

CITY OF REDONDO BEACH
PLANNING DIVISION
415 DIAMOND STREET
REDONDO BEACH, CA 90277
(310) 318-0637

RECEIVED BY:

AG/sk

DATE RECEIVED:

2/24/20

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Application is hereby made to the Preservation Commission of the City of Redondo Beach, for a Certificate of Appropriateness pursuant to Section 10-4.401, Title 10, Chapter 4, of the Redondo Beach Municipal Code.

| | | |
|----------|--|---|
| A | APPLICANT INFORMATION | |
| | STREET ADDRESS OF PROPERTY: 100-132 N Catalina Ave | |
| | EXACT LEGAL DESCRIPTION OF THE PROPERTY: LOT: Lots 37-50 BLOCK: Block 178 TRACT: Redondo Beach Tract RECORDED OWNER'S NAME: MAILING Melba L. House, trustee of the Melba. L. House Revocable Trust - 241 Vista del Parque Redondo Beach, CA 90277 Gordon Ervin Stewart Trust dated April 29, 1993 - Brown & Streza LLP 40 Pacifica, 15th Floor, Irvine, CA 92618 (949) 453-2900 x 154 Walter A. Griesser 2011 Trust, dated May 5, 2011 Baker, Burton & Lundy 515 Pier Ave, Hermosa Beach, CA 90254 | ZONING: R3A AUTHORIZED AGENT'S NAME: Catalina Fund, LLC Attn: Jason Muller, General Manager MAILING ADDRESS: 1221 Hermosa Ave, Suite 101 Hermosa Beach, CA TELEPHONE: 424-452-6199 FAX: |
| B | PROJECT DESCRIPTION: Give the following data for the project: | |
| | Description of proposed project. Please note if it is in a Historic District and if it is visible from the public right-of-way. See attached | |
| | Existing use(s) of site: | |
| | Existing condition of structure: | |
| | Indicate how the proposed work is compatible with the original architectural style of the building. If in a Historic District, indicate how the work is compatible with the overall character of the District. | |

It is desirable, but not required, to have the signatures of owners of property in the immediate area affected, certifying that they have no objection to the proposed Certificate of Appropriateness.

| NAME | ADDRESS | LOT | BLOCK | TRACT |
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A. INSTRUCTIONS FOR GRAPHIC PORTIONS OF THE APPLICATION FOR PREPARATION

The chart below indicates the types of plans and information that are to be submitted for various types of proposals. Following the chart is a checklist for each requirement. Depending upon the nature of a proposal, City staff may permit certain items to be modified or deleted. The Preservation Commission reserves the ability to subsequently require omitted items to be provided, but this will be done only if considered to be essential to making a proper decision.

| <u>DESCRIPTION OF PROJECT</u> | <u>SITE PLAN</u> | <u>EXISTING ELEVATIONS</u> | <u>PROPOSED ELEVATIONS</u> | <u>PHOTOS</u> | <u>COLOR BOARD</u> | <u>ROOF PLAN</u> | <u>MATERIAL SAMPLES</u> |
|---|------------------|----------------------------|----------------------------|---------------|--------------------|------------------|-------------------------|
| BUILDING ADDITION/NEW INFILL CONSTRUCTION | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| BUILDING ALTERATION | ✓ | ✓ | ✓ | ✓ | ✓ | | ✓ |
| CHANGE OF PAINT COLOR | | OPTIONAL | | ✓ | ✓ | | |
| WALLS, FENCES, GATES | ✓ | | ✓ | ✓ | ✓ | | ✓ |
| SIGNS | ✓ | | ✓ | ✓ | ✓ | | |
| HARDSCAPE | ✓ | | | ✓ | ✓ | | |
| SOFTSCAPE (LANDSCAPING/VEGETATION) | ✓ | | | ✓ | | | |
| DEMOLITION | ✓ | | | ✓ | | | |

1) SITE PLAN

Scale: Minimum 1/8 inch = 1 foot

General Information:

North arrow.

Title block (showing the address of subject property, name and address of person who prepared the map, scale of map, and date).

Legal description.

Size of lot.

Percentage of lot coverage.

Percentage of hardscape/landscape/open space cover.

Proposed/required parking.

Topographical Survey:

(Prepared by registered civil engineer or land surveyor)

Contour lines to extend beyond all property lines up to 5 feet. Contours at intervals of 1 to 5 feet.

Indicate: all property corner elevations, adjacent property elevations, elevation of finished floor and roof ridge of each building.

Property Dimensions:

Dimension all property lines.
Location and dimension easements (existing and proposed).

Buildings:

Indicate: location and dimensions of all structures (existing and proposed) and required setbacks.
Show structures to be demolished with dashed lines.
Dimension space between buildings.
Indicate dimensions from all structures to property lines.

Softscape:

Indicate: existing major vegetation (note major vegetation to be removed and/or relocated) and proposed landscaped areas.

Parking/Access:

Indicate and dimension: all curb cuts, driveways, and walkways, all parking spaces, access aisles and loading areas.
Indicate: all adjacent streets, street dedications and improvements.

Improvements:

Indicate: location, height, and material of walls and fences.
Indicate: location, size and height of signs.
Indicate: location and general nature of exterior lighting.

2) ARCHITECTURAL ELEVATIONS

Minimum scale: ¼ inch = 1 foot
Minimum scale for details 1 ½ inch to 3 inches = 1 foot.
Where existing elevations are required; show all sides of the building or improvement.
Where proposed elevations are required: provide separate elevations showing all sides of new buildings and improvements and all affected sides of altered buildings and improvements.
Indicate height of all structures.
Identify all types of exterior architectural materials.
Significant architectural features and historic fabric must be shown in detail (doors, fenestration & design details).
Show existing and finished grades.

3) PHOTOS:

Minimum size 4" x 6" color prints (not polaroids) showing all sides of existing building(s), with additional photos showing features to be altered at close range. (Digital submittal of photos in addition to prints is also encouraged.)

4) COLOR BOARD:

Through use of color samples or colored elevations, show the paint or finish colors for all exterior surfaces.

5) ROOF PLAN:

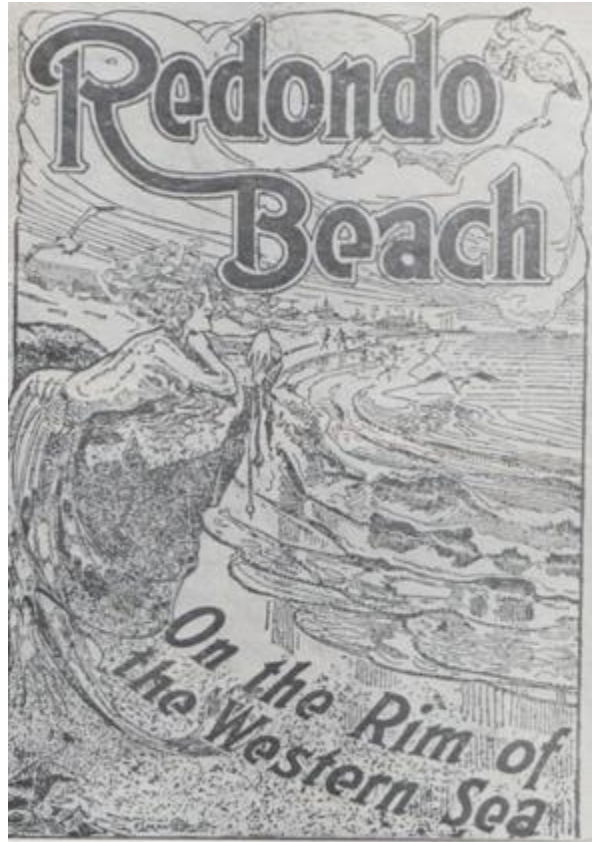
Minimum scale: 1/8 inch = 1 foot
Plan must illustrate relationship of new roof to roof(s) of existing building(s).

6) MATERIAL SAMPLES:

Samples should include roofing and siding materials, trim, and other significant features; and should be of a sufficient size to evaluate the qualities of materials when actually applied to the building.

B. INSTRUCTIONS FOR SUPPLEMENTAL ITEMS – MEET WITH PLANNING DEPARTMENT STAFF

1. PRESERVATION PLAN
2. HISTORIC STRUCTURE REPORT
3. ENVIRONMENTAL ASSESSMENT



**100-132 N. Catalina Avenue
Redondo Beach, California
Historic Resource Evaluation**

November 20, 2020

Submitted by:

**Kaplan Chen Kaplan
2526 Eighteenth Street
Santa Monica, CA 90405**

**David Kaplan, Principal
Pam O'Connor, Architectural Historian**

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Attachments

Attachment A: Maps

Attachment B: Historic Aerial Photographs and Sanborn Insurance Maps

EXECUTIVE SUMMARY AND PURPOSE

This report, completed by Kaplan Chen Kaplan, presents the findings of the historic resources evaluation conducted regarding the properties at 100 N. Catalina Avenue, 112 N. Catalina Avenue, 116 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue, and 132 N. Catalina Avenue. All of the properties, except 100 N. Catalina Avenue, contain buildings.

Based on the facts and evidence presented this report, none of the properties meet the criteria to be eligible for inclusion on the National Register of Historic Places or for the California Register of Historical Resources. The properties at 112 N. Catalina Avenue and 126 N. Catalina Avenue appear eligible as City of Redondo Beach individual landmarks.

The buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue are eligible contributing buildings to a City of Redondo Beach Historic District. The buildings are rare resources representing early 20th Century commercial development in Redondo Beach as very few early 20th Century commercial buildings remain. The subject buildings represent the continuum of commercial building property types in Redondo Beach during the first half of the 20th Century, 1904 to 1949. Although the buildings have undergone alteration over the decades, they all still retain original form and massing and enough character-defining features that guide rehabilitation of the buildings.

