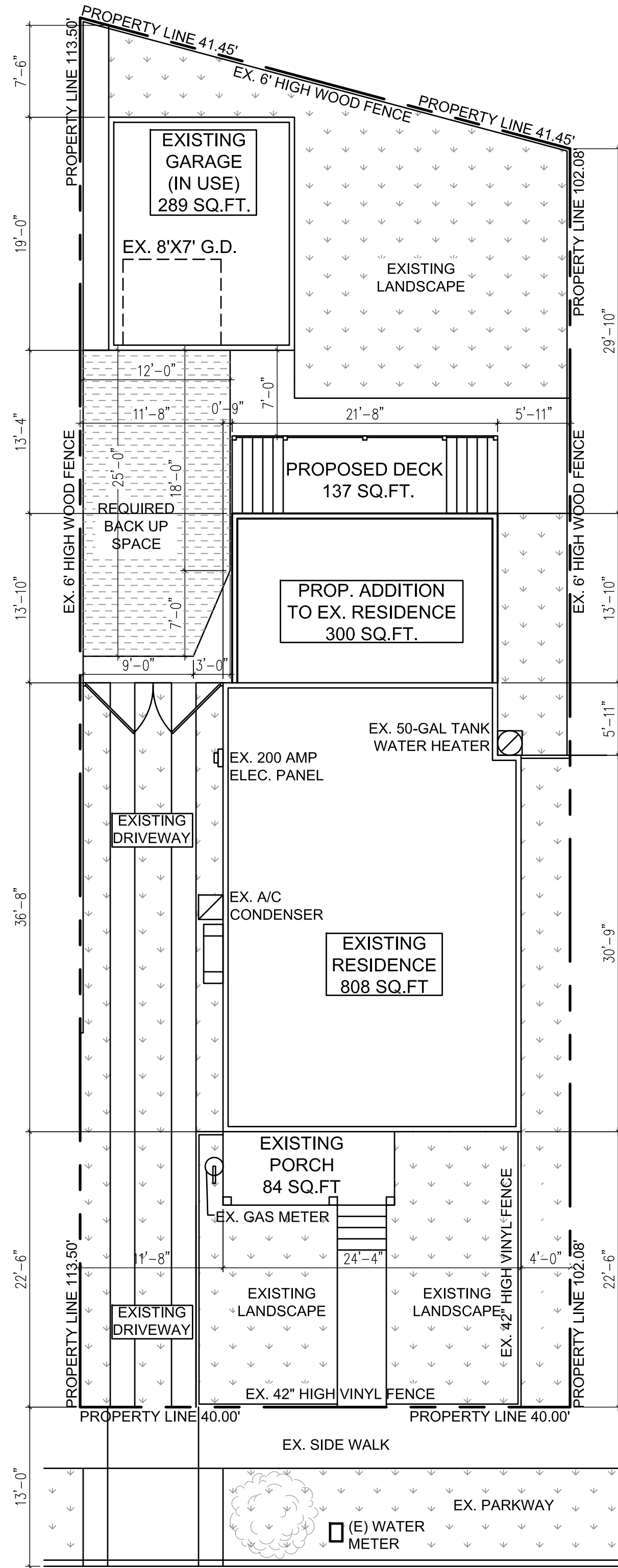
REVISION	DESCRIPTION	DATE
A		
B		
C		

TS
TITLE SHEET

SCALE: NONE



EXISTING SITE PLAN
SCALE: 1/8"=1'
305 N. FRANCISCA AVE