The property at 116 N. Catalina Avenue does not meet the criteria for designation as a City of Redondo Beach Landmark as it no longer retains its original form and massing which was lost when the building was remodeled from a hybrid residential-commercial building into a commercial building.

The proposed project, Catalina Village is adaptive reuse and rehabilitation of the buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue. The parcels will be consolidated along with the undeveloped parcel at the corner of N. Catalina Avenue and Emerald Avenue. New residential buildings will be constructed at the rear of the subject parcels as well as on the front of the undeveloped corner parcel.

This report provides an analysis and evaluation of the project regarding its compliance with the Secretary of the Interior's Standards for Rehabilitation. The proposed adaptive reuse and rehabilitation of the eligible properties comply with the Standards. The properties are in an urbanized neighborhood and there are residential multi-family buildings to the east and west. The addition of the new residential buildings on the subject properties provide a uniform and neutral backdrop for the historic buildings. The addition of the new buildings will not have an adverse impact on the eligible historic district.

The findings of this report are the result of thorough research, field observations and property evaluations using current technical guidance from national, state, and local historic preservation agencies.

SUMMARY OF RESEARCH AND METHODOLOGY

A comprehensive methodology for researching the development history of properties and evaluation of the research to determine potential historic eligibility included conducting the following activities:

- Field review of subject properties in March 2019 and March 2020
- Field review of adjacent area in March 2019 and March 2020
- Photography of subject properties and adjacent area
- Review of City of Redondo Beach Building Permit records
- Assessor data research
- Research online databases and sources including Redondo Beach Historical Society
- Research Redondo Beach Library and Los Angeles Public Library online resources
- Review of City Directories
- Review of historic maps including Sanborn, aerial and topographic maps
- Research online photographic databases
- Research historic newspaper databases
- Review of Redondo Beach historic resource surveys
- Historic Records Search, South Central Coastal Information Center (SCCIC)
- Analysis of materials reviewed and researched
- Evaluation of properties in accordance with federal, state and local eligibility criteria

All of the field data and research data were analyzed and evaluated by an architectural historian who meets the Secretary of the Interior's Professional Qualification Standards for Historic Preservation and by an architect who meets the Professional Qualification Standards for Historic Architect.

REGULATORY FRAMEWORK

The importance of historic resources has been recognized by federal, state, and local governments through programs and legislation that identify and recognize buildings, structures, object, landscapes and districts that possess historic significance.

National Register of Historic Places

The National Historic Preservation Act (NHPA) of 1966 established the National Register of Historic Places (National Register) as an authoritative guide "used by Federal, State, and local governments, private groups and citizens to identify the Nation's cultural resources and indicate what properties should be afforded protection from destruction or impairment."¹ Buildings, districts, sites and structures may be eligible for listing in the National Register if they possess significance at the national, state or local level in

¹36 Code of Federal Regulations, Section 60.

American history, culture, architecture or archeology, and in general, are over 50 years old. Significance is evaluated using established criteria:

- A. Are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. Are associated with the lives of persons significant in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Yield, or may be likely to yield, information important in prehistory or history.

Significance of Association. National Register Bulletin 32, Guidelines for Evaluating and Documenting Properties Associated with Significant Persons, provides guidance on evaluating potential historic association with people who have “made contributions or played a role that can be justified as significant.” For association with leaders or prominent families it is necessary “to explain their significant accomplishments” and they “must be compared to those of others who were active, successful, prosperous, or influential in the same field.” Most properties nominated for associations with significant persons also are nominated for other reasons and a majority of properties nominated under the association criterion are also significant in the area of architecture or for the area in which the individual(s) achieved recognition.

National Register Bulletin 32 adds that the fact that we value certain professions, or the contributions of certain groups historically does not mean that every property associated with or used by a member of that group is significant. Associations with one or more individuals in a particular profession, economic or social class, or ethnic group will not automatically qualify a property. The contribution must be distinctive: it is not enough to show that an individual has acquired wealth, run a successful business, or held public office, unless any of these accomplishments, or their number or combination, is a significant achievement in the community in comparison with the activities and accomplishments of others.

Integrity. Properties may be eligible for inclusion on the National Register as individual resources and/or as contributors to an historic district. *National Register Bulletin 15: How to Apply National Register Criteria for Evaluation* states that in addition to meeting at least one of the four criteria, a resource should be evaluated to assess its integrity. For individual resources to qualify for inclusion they must represent an important aspect of an area’s history and possess integrity. An historic district must retain integrity as a whole, “the majority of the components that make up the district’s historic character must possess integrity even if they are individually undistinguished.”

Integrity is the ability of a property to convey its significance. There are seven aspects to be evaluated to determine the historic integrity of a property. To be eligible for designation to the National Register a property must retain historic integrity. To “retain historic integrity a property will always possess several, and usually most, of the aspects.” The seven aspects of integrity are location, design, feeling, association, setting, workmanship and materials.

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons.

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the character of the place in which the property played its historical role. It involves how, not just where, the property is situated and its relationship to surrounding features and open space. Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences. The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as: topographic features (a gorge or the crest of a hill); vegetation; simple manmade features (paths or fences); and relationships between buildings and other features or open space.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century.

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for historic designation.

Historic Context. A resource should be evaluated within their historic context. National Register Bulletin 15 states that an historic context explains "those patterns, themes, or trends in history by which a specific...property or site is understood and its meaning...is made clear."

Historic District. According to National Register Bulletin 15, an historic district derives its importance from being a unified entity whose identity as a district "results from the interrelationship of its resources, which can convey a visual sense of the overall historic environment." An historic district is "a definable geographic area that can be distinguished from surrounding properties by changes such as density, scale, type, age, style of sites, buildings, structures, and objects, or by documented differences in patterns of historic development or associations...the boundaries must be based upon a shared relationship among the properties constituting the district."²

California Register of Historical Resources

The California Register, based on the National Register, is the "authoritative guide to be used by state and local agencies, private groups, and citizens to identify the state's historical resources and indicate which properties are to be protected." A building, site, structure, object, or historic district may be eligible for inclusion on the California Register if it meets one or more of the following criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States
2. It is associated with the lives of persons important to local, California, or national history
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

California Office of Historic Preservation Technical Assistance Series #6, California Register and National Register: A Comparison states that in addition to meeting one of the criteria of significance, a resource must "retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their

² National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation, pp. 5-6, <https://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>

significance” and “integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association.” Historical resources that “have been rehabilitated or restored may be evaluated for listing.”

Series 6 Guidance also states, “Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance.” Historical resources that do not retain sufficient integrity to qualify for the National Register may still be eligible for listing in the California Register: “a resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.”³

City of Redondo Beach Historic Resource Preservation

The City of Redondo Beach historic preservation ordinance allows for designation of historic resources including “buildings, structures, sites, places and districts within the City that reflect special elements of the City’s architectural, artistic, cultural, historical, political, and social heritage.”⁴

An historic resource may be designated a landmark, and a geographic area may be designated an historic district if it meets one or more of the following criteria:

- a. It exemplifies or reflects special elements of the City’s cultural, social, political, aesthetic, engineering, or architectural history; or
- b. It is identified with persons or events significant in local, state, or national history; or
- c. It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship; or
- d. It is representative of the notable work of a builder, designer, or architect; or
- e. Its unique location or singular physical characteristic(s) represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The ordinance also specifies that “nominations of an historic resource as a landmark shall be made only by application of the property owner or property owners representing a majority or controlling interest in the property on which the resource is located.”⁵

The City of Redondo Beach historic preservation ordinance is silent regarding the level of integrity required for determining eligibility for designation as a City landmark.

³California Office of Historic Preservation Technical Assistance Series #6: California Register and National Register: A Comparison, p. 3.

⁴City of Redondo Beach Zoning Code Section 10-4, 102

⁵ City of Redondo Beach Zoning Code ,Section 2, Ord. 2554

PROJECT LOCATION AND SETTING

The subject properties are located on N. Catalina Avenue in the City of Redondo Beach. These properties include six parcels. Five of the parcels contain buildings in commercial/industrial use; one parcel is vacant:

100 N. Catalina Avenue, APN 7505-005-012, vacant (surface parking)
112 N. Catalina Avenue, APN 7505-005-019, 1904
116 N. Catalina Avenue, APN 7505-005-021, 1925/1945
124 N. Catalina Avenue, APN 7505-005-008, 1946
126 N. Catalina Avenue, APN 7505-005-007, 1949
132 N. Catalina Avenue, APN 7505-005-006, 1905

North Catalina Avenue is a busy arterial street with two lanes of traffic in each direction and a parking lane on each side of the street. The east side of the 100 block of N. Catalina Avenue contains eight parcels, all with commercial buildings except for the southernmost parcel which is vacant. The buildings on the east side all date from the first half of the 20th Century. The west side of N. Catalina Avenue contains multi-story multi-family complex known as The Village, constructed in the late 1970s.

The 100 block of N. Catalina Avenue is bounded by Emerald Street on the south. The first parcel adjacent to the subject property on Emerald Street (adjacent to 100 N. Catalina Avenue to the east) is 305 Emerald Street, the Oklahoma Apartments, a Redondo Beach Landmark constructed in 1908. Other buildings on the 100 block of Emerald Street are multi-family residential buildings constructed in the late 20th Century.

The 100 block of N. Catalina Avenue is bounded by Diamond Street on the north. The 300 block of Diamond Street contains multi-family residential buildings constructed in the late 20th Century except for the parcel on the northwest corner of Diamond Street and Broadway which contains 321 Diamond Street, a mixed use building, the Redondo Van and Storage/Diamond Apartments, a Redondo Beach Landmark, constructed in 1913. There is a designated historic district consisting of three buildings on two parcels one block to the north, at 216 N. Catalina Avenue and 218 N. Catalina Avenue.



Subject parcels and vicinity



East side of the 100 block of N. Catalina Avenue (Google Earth, 2018)



West side of the 100 block of N. Catalina Avenue (Google Earth, 2018)

HISTORY OF COMMERCIAL/INDUSTRIAL DEVELOPMENT IN REDONDO BEACH

Utilized by the earliest human inhabitants, current day Redondo Beach became part of the Dominquez Rancho in 1854 when Manuel Dominguez received the patent for the Rancho San Pedro. Portions of the Rancho were sold off and some early attempts at industrialization occurred in the 1860s with the intermittent operation of the Pacific Salt Works at the Old Salt Lake site. With the dissolution of the Ranchos in the 1860s and the coming of the railroads in the 1870s, Southern California changed from open range to small farms and towns. In 1889 the Santa Fe Railroad reached Redondo Beach and the city also began developing as a port.

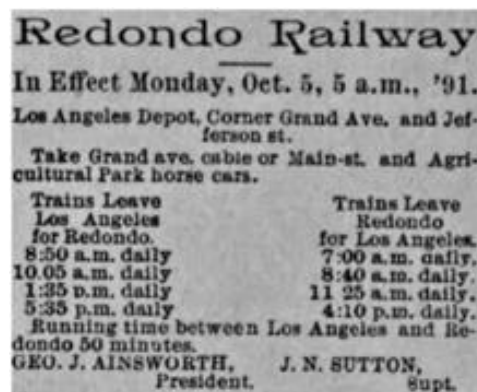
Thus, began the urbanization of Redondo Beach. The *City of Redondo Beach Context Statement* states: "The boom of the 1880s was largely an urban phenomenon. Although land was sold in farm size parcels as well as town lots and continued to be prized for farming and orchards, the emphasis had clearly shifted to town building." Early town developers such as the Redondo Beach Company, envisioned a resort and commercial center. Development of piers, ship and pleasure boat landings as well as beach and beachfront amusements began to take place. The large Redondo Hotel with park-like grounds was to the south while railroad yards and industrial functions lay to the north.

Development of an industrialized port required robust ground transportation infrastructure. The Redondo Beach Improvement Company (successor to the Redondo Beach Company) was established by J.C. Ainsworth and R. R. Thompson and focused on developing the harbor and townsite area.

The evolution of rail transportation was important to the development of Redondo Beach. In 1888 the Santa Fe Railroad selected Redondo Beach as its terminus and incorporated the Redondo Beach Railway to connect with Los Angeles. The rail line provided freight service to the industrial areas of the City including the wharf as well as

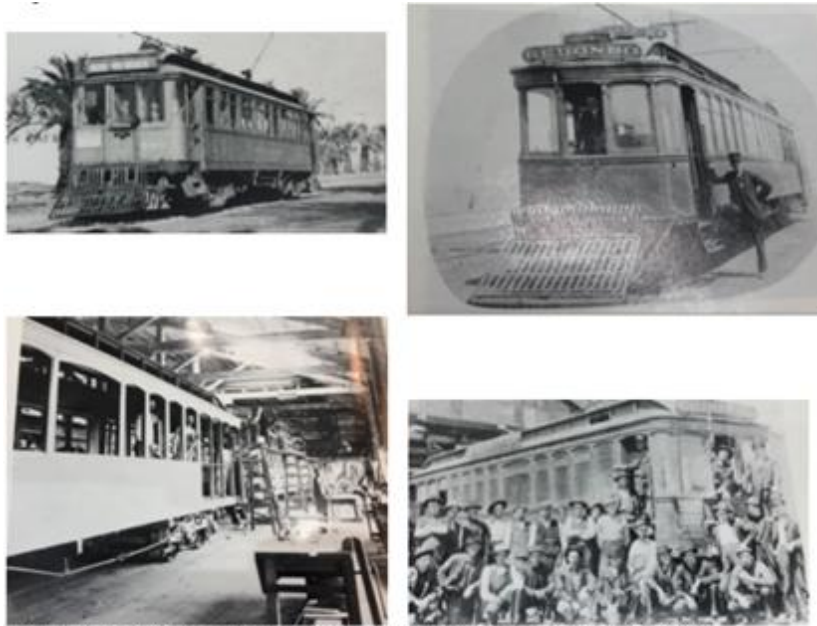
passenger services to Redondo's beach and resort facilities. In 1889 the company consolidated with the Southern California Railway, a subsidiary of the Santa Fe Railroad.

In 1889 the Ainsworth and Thompson's Redondo Beach Improvement Company purchased a narrow gauge steam railroad, the Rosecrans Rapid Transit Company, a narrow gauge steam railroad. They renamed it the Redondo Railway with a route starting from a depot behind the Redondo Hotel going through Inglewood into downtown Los Angeles. Several years later Ainsworth and Thompson formed another company, the Los Angeles and Redondo Railway to operate the rail line as well as the wharf. In 1896 the trains carried over 15,000 passengers.



At the turn of the 20th Century, in 1902, the steam railway was converted to electric propulsion and service was expanded and a railroad yard was constructed. By 1904 over 111,000 passengers were served annually. In 1905 Henry E. Huntington purchased the Los Angeles and Redondo Railway and the railroad was converted from narrow gauge to standard gauge and double tracks. Along with Huntington's established Pacific Electric, service continued to provide interurban lines connecting Redondo Beach to the regional network.

As a terminus of one of the lines of the passenger rail network was in Redondo Beach as were freight rail line services, operations and maintenance facilities were located in the City and provided jobs for local residents. In 1910 Huntington sold the Pacific Electric network to the Southern Pacific Railroad. The rail lines provided important passenger and freight connections to Redondo Beach into the 1940s.



Images of railcars, Redondo Beach Rail Maintenance shop and its workers

Henry E. Huntington spurred a significant period of development with his 1905 purchase of the Redondo Beach Improvement company and the Los Angeles and Redondo Railway. Buoyed by Huntington's confidence in the area, others followed. As the Context Statement observes: "within the original town site, development also occurred as investors who had purchased lots prior to Huntington's investment subdivided and developed these sites, nearly completing the settlement of coastal Redondo Beach...the final result was that the region developed steadily, with a variety of areas to appeal to incoming residents."



Sanborn Map of Redondo Beach early Commercial District, 1904



Sanborn Map of Redondo Beach early Commercial District 1908

Commercial development occurred both around the Redondo Hotel, where a train depot was located as well as farther north adjacent to the beachfront and pier facilities. A range of services to support the growing City were located on these blocks.

Over the decades of the late 19th and early 20th centuries the commercial areas of Redondo Beach evolved as shown in the following photographs.



Redondo Beach Commercial Development Late 19th Century



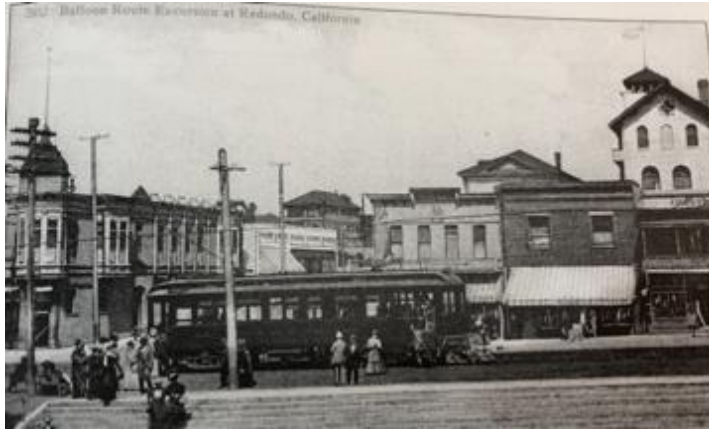
Redondo Beach Commercial Development Late 19th Century



Redondo Beach Commercial Development Late 19th Century



Redondo Beach Commercial Development and Redondo Railway,
Late 19th Century



Redondo Beach Commercial Development with Redondo Railway,
early 20th Century



Redondo Beach Commercial Development, early 20th Century



Redondo Beach Commercial Development, early 20th Century



Redondo Beach Commercial Development with Redondo Railway,
early 20th Century



Buildings of Redondo Beach's Commercial district, early 20th Century



Redondo Beach Commercial Development with Redondo Railway,
early 20th Century



Redondo Beach Commercial Development with Redondo Railway,
early 20th Century



Redondo Beach Commercial Development, early 20th Century



Redondo Beach Commercial Development showing train tracks,
early 20th Century



Early 20th Century buildings of Redondo Beach's
commercial district



Buildings of Redondo Beach's Commercial district, 1920s



Redondo Beach Commercial Development with Redondo Railway,
c1930's



Buildings of Redondo Beach's Commercial district



Buildings of Redondo Beach's Commercial district, early 20th Century

Civic boosters contributed to the City's growth in the early 20th century and established organizations including fraternal orders and the Chamber of Commerce. The Context Statement states that "as a result of the community support, everyone who came to Redondo Beach, left a booster with advertising buttons or brochures...efforts paid off. In 1900 the population had been 855; by 1910 it had grown to 2,935." And the population continued to grow with 4,913 residents in 1920 and almost doubling by 1930. Population growth pace slowed during the decade following the Great Depression growing to 13,092 in 1940 and picked up after World War II with 25,226 in 1950 and 46,984 by 1960.