PROPOSED SITE PLAN
SCALE: 1/8"=1'
305 N. FRANCISCA AVE

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Jose C. Ramirez

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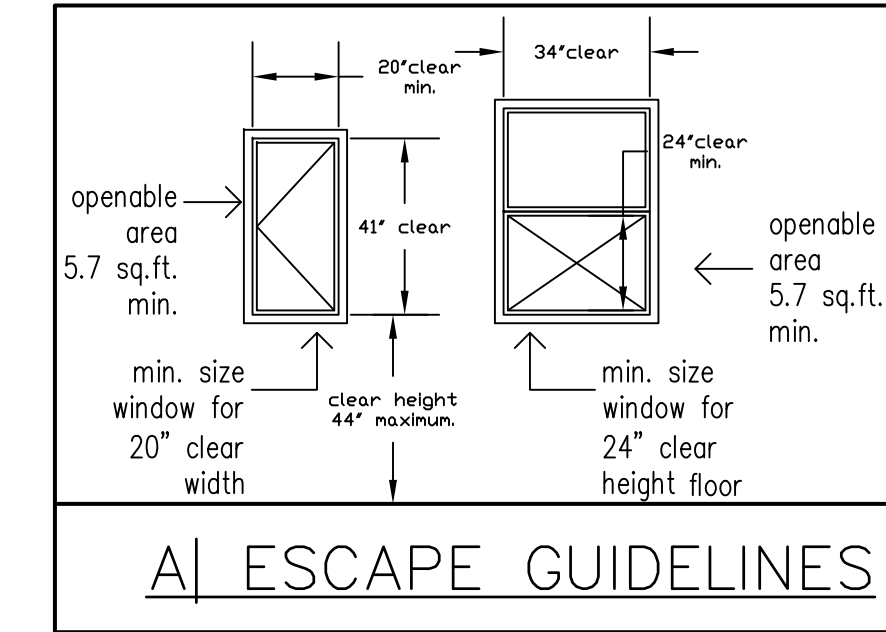
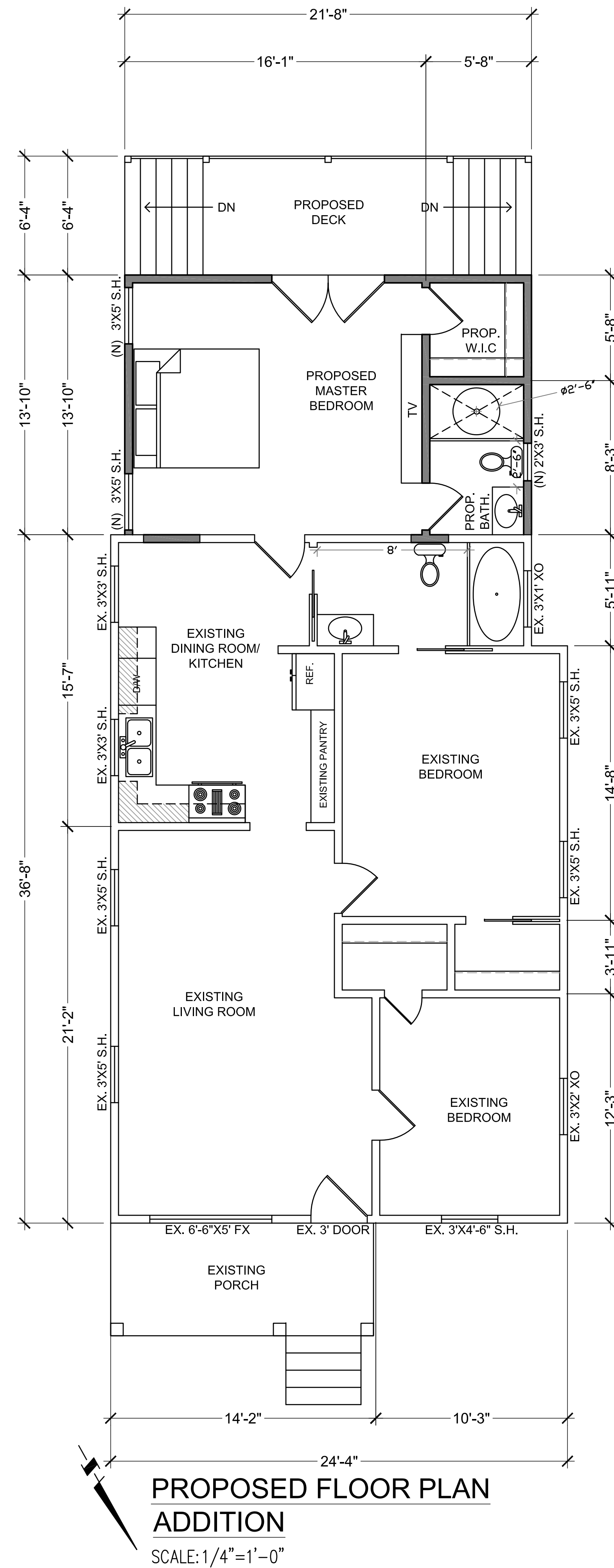
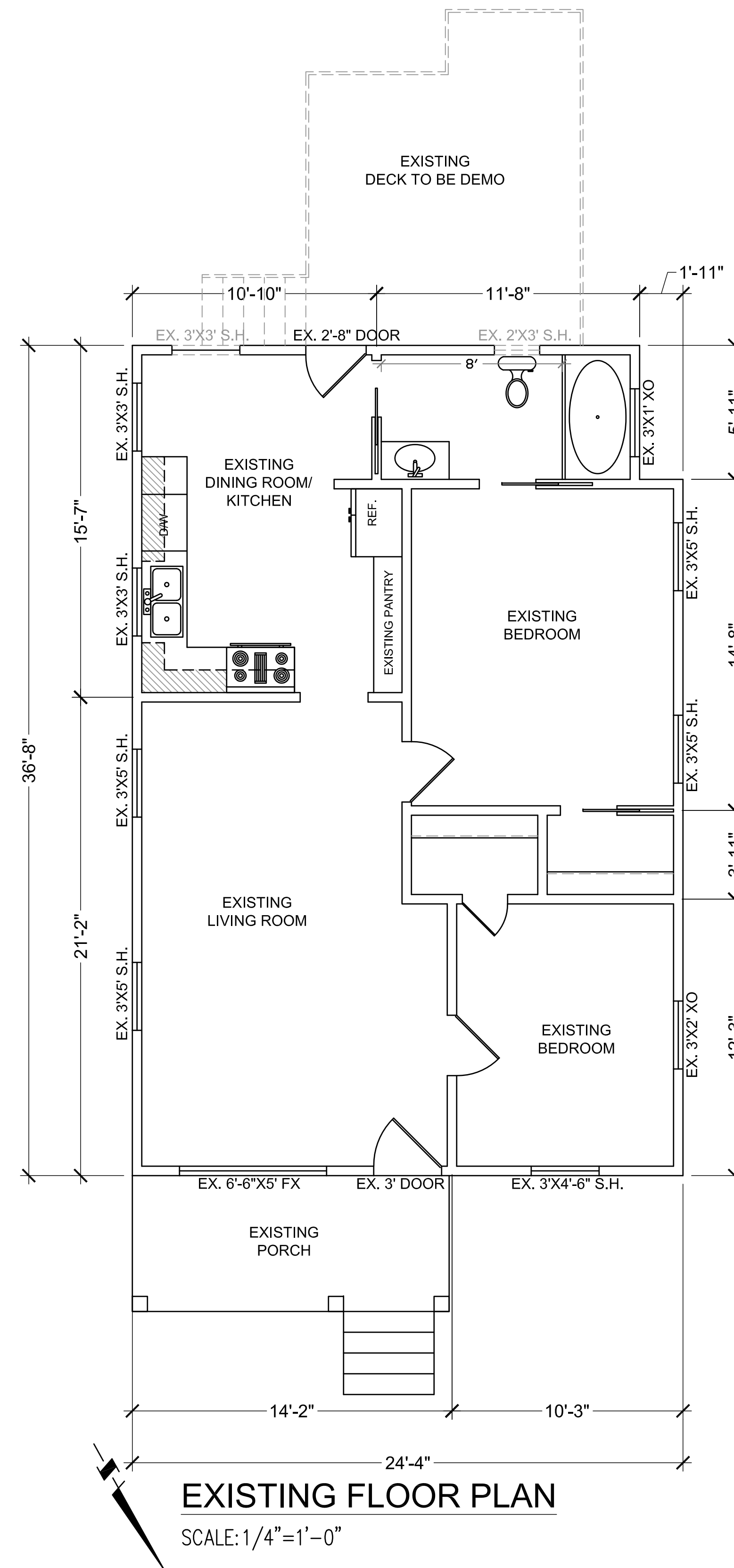
PROJECT NO. 24-233