At mid-Century, the post-war growth of Southern California spurred housing development. Residential development was encouraged, and industrial areas of the City were redeveloped with housing in the 1950s and 1960s. At the same time wide swaths of the city, including much of the commercial areas, were redeveloped and many of the early 20th Century buildings were demolished.



Redondo Beach Commercial District and Beachfront Amusements, c1930s



Redondo Beach Commercial District and Beachfront,
c1950s



Redondo Beach Commercial District and Beachfront,
c1960s

The Built: LA Building Age Interactive Map, a visual development history database, shows the age of many buildings in Redondo Beach. Buildings are color coded based on the decade of their construction with a color for each decade from 1920 to 2000 and a “1909 and earlier” category. Although the data is incomplete (some buildings are not colored), the map shows the general development history of the original townsite and environs.

The map shows a concentration of early 20th century residential buildings on the 300 block of N. Gertruda Avenue, the Original Townsite Residential Historic District. In most other residential areas, the map shows that bursts of development occurred in the 1950s, 1970s and 1980s.



http://cityhubla.github.io/LA_Building_Age/#13.53/33.8411/-118.4033



Commercial areas of the City running along the 400 block of N. Catalina Avenue and 200 block of Broadway show redevelopment of that area took place in the 1960s and 1970s. Across from the subject buildings on the west side of the 100 block of N. Catalina Avenue are large multi-family residential buildings of “The Village” which were constructed in the late 1970s. While a few early 20th Century buildings remain, including the landmark Redondo Van and Storage Diamond Apartment Building (321 Diamond Avenue), many of those remaining have been substantially altered. Commercial areas on the 200-400 South blocks of Catalina Avenue show the majority of buildings were constructed in the 1970s and 1980s.



Area around subject block



100 block of N. Catalina Avenue



Built: LA. Legend (no data for grey footprints)

DEVELOPMENT HISTORY OF 100 BLOCK OF N. CATALINA AVENUE

The 100 block of N. Catalina Avenue is part of the Original Townsite of the City of Redondo Beach. Catalina Avenue is a street that curves and originally connected two open space areas. The Hotel Redondo was located on the large parcel with open space to the south.

TOWNSITE
OF
REDONDO BEACH
LOS ANGELES COUNTY
CALIFORNIA

Drawn under the direction
Geo. Todd, Jr.
Civil Engineer

SCALE
0 100 200 300 400 500 600 700 800 900 1000

Note

The right of way over and through all lands delineated upon this map is hereby reserved for all purposes appertaining to water, gas or sewerage that may be required by the grantors, their successors or assigns, also reserving any and all artificial water, gas or sewerage to be developed on said land and not divided thereon and shall reserve the right of way for and the right to construct, lay down and maintain pipes, conduits and sewers and the right of way for running of lines and every kind and all poles or supports for telegraph, telephone and electric wires upon and across any part of the streets.

Redondo Beach Co.
By R. S. Bremer, Secretary
J. J. Ginsworth, President



Tract Map of Redondo Beach Original Townsite and page with subject parcels



Map of Original Townsite



Excerpt of Original Townsite Map showing area
around 100 block of N. Catalina Avenue



Area around 100 block of N. Catalina Avenue (Google Earth, 2018)



100 block of N. Catalina Avenue (Google Earth, c2018)

Sanborn Maps and aerial images show the development of the 100 block of North Catalina Avenue between 1895 and 1964. The block was sub-divided into two larger corner parcels and 12 long, narrow parcels; these parcels were later reconfigured and consolidated to create the eight parcels that exist today.

In 1895 the developments on the block were at both the north and south end parcels and consisted of dwellings and a grocery store. The main track of the Redondo Railroad traversed the subject properties on the northern one-third of the block on an angle as the rail alignment moved from Broadway onto Catalina Avenue south towards the depot that was located on the 100 S. block of Catalina Avenue. Aerial map images show that alignment existed throughout the first four decades of the 20th Century. Later aerial images show how the northern area of the block transitioned starting in the 1940s from industrial railroad operations and maintenance functions into land uses that included commercial services along Catalina Avenue.

The 1904 Sanborn Map shows the two-story Masonic Hall had been constructed on the parcel at 112 N. Catalina Avenue. The next Sanborn Map from 1908 shows that a blacksmith and woodworking shop had been constructed on the parcel at 132 N. Catalina Avenue. By 1916 the blacksmith shop had expanded on the south and included auto repair services.

The next Sanborn Map was drawn thirty years later, in 1946. That map shows the commercial/residential buildings at 116 N. Catalina Avenue that were built and combined together in the 1920s. Also, a commercial building had been constructed in 1926 at 136 N. Catalina Avenue. The 1946 map also shows the beginning of the transition of that section of the block from railroad operations and maintenance uses to commercial service buildings. The dry cleaners building, built in 1946 on the parcel at 124 N. Catalina Avenue, is seen on the 1946 Sanborn Map. The transition of this section of the block continued with construction of another dry cleaners building at 126 N. Catalina Avenue. In 1957 the corner parcel at Diamond Street, 144 N. Catalina Avenue, was redeveloped with a commercial building.

In the 62 years since 1957, the only change on the 100 block of N. Catalina Avenue was demolition of the structures on the south corner of the block at 100 N. Catalina Avenue.

Sanborn Map Excerpts – 100 Block of N. Catalina Avenue



1895



1904



1908



1912



1916



1946



1959

Aerial Photographs Excerpts – 100 Block of N. Catalina Avenue



1928 Aerial Map



1938 Aerial Map



1947 Aerial Map



1952 Aerial Map



1964 Aerial Map

HISTORY AND DESCRIPTION OF BUILDINGS***100 N. Catalina Avenue***

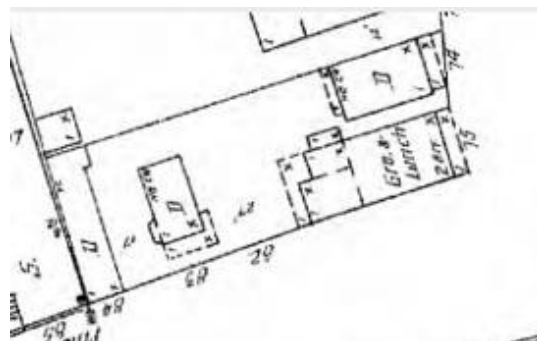
The parcel at 100 N. Catalina Avenue is a paved surface parking lot. The 1904 Sanborn Map shows there was a commercial building on the corner that contained a grocery store and lunch restaurant; there were also three dwellings on the parcel. Those buildings were on the site until the 1960s and were demolished. Currently, there are no buildings on the parcel.



Corner parcel, surface parking lot, at 100 N. Catalina Avenue



Plan view of corner parcel, surface parking lot, at 100 N. Catalina Avenue (Google Earth, c2019)



112 N. Catalina Avenue [parcel, 1904 Sanborn Map excerpt

112 N. Catalina Avenue

The building at 112 N. Catalina Avenue was constructed 1904. The owner was a fraternal organization, the Masons. The building served as the headquarters for the Redondo Beach Chapter of the Masons, housing its facilities and assembly space on the building's upper level. The first level was rented to business tenants as commercial and retail space.

The building was originally known as the Masonic Hall and was the first lodge building constructed by a Redondo Beach fraternal organization and dedicated for their use. The building served members of the Masonic Lodge until 1927 when the group constructed a new building, called the Masonic Temple, a few blocks south at 501 S. Catalina Avenue (also known as 116 Ruby Street).

The Masons allowed their lodge assembly space to be used by other organizations in Redondo Beach and for the first quarter of the 20th Century the building served the majority of social clubs (fraternal orders and lodges) active in Redondo Beach. City Directories from the early 20th Century list the City's fraternal societies and their meeting dates and times. As many as thirteen fraternal groups used the Masonic Hall at 112 N. Catalina Avenue for their meetings over the first half of the 20th Century. After the Masons moved to their new building, the 112 S. Catalina Avenue building was known as the IOOF Hall, used by the Redondo Beach chapter of the Independent Order of Odd Fellows. The building continued to serve Redondo Beach's fraternal orders as well as numerous philanthropic organizations into the 1950s.

The Redondo Beach Historical Society observes that "Redondo Beach residents have a long history of active lodge and philanthropic organization involvement."⁶ By 1917 there were 16 lodges and societies active in Redondo Beach according to City Directories.

In addition to the Masons, early lodges established in Redondo Beach included the Benevolent and Protective Order of the Elks who were located in a Victorian era building, the former rail depot (demolished), that was located on South Catalina Avenue. In 1957 the Elks constructed a lodge chapter headquarters at 315 Esplanade. Another fraternal organization, The American Legion, constructed its Clubhouse at 412 S. Camino Real 1927 and that building is a designated City of Redondo Beach Landmark.

Throughout the decades numerous local businesses were located on the ground floor of the building. By the middle of the 20th Century the building was no longer home of any fraternal organization and the upper story was available for lease. Uses of the building included organizations such as the Salvation Army which operated in the building from the 1940s into the 1960s. In 1972 the building was adapted to serve as a U.S. Post Office and in recent decade it has again housed local small businesses.

⁶ https://www.redondohistorical.org/?page_id=490



1917 City Directory



1923 City Directory



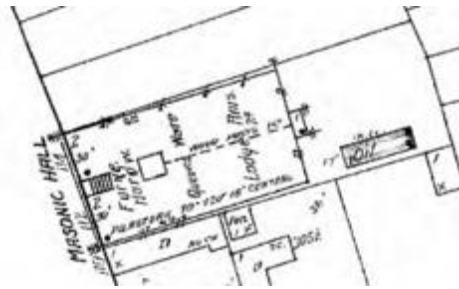
112 N. Catalina Avenue, front (west) elevation



Plan view of 112 N. Catalina Avenue (Google Earth, c2019)



1904 Sanborn Map excerpt



1912 Sanborn Map excerpt



1946 Sanborn Map excerpt



1959 Sanborn Map excerpt

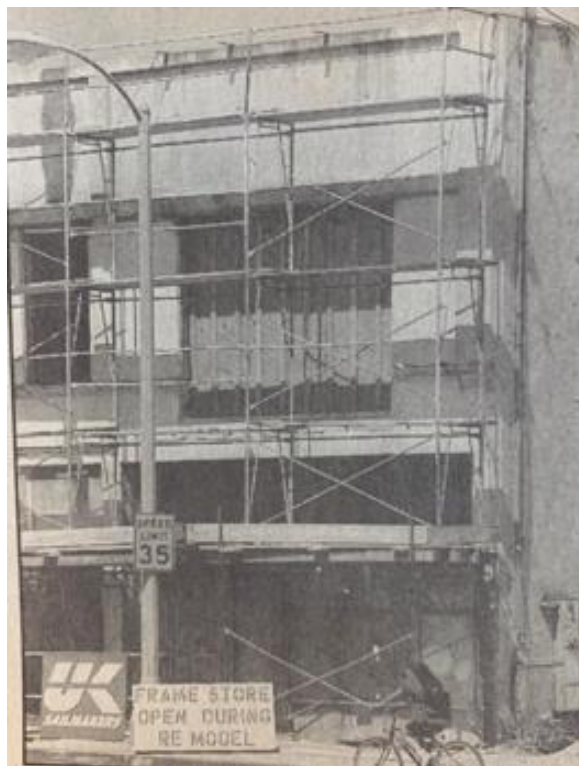
The 112 N. Catalina Avenue building is a two-story vernacular commercial building containing 9,200 square feet. The building is rectangular in plan with a flat roof behind a parapet. It is a masonry structure with plaster façade. The building is on a mid-block parcel and has no side setbacks. It is likely that aspirations anticipated additional development of commercial buildings on the block would abut this two-story building, thus rendering at least most of the side walls unviewable.

The building's volume and massing and the symmetrical composition of the front façade are representative of early 20th Century commercial buildings and the building has undergone alterations over the past 116 years. However, the building retains its original form and massing. The division of the front façade into three bays still reflects the original organization of the elevation.

In 1993 the building underwent a seismic retrofit upgrade which included insertion of new steel frames across the building including a frame behind the front façade. The front façade of the building was remodeled at that time.



South end of west elevation, 2019



South end of west elevation, c1992

The original building exterior was re-plastered, and the original windows were removed and replaced. The photograph of the building from 1993 shows a defined horizontal cornice panel at the top of the building. The photograph also shows that there was a window centered along the upper elevation which has been enclosed; the other window openings are in the original locations of windows and generally of the same size. There was a horizontal band above a storefront with a recessed entry. There is an exposed original cornerstone setback at the northwest corner of the building.

Alterations to the front façade during the 1993 remodel included addition of new applied decorative elements. The building's front façade features tile details including decoration at the parapet with a centered inverted triangle of tile located at the center of the building. Other added decorative features on the front façade include scoring at each end of the front elevation. These are topped by a square with diagonals through each square. That square pattern is repeated above each side of the centered rectangle. On the upper level there are two large aluminum frame, multi-pane windows which have operable upper sashes. None of these windows are original. The blank wall between the upper story windows and above the centered ground level entry is enframed by a rectangular tile outline. At the ground floor there are another two windows. There are three entrances at the street level each consisting of a single glazed aluminum frame door with aluminum frame transom. Including. None of the windows or doors are original.



North (side) elevation of 112 N. Catalina Avenue (Google Earth, c2019)

The long side elevations are broken up by a series of vertical pilasters that stop short of reaching the parapet. The side walls are windowless except for one large and one small window. There are arched brick headers in the second bay from the front on both sides and infilled openings in the first and third bays on the south side. There are no architectural details other than the pilasters on the side elevations. The lack of fenestration and architectural details on the side elevations was likely due to aspirations and anticipation of adjacent development which would obscure views of these elevations.

The rear elevation has three arched opening on the upper floor and an exterior metal stair. There are storage sheds and surface parking at the rear of the parcel.



112 N. Catalina Avenue, east (rear) elevation, Google Earth, c2019

Integrity Analysis of 112 N. Catalina Avenue

| <i>Aspect of Integrity</i> | <i>Evaluation</i> | <i>Level of Integrity</i> |
|----------------------------|--|---------------------------|
| Location | The building is in its original location | High |
| Design | Retains original volume and massing; retains symmetrical organization of front façade; retains pattern of fenestration; front elevation surfaces has been remodeled. | Low |
| Setting | Remains part of pre-1950 commercial corridor of 100 block of N. Catalina Avenue | High |
| Materials | Remodeled in 1993 with some new materials added | Low |
| Workmanship | Unremarkable workmanship | Low |
| Feeling | Building remains reminiscent of and early 20 th Century commercial building | Fair |
| Association | Building has historic relationship to early fraternal, civic organizations in the City of Redondo Beach | High |

116 N. Catalina Avenue

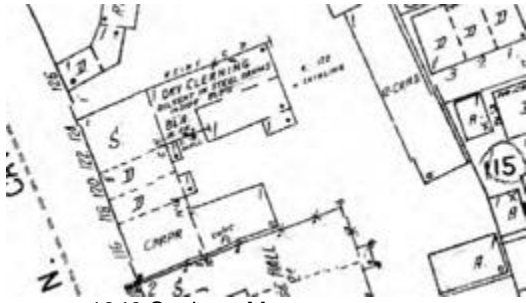
The building is a commercial building constructed in 1921. In 1925 a duplex dwelling was added onto the building. Later a portion of the duplex, on the north side, was demolished to create a driveway to provide vehicular access to the rear of the parcel. The remaining portion of the dwelling was converted to commercial uses. The building has served as a carpentry shop and cabinet shop for several decades.



116 N. Catalina Avenue, front (west) elevation



116 N. Catalina Avenue, north elevation



1946 Sanborn Map excerpt



1959 Sanborn Map excerpt



Plan view showing driveway in upper left where a section of the duplex was removed for driveway

The building is one-story with 1, 601 square feet. It has a side-gable roof and is clad in wide wood plank siding. Very limited areas retain original narrow siding and are visible only on some areas of the rear elevation. Rear additions to the building were constructed in a somewhat haphazard process and with a mix of exterior appearances. The rear sections of the building have flat roofs. The front (west) street facing facade contains three very large plate glass windows with wood frames that take up much of the area of this elevation. All evidence of the 1925 residential building has been removed and what was left of what had been a residential building now has a large plate glass display window. The three large plate glass windows, were installed in the 1990s and are not original. There is a single entry door located to the north of the southernmost window creating an asymmetrically balanced front façade. There is a low planter that runs along the west elevation. A driveway is located on the north side of the parcel leading to a paved rear parking area which also contains a storage structure and storage area.



116 N. Catalina Avenue, rear (east) elevation
and rear yard (Google Earth, c2019)

Integrity Analysis of 116 N. Catalina Avenue

| <i>Aspect of Integrity</i> | <i>Evaluation</i> | <i>Level of Integrity</i> |
|----------------------------|--|--|
| Location | The building is in its original location | High |
| Design | The building does not retain its original volume and massing or any features reminiscent of 1920s property types as a combined residential and commercial building. | Low |
| Setting | It is not representative of a pre-1950s commercial building | The setting of other buildings is high but this building in its own setting is Low |
| Materials | Most materials are not original | Low |
| Workmanship | Unremarkable workmanship | Low |
| Feeling | Does not communicate early 20 th Century design – three large plate glass windows, which are not representative of a 1920s era building, dominate front façade. | Low |
| Association | The building has no significant historic associations related to its residential or commercial uses. | Low |

124 N. Catalina Avenue

This vernacular commercial/industrial building was constructed in 1946 as a retail dry cleaning service for Wardrobe Cleaners with on-site cleaning facilities. Dry cleaning businesses have operated in the building since its construction.



124 N. Catalina Avenue, west (front) elevation



Plan view of 124 N. Catalina Avenue(Google Earth)

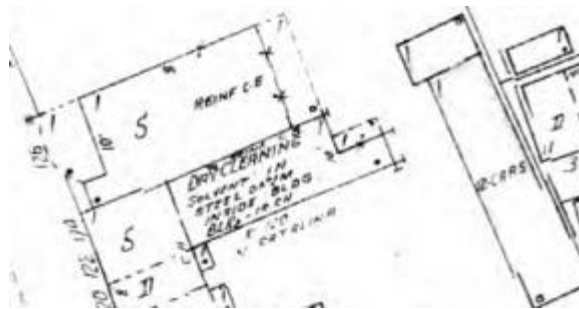
The front retail section of the one-story building is rectangular in plan with simple massing. The north side of the building is adjacent to the neighboring building. The south elevation of the building faces a driveway that leads to surface parking at the rear of the parcel. A long rear section of the building contains the industrial dry cleaning plant. Between 1946 and 1959 the rear was extended.