DATE: 08/07/24




REVISION	DESCRIPTION	DATE
A		
B		
C		

SP
SITE PLAN

SCALE: 1/8"=1'



WALL LEGEND

	NEW WALLS
	EX. WALLS
	DEMO WALLS

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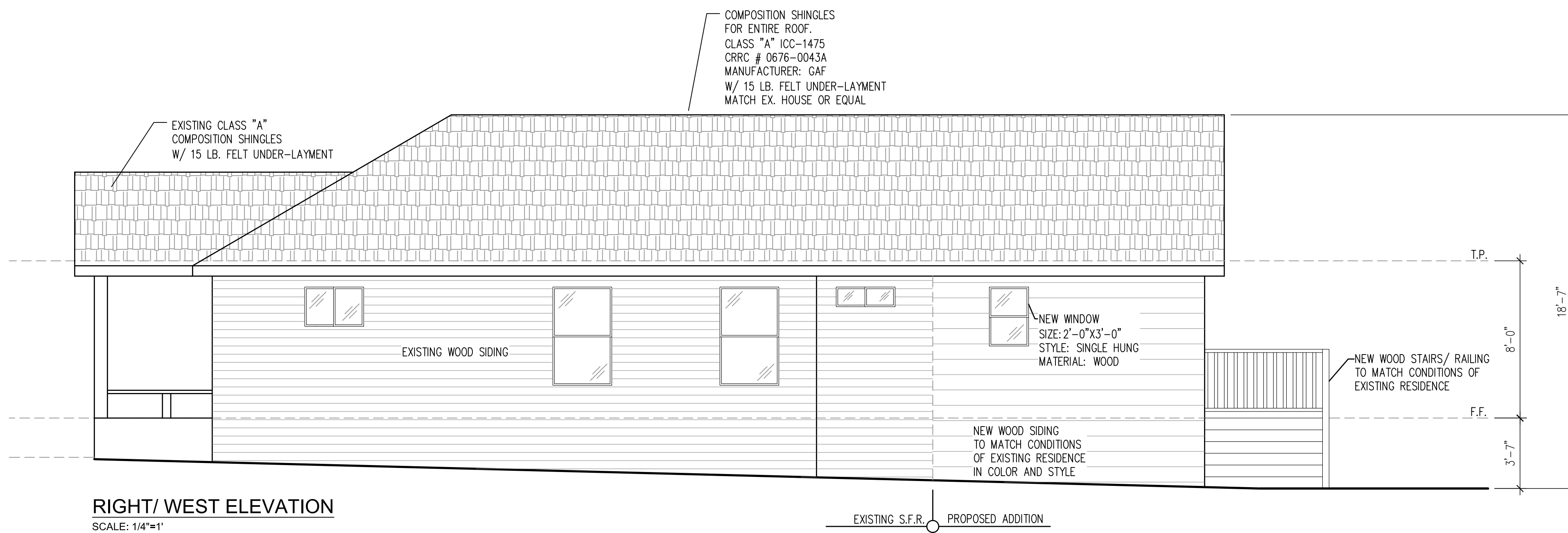