124 N. Catalina Avenue, west and south elevation



1946 Sanborn Map excerpt



1959 Sanborn Map excerpt

The building has a flat roof with parapet. The exterior is clad in smooth cement plaster. The front elevation, the retail portion of the building, consists of an enframed storefront assembly. The front façade retains the original configuration of the storefront opening including the horizontal mullion that separates the upper transom windows. The composition of the front façade is asymmetrical with the entry door offset from the center of the building to the north. The original entry doors were two separate doors which was changed to a single double-door entry around 1995. Windows include plate glass windows with a horizontal mullion that separates the upper transom windows. The window sash and storefront has been changed to dark finished aluminum. There is a decorative pattern of masonry at the bulkhead that may be original. Existing signage is not original.



124 N. Catalina Avenue, south elevation (Google Earth, c2019)

The south side elevation of the retail building is plain without any architectural details. The north side elevation abuts the neighboring building. The far rear of the building contained the industrial cleaning operations. There is a garage door opening on the south elevation towards the front of the rear industrial (cleaning) wing of the building. There is no architectural detailing on the side elevation.

In 1949 Wardrobe Cleaners expanded by constructing a building on the adjacent parcel to the north, 126 N. Catalina Avenue, which featured a drive-in service for customers. Over time the buildings operated in tandem.

Integrity Analysis of 124 N. Catalina Avenue

| <i>Aspect of Integrity</i> | <i>Evaluation</i> | <i>Level of Integrity</i> |
|----------------------------|---|---------------------------|
| Location | The building is in its original location | High |
| Design | The building retains its original volume and massing. It retains its original late 1940s storefront features. | Good |
| Setting | Remains part of pre-1950 commercial corridor of 100 block of N. Catalina Avenue | High |
| Materials | Most materials are original. | Good |
| Workmanship | The workmanship is modest as befitting a vernacular commercial building. | Good |
| Feeling | Façade remains reminiscent of a small mid-20 th Century store/storefront. | Good |
| Association | The building is associated with the pre-1950s commercial development of the City of Redondo Beach. | Good |

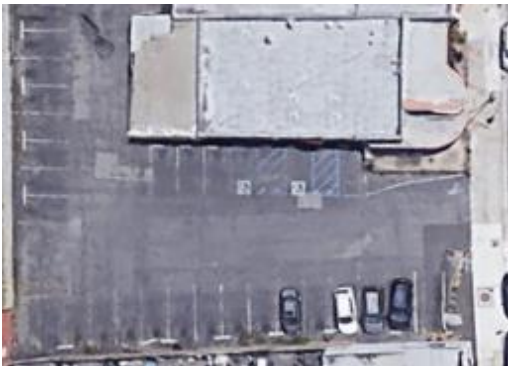
126 N. Catalina Avenue

This building was constructed in 1949 in the Mid-century Modern architectural style featuring an early Modernist flair with expressive front entry covering and angled support. There is no architect or contractor listed on the building permit. The building functioned as a drive-in facility for Wardrobe Cleaners as well as service as its dry-cleaning plant. Based on a Palos Verdes Peninsula News article from January 1950, the new plant was “next door to the Wardrobe Cleaners former quarters.”⁷

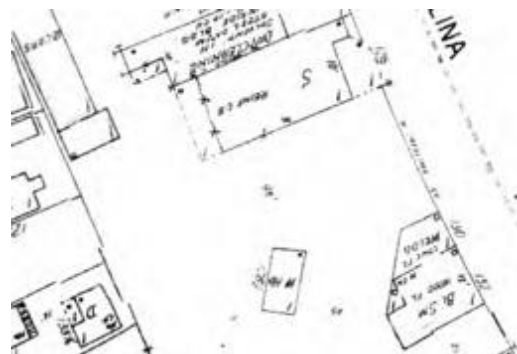
The building was converted into a coffee shop/bookstore in 1994 with additional tenant improvements made in 2001 as a coffeehouse with the area under the canopy adapted as a patio for outdoor seating. The building was vacated in 2017.



126 N. Catalina Avenue, west (front) elevation



Plan view 126 N. Catalina Avenue.
(Google Earth, c2019)



1959 Sanborn Map excerpt.

⁷ “Wardrobe Cleaners To Have Opening,” *Palos Verdes Peninsula News*, January 9, 1950

The building is located on the south half of the parcel; the other half of the parcel and the rear are paved and serves as vehicular access and as a surface parking lot. The building is one-story of 2,548 square feet. The building is generally rectangular in plan, with a small bump-out addition at the south end of the front elevation. The building has a flat roof with parapet. The exterior walls are clad with smooth stucco.

The front elevation is asymmetrically composed. The storefront setback within the space is continuous glazing with corner butt-joint glass. A large aluminum sliding window at the south end does not appear original; the other windows appear to be original. The building's entrance consists of a set of double doors, which appear to be original, located in the middle of the expanse of windows. The exterior surface of the front portion of the building has a heavily textured plaster. The base of the recessed storefront has a bulkhead with a decorative masonry pattern.

The south one-third of the front façade has an addition that projects forward with a curved corner. A set of double aluminum framed windows are centered on the front of this wing. There is no bulkhead on this added corner of the building. Evidence points to this section being a later addition.

The majority of the front façade of the building features an expanse of windows and has a masonry bulkhead. The pair of windows in this south corner addition are unremarkable aluminum frame windows.

The building is setback from the front property line and features a patio area. The building has a canopy that covers the patio. The canopy is a slightly projecting band along the front wing of the elevation but where the building is recessed at its north end, the canopy juts out to create a semi-circular roof and is supported by a series of tapered posts. The angles of the front windows and the tapered columns align with the curve of the canopy giving the building a dynamic aesthetic. Adding to that dynamism is the projecting sign, integral to the canopy, that sits atop the canopy.



126 N. Catalina Avenue,, North and west elevations



126 N. Catalina Avenue, west elevation and canopy



126 N. Catalina Avenue, west elevation



126 N. Catalina Avenue, north and west elevations



126 N. Catalina Avenue, north elevation (Google Earth, c2019)

The south side of the building is not visible as it is adjacent to the building at 124 N. Catalina Avenue. The north side of the building faces the parcel's parking area. The very front of the north elevation is the wrap-around of the front windows and includes the return of the curved canopy with its Modernistic flair. However, beyond that, making up most of this side elevation, there is no architectural detailing and no continuation of any Modernistic style influences. Rather, it is a simple wall with regularly placed small windows arranged along its elevation. The front portion of this elevation is distinguished from the rear portions that have dropped parapets and appears as an appendage to the front structure and has a different finished surface.

Integrity Analysis of 126 N. Catalina Avenue

| <i>Aspect of Integrity</i> | <i>Evaluation</i> | <i>Level of Integrity</i> |
|----------------------------|--|---------------------------|
| Location | The building is in its original location | High |
| Design | The building retains its original volume and massing. It retains its original late 1940s storefront features and Mid-Century Modern design | Good |
| Setting | Remains part of pre-1950 commercial corridor of 100 block of N. Catalina Avenue | High |
| Materials | Many materials are original | Good |
| Workmanship | The workmanship is modest as befitting a vernacular commercial building. | Good |
| Feeling | Façade remains reminiscent of a small mid-20th Century storefront | Good |
| Association | The building is associated with the pre-1950s commercial development of the City of Redondo Beach | Good |

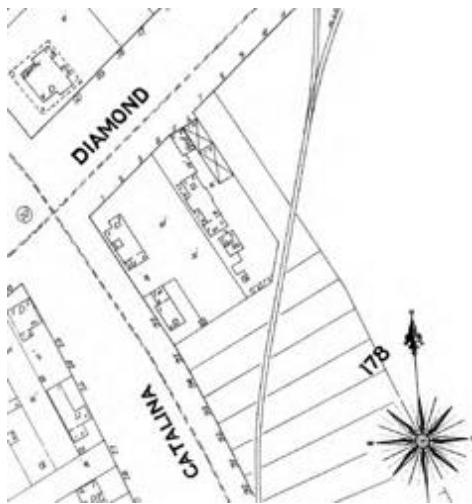
132 N. Catalina Avenue

This building, constructed in 1905, was used as a blacksmith shop, ironworks and woodworking shop over the decades with business including Star Blacksmith (1924), H.J. Campeau Ornamental Iron and E.L. Martin, Blacksmith (1931), and E.L. Martin, Blacksmith (1947). Inside the building mechanical systems that supported industrial operations remain. The building had a relationship to the train tracks and the operations and maintenance facilities of the railroad from the early 20th Century when the main track of the narrow gauge Redondo Railway and the area to the south and east of the building was used as a freight yard for a railroad. This parcel and the northern portion of the block continued to be used for operations of the Redondo Railway until the 1940s with aerial photographs showing that the train tracks traversed the area behind this building in the 1930s and 1940s.



132 N. Catalina Avenue, west and south elevations

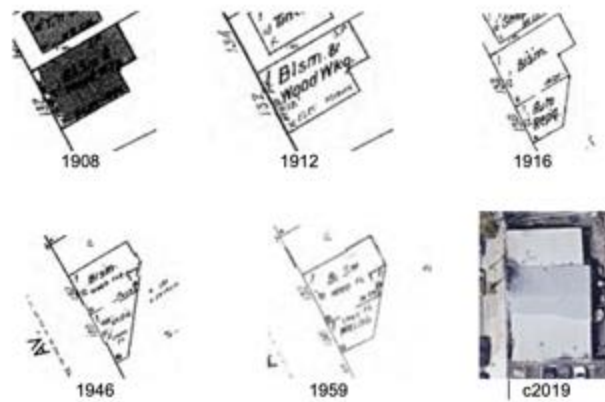
Sanborn Maps show how the footprint of the building has evolved over time. The 1906 Sanborn Map shows the building as “L” shape in plan. The 1916 Sanborn Map shows an addition to the south with an angled rear side. The 1946 Sanborn Map shows an additional extension to the south with the rear elevation continuing to be angled. By 1959 the farthest south extension had been eliminated. The angled shape was determined by the railroad tracks, conforming to the tracks, and operations to the south and east of the building with the use continuing into the 1940s.



1895 Sanborn Map excerpt



1916 Sanborn Map excerpt



Building footprints from Sanborn M



Plan view of 132 N. Catalina Avenue (Google Earth c2019)

The building is rectangular in plan. The central section of the building has a shallow gabled roof that is hidden by the front parapet that steps up. This stepped up false façade form was often used for late 19th and early 20th Century small industrial buildings and workshops. While the location and massing of the original building remain, little of the original appears to be extant.

The front façade at the central portion and south addition is wood covered with metal panels stamped with a brick-like pattern; other sections of the exterior walls are exposed concrete masonry units and some areas of plywood. The metal panels are nailed and screwed onto the façade and also wrap the southwest corner and continue for approximately ten feet along the south side of the building. Metal panels would have been installed after the construction of the south addition.

Over the years doors and windows have been replaced; currently there is a large central opening and a horizontal window opening to the north of the entry way. A large gate marks the end of the central portion of the structure and serves as entry into the south addition. There is also a door at the southern end of the front façade that accesses an electrical closet directly behind the front of the building.



132 N. Catalina Avenue, west (front) elevation



132 N. Catalina Avenue, west and south elevations



132 N. Catalina Avenue, west elevation



132 N. Catalina Avenue, west elevation



132 N. Catalina Avenue, rear (east) elevation and rear yard (Google Earth, c2019)

Much of the structure from the interior appears updated with plywood sheathing although some lumber looks older with true dimensions and square corners. Interior elements that relate to the building's original use as a blacksmith and metalwork chop remain. Large pulleys in the ceiling at the back of the main building connect a series of machines with a single motor. The assembly of machine elements are an interesting feature of the interior space.



132 N. Catalina Avenue, historic mechanical system inside

Integrity Analysis of 132 N. Catalina Avenue

| <i>Aspect of Integrity</i> | <i>Evaluation</i> | <i>Level of Integrity</i> |
|----------------------------|---|---------------------------|
| Location | The building is in its original location | High |
| Design | The building has evolved over the decades, but the front elevation retains an early 20 th Century form | Fair |
| Setting | Remains part of pre-1950 commercial corridor of 100 block of N. Catalina Avenue | High |
| Materials | Many materials have been replaced | Low |
| Workmanship | This was a utilitarian building, and its workmanship is unremarkable | Low |
| Feeling | The building's front facade retains the feeling of an early 20 th Century building | Fair |
| Association | The building is associated with the City's early industrial history and with early transportation/railroad operations | Good |

REVIEW OF PREVIOUS SURVEYS

The City of Redondo Beach conducted a citywide reconnaissance-level historic resources survey in two phases. The first phase was conducted in 1985-86 and surveyed most of the original town site area and two adjacent areas to the south: Clifton-by-the-Sea and Clifton Heights. Buildings that were 40 years old or older were surveyed. According to the city's 1998 Preservation Plan "the survey results documented 1,400 individual buildings constructed on or before 1946. Of those, 126 buildings were determined individually significant while 712 were considered potentially significant as contributors to historic districts. The buildings reflect a variety of architectural styles and date primarily from the period of early settlement to pre-World War II."

A second phase of the survey was conducted in 1996 and included buildings which were 45 years of age or older and was focused on the North Redondo Beach area. This second survey phase "recorded 1,402 buildings. Sixty-four of the resources were determined potentially eligible for the National Register or for local designation. The majority of the buildings date from the post-World War II period of expansion."

The 1986 survey developed a rating system unique to Redondo Beach. In describing the rating system, the 1986 survey stated that the survey team "drove through the entire study area on a street-by-street basis." Evaluation criteria unique to the City of Redondo Beach was developed and consisted of four levels of historic eligibility. Based on the surveys' initial review, each structure (or group of structures) was assigned to one of four categories (A through D).

This rating system defined "A" resources as those "buildings which are obvious examples of historically significant or notable structures indicated by distinctive architectural characteristics or age. Occasionally, the structure's relationship to patterns of local history is evident (such as an early church) and would be included. Many of these buildings are potential candidates for individual listing on the National Register of Historic Places and research is likely to reveal a connection with important persons or events.

The “B” category includes “buildings which are somewhat less unusual or distinctive in terms of age or architecture. In general, however, these are well designed buildings which research may prove to have a relationship to important events or persons in history. Many of these buildings are likely to have local significance and some of these buildings may also be candidates for the National Register, depending on the results of research.”

The “C” category includes “pre-1946 buildings which reveal much of their original architectural style (not substantially altered). These buildings are fairly modest in architectural style or design and are less likely to have historical importance. Most of these buildings are good candidates as contributing structures in an historic district.”

And the “D” category includes pre-1946 buildings that are clearly not significant in terms of architectural style or have been substantially altered from the original style. While information from other general research could indicate a link between some of these buildings and important persons or events in local history, the modest nature of the building makes this connection fairly unlikely. Buildings in this category that are not altered or can be restored may contribute to a historic district.

Three of the subject buildings were identified in the Redondo Beach Historic Resources Inventory: 112 N. Catalina Avenue, 116 N. Catalina Avenue and 132 N. Catalina Avenue and were given the local evaluation rating of C+. As the 1985-86 historic resources survey did not review buildings constructed from 1946 on, the buildings at 124 N. Catalina Avenue and 126 N. Catalina Avenue were not given evaluation codes.

Two buildings near the subject properties are City of Redondo Beach Landmarks: 305 Emerald Street, a multi-family residential building adjacent to the project’s undeveloped parcel at 100 N. Catalina Avenue; and the mixed use building nearby at 321 Diamond Street. There is a designated local historic district on the block to the north that consists of two residential buildings, 216 and 218 N. Catalina Avenue.



Redondo Beach Landmark, 321 Diamond Street, Redondo Van and Storage/Diamond Apartments, 1913



Redondo Beach Landmark, 305 Emerald Street, Oklahoma Apartments, 1908

A historic records search was conducted at the South Central Coastal Information Center (SCCIC) at California State University, Fullerton. No previously recorded historic or cultural resources were identified within the project site or vicinity.

EVALUATION OF SIGNIFICANCE**112 N. CATALINA AVENUE*****National Register of Historic Places***

The property at 112 N. Catalina Avenue is evaluated for its eligibility for inclusion on the National Register of Historic Places under the National Register criteria for significance.

National Register Criterion A.

To be eligible for inclusion on the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history and cultural heritage. The building at 112 N. Catalina Avenue was constructed in 1904 by the Redondo Beach division of the fraternal order of the Masons. It was the first fraternal lodge built specifically for a fraternal organization in Redondo Beach. Throughout the first quarter of the 20th Century the building's assembly hall and facilities were regularly used by the Masons and by at least 16 other Redondo Beach fraternal orders, associations and societies. These organizations contributed to and built civic engagement and volunteerism in the early decades of the City. The building continued to be used by fraternal orders, philanthropic societies and non-profit organizations throughout the first half of the 20th Century.

The property at 112 N. Catalina Avenue appears to be eligible for the National Register of Historic Places under Criterion A based on the significant role the building played in support of civic engagement and volunteerism in the early years of the history of the City of Redondo Beach.

National Register Criterion B

To be eligible for inclusion on the National Register under Criterion B, a property must be associated with the lives of persons significant in the past who have made an important impact on national, state or local history. The building is associated with many individuals who participated in the fraternal, philanthropic and non-profit organizations who met and worked at the property. However, there is no evidence that the property is associated with any important individual early settlers, civic leaders, or business owners/operators.

The property at 112 N. Catalina Avenue does not meet Criterion B and is not eligible for the National Register of Historic Places under Criterion B.

National Register Criterion C

A property is eligible under Criterion C if it embodies the distinguishing characteristics of an architectural type, specimen, or is inherently valuable for study of a period style or method of construction. A property also is eligible if it represents notable work of a master builder, designer or architect or possesses high artistic values or represents a

significant and distinguishable entity whose components may lack individual distinction. An eligible historic resource must retain integrity to be eligible for the National Register.

There is no information regarding whether an architect designed the building. There is no evidence that the building was the work of a master architect or master builder. The materials and workmanship do not reflect that of a skilled builder/craftsman.

While the volume and massing of the building and the basic organization of the front façade remain, many original character-defining elements were changed in the remodel of 1993. As a result, the building has only a fair level of architectural integrity. The building is not an outstanding or unique example of the vernacular commercial architectural style and property type.

The building at 112 N. Catalina Avenue has a low level of historic integrity for design, workmanship and materials and as such does not meet National Register Criterion C and is not eligible for the National Register of Historic Places under Criterion C.

National Register Criterion D.

This criterion applies to archaeological resources. The property was constructed during historic times, so the building on the property would not have yielded information important to the prehistory or early history of the area, state or nation. Thus, Criterion D is not applicable to 112 N. Catalina Avenue.

California Register of Historical Resources

According to the *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)* “because the California Register was consciously designed on the model of the National Register, the two programs are extremely similar.”⁸ California Register eligibility criteria 1 through 4 are based on and parallel to National Register criteria A to D.

California *Technical Assistance Series #6* also states that “it’s possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.”⁹

The building at 112 N. Catalina Avenue is eligible for listing in the California Register of Historical Resources under California Register Criterion 1 for the same reasons explained under National Register Criterion A in the section above.

⁸ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, p. 1.

⁹ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, pp. 1-2.