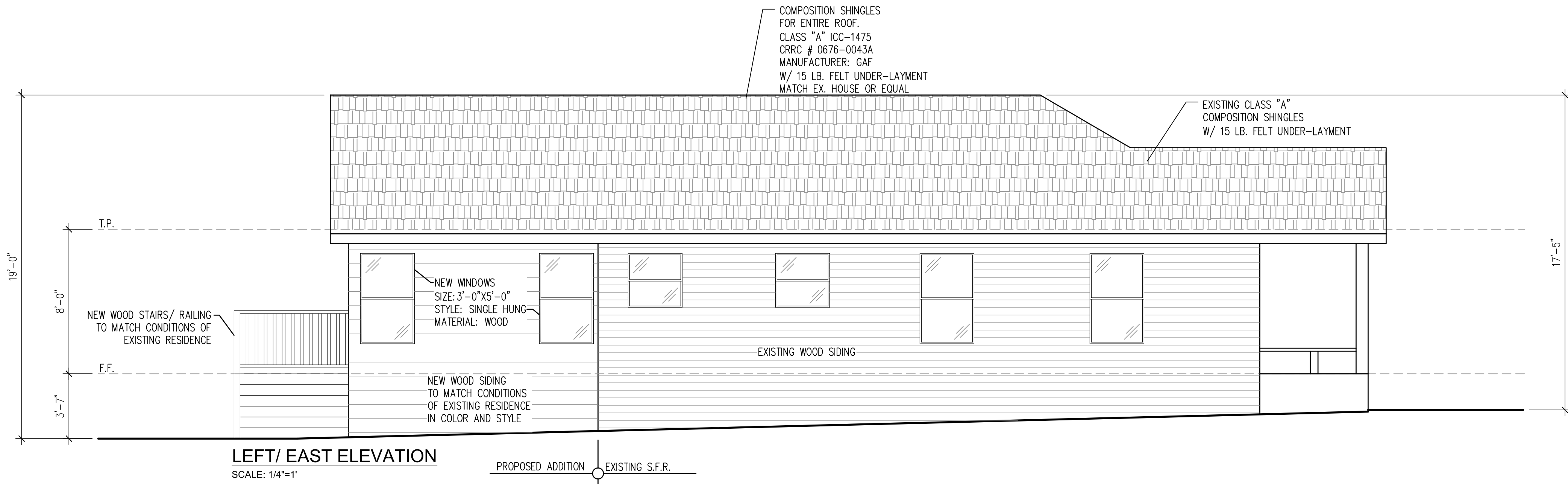
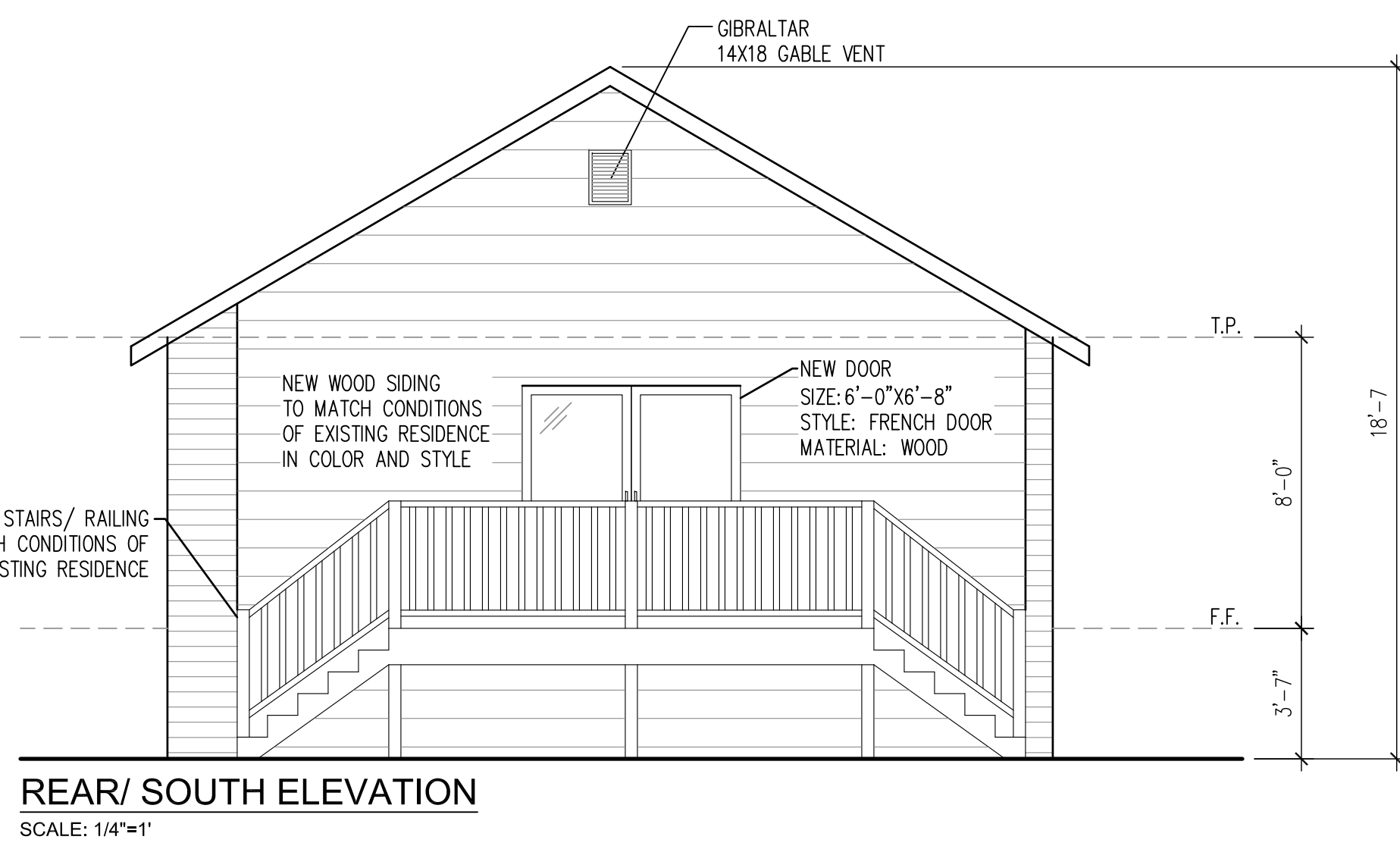
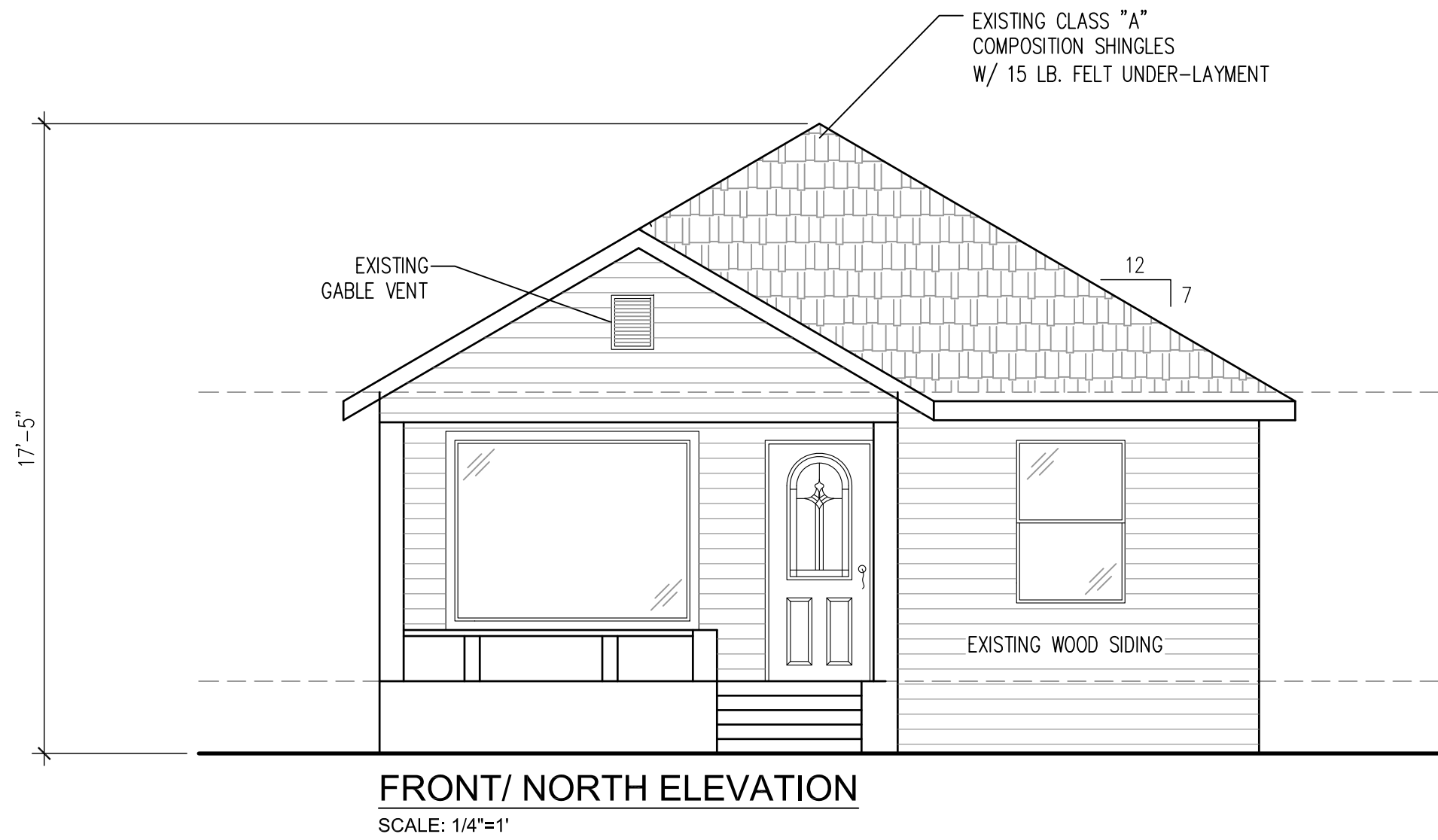
DATE: 08/07/24

REVISION	DESCRIPTION	DATE
A		
B		
C		

A1.0

EX./ PROP.
FLOOR PLAN

SCALE: 1/4"=1'



RADIANT BARRIER

*RADIANT BARRIER: THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING'S TRUSS/RAFTERS, COVERING THE ENTIRE ROOF/ATTIC (INCLUDING ALL GABLE END), WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC.

NOTE: WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.

REQUIRE DRIP EDGE AT EAVES AND RAKE EDGES OF SHINGLE ROOF PER R 905.2.8.5.

VENTILATION:

ATTIC VENTILATION NEEDS TO BE AT LEAST 1/150 OF THE AREA WITH 50% REQUIRED VENTING LOCATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF REQUIRED VENTING PROVIDED BY EAVES OR CORNICE VENTS AND SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE AREA OF VENTILATION MAY BE REDUCED TO 1/300 PROVIDED A VAPOR RETARDER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. (2022 CBC)

EXTERIOR FINISHES

ALL EXPOSE PLYWOOD TO BE EXTERIOR GRADE.
ALL EXPOSE TRIM AND PLYWOOD TO BE RESAWN.

ROOF NOTES

ROOF SHEATHING TO BE 1/2" PLYWOOD SHEATHING W/ 1 X SOLID SHEATHING AT ALL OVERHANGS.
ROOF COVERINGS SHALL BE MIN. CLASS "A" ASSEMBLY

TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE 12" UNLESS NOTED OTHERWISE ON PLAN
EXTERIOR LATH: PROVIDE TWO LAYERS OF GRADE D PAPER OVER ALL WOOD BASE SHEATHING.

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(N) 300 SQ.FT. OPEN DECK ABOVE
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A		
B		
C		

A2.0

**PROPOSED
ELEVATIONS**

SCALE: 1/4"=1'