The building at 112 N. Catalina Avenue is not eligible for listing in the California Register of Historical Resources under criteria 2 and 4 based on the evaluations explained under the National Register criteria B and D in the section above.

The building at 112 N. Catalina Avenue is not eligible for listing in the California Register under criterion 3 based on the evaluation explained under National Register criterion C in the section above. The building at 112 N. Catalina Avenue was constructed in the early 20th Century and has been remodeled. The building is a typical early 20th Century commercial vernacular building property type however the building was remodeled in 1993 resulting in a loss of integrity.

As a typical example of its property type, the subject building would not yield significant scientific or historical information or specific data, the integrity standard required for a property to be eligible for inclusion in the California Register. Because the building at does not retain a high level of integrity, the building at 112 N. Catalina Avenue is not eligible for the California Register of Historical Resource.

City of Redondo Beach Landmark

The property at 112 N. Catalina Avenue is evaluated for its eligibility as a City of Redondo Beach Landmark under the five City of Redondo Beach criteria for historic resource designation.

Redondo Beach Criterion A

To be eligible under City of Redondo Beach Criterion A, a property must exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history.

As stated under National Register Criterion A, this building was the first building specifically constructed for a Redondo Beach fraternal order, the Masons, and in addition to the Masons it served as an assembly hall for at least 16 fraternal orders, philanthropic organizations and societies in the decades of the early 20th Century and continued to serve such organizations into the mid-20th Century.

The building at 112 N. Catalina Avenue appears to be eligible as a City of Redondo Beach Landmark under Redondo Beach Criterion A.

Redondo Beach Criterion B

To be eligible under City of Redondo Beach Criterion B, a property must be identified with persons or events significant in local, state or national history.

There is no evidence that the property is associated with and important Redondo Beach individual early settlers, civic leaders, or business owners/operators. There is no evidence that any historic events occurred at the property.

The building at 112 N. Catalina Avenue does not meet Criterion B and is not eligible to be designated as a City of Redondo Beach landmark under Criterion B.

Redondo Beach Criterion C

To be eligible under City of Redondo Beach Criterion C, a property must embody distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship.

While the building was remodeled in 1993 and features removed, the building still retains its original volume and massing and the organization of fenestration on the front façade into three bays all of which are representative of the building's original design. The City of Redondo Beach historic preservation ordinance is silent regarding integrity. The City of Redondo Beach historic resources survey evaluated the building as a C+ resource, a combination of the C and D categories. The C category states that buildings in that category "are good candidates as contributing structures in an historic district" and Category D states that "buildings in this category that are not altered or *can be restored* may contribute to a historic district."

As the building at 112 N. Catalina Avenue is a good candidate for rehabilitation of its front façade based on photographic documentation and as the City of Redondo Beach historic preservation ordinance is silent regarding integrity, this building may be eligible as a City of Redondo Beach historic resource under Redondo Beach Criterion C.

Redondo Beach Criterion D

To be eligible under City of Redondo Beach Criterion D, a property must be representative of the notable work of a builder, designer, or architect.

There is no evidence that the building at 112 N. Catalina Avenue is the work of a notable builder, designer or architect.

The building at 112 N. Catalina Avenue does not meet Criterion D and is not eligible to be designated as a City of Redondo Beach landmark under Criterion D.

Redondo Beach Criterion E

To be eligible under City of Redondo Beach Criterion E, a property must have a unique location or singular physical characteristic(s) that represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The building is mid-block on a street that contains both residential and commercial buildings. There is no view shed in which the building stands out as a significant visual feature or as a landmark of the neighborhood.

The building at 112 N. Catalina Avenue does not meet Criterion E and is not eligible to be designated as a City of Redondo Beach landmark under Criterion E

Integrity

The building at 112 N. Catalina Avenue was identified in the 1986 Redondo Beach Historic Resources Survey with an evaluation code of C+. This evaluation was based on the appearance of the building in 1986; in 1993 the building was remodeled. The City of Redondo Beach historic preservation ordinance is silent regarding requirements for integrity.

Another building that served as the home for a service organization is the American Legion Clubhouse, constructed in 1927 at 412 S. Camino Real, is a designated City of Redondo Beach landmark. This building is not an excellent example of its architectural style, Spanish Colonial Revival. The major design elements on the front façade are non-original aluminum frame windows and a non-original door. However, the building retains its original volume and massing and exterior cladding and roof. The building was evaluated as significant for its association with the service organization and although having a low level of architectural integrity, and was designated as a City landmark.



American Legion Clubhouse (Google Maps, 2020)

Similar to the designated American Legion Clubhouse, the subject building at 112 N. Catalina Avenue is significant for its association with early civic engagement and service organizations. And similar to the American Legion Clubhouse, the building at 112 N. Catalina Avenue has a low level of architectural integrity but retains its original volume and massing and organization of its front elevation. In addition, the building at 112 N. Catalina Avenue can be rehabilitated based on existing photo-documentation.

As the building at 112 N. Catalina Avenue meets the City of Redondo Beach Criterion A for its association with early civic engagement and may meet Category C because it retains a sufficient level of architectural integrity to be rehabilitated, the building appears to be eligible for designation as an individual City of Redondo Beach historic landmark.

116 N. CATALINA AVENUE***National Register of Historic Places***

The property at 116 N. Catalina Avenue is evaluated for its eligibility for inclusion on the National Register of Historic Places under the National Register criteria for significance.

National Register Criterion A.

To be eligible for inclusion on the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history and cultural heritage. The building at 116 N. Catalina Avenue was constructed in 1921 as a small commercial building and in 1925 a duplex residence was added. Later a portion of the residence was demolished, and the combined buildings converted into a single commercial building. There is no evidence that this remodeled building was significant in the City's commercial development history. There is no evidence that any historic event took place at the property.

The property at 116 N. Catalina Avenue does not meet Criterion A and is not eligible for the National Register of Historic Places under Criterion A.

National Register Criterion B

To be eligible for inclusion on the National Register under Criterion B, a property must be associated with the lives of persons significant in the past who have made an important impact on national, state or local history. There is no evidence that the property is associated with any important individual early settlers, civic leaders, or business owners/operators.

The property at 116 N. Catalina Avenue does not meet Criterion B and is not eligible for the National Register of Historic Places under Criterion B.

National Register Criterion C

A property is eligible under Criterion C if it embodies the distinguishing characteristics of an architectural type, specimen, inherently valuable for study of a period style or method of construction. A property also is eligible if it represents notable work of a master builder, designer or architect or possesses high artistic values or represents a significant and distinguishable entity whose components may lack individual distinction.

There is no information if there was an architect of the building and it is very unlikely any portion of the building was designed by a master architect. There is no evidence that the building was the work of a master builder as the materials and workmanship do not reflect that of a skilled builder/craftsman.

The building was identified in the 1986 Redondo Beach Historic Resources Survey with an evaluation of C+ which includes “pre-1946 buildings which reveal much of their original architectural style (not substantially altered).” Research conducted for the current report has identified the building’s evolution from an early 20th Century commercial building to a remodeled and blended residential/commercial building and then into a fully commercial building of no particular architectural style.

The only original materials from the original buildings are small portions of narrow wood siding on the rear elevation. The existing siding is later addition of wide-board siding and all windows and doors are later alterations. The front elevation consists of three large plate glass display windows that are not representative of the building’s historic residential use or are they representative of any early 20th century commercial building design. The building is not an excellent or intact example of the vernacular commercial architectural style.

The building at 116 N. Catalina Avenue does not meet Criterion C and is not eligible for the National Register of Historic Places under Criterion C.

National Register Criterion D.

This criterion applies to archaeological resources. The property was constructed during historic times, so the building on the property would not have yielded information important to the prehistory or early history of the area, state or nation. Thus, Criterion D is not applicable to 116 N. Catalina Avenue.

The building at 116 N. Catalina Avenue does not meet any of the National Register criterion and is not eligible for inclusion on the National Register of Historic Places.

California Register of Historical Resources

According to the *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)* “because the California Register was consciously designed on the model of the National Register, the two programs are extremely similar.”¹⁰ California Register eligibility criteria 1 through 4 are based on and parallel to National Register criteria A to D.

California *Technical Assistance Series #6* also states that “it’s possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.”¹¹

¹⁰ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, p. 1.

¹¹ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, pp. 1-2.

The building at 116 N. Catalina Avenue lost its original historic character/appearance through the many alterations and remodels that occurred over the decades. The building does not retain sufficient integrity for the California Register as it does not possess any potential to yield significant scientific or historical information or specific data.

The building at 116 N. Catalina Avenue is not eligible for listing in the California Register of Historical Resources as it does not meet California Register Criterion 1, 2, 3 and 4 for the same reasons explained under National Register criteria A, B, C and D in the section above.

City of Redondo Beach Landmark

The property at 116 N. Catalina Avenue is evaluated for its eligibility as a City of Redondo Beach Landmark under the five City of Redondo Beach criteria for historic resource designation.

Redondo Beach Criterion A

To be eligible under City of Redondo Beach Criterion A, a property must exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history. There is no evidence that this building is associated with important patterns of history or architectural history significant in Redondo Beach. The building did not stimulate commercial development in the City.

The building at 116 N. Catalina Avenue does not meet Criterion A and is not eligible to be designated as a City of Redondo Beach landmark under Criterion A.

Redondo Beach Criterion B

To be eligible under City of Redondo Beach Criterion B, a property must be identified with persons or events significant in local, state or national history.

There is no evidence that the property is associated with any important Redondo Beach individual early settlers, civic leaders, or business owners/operators. There is no evidence that any historic events occurred at the property.

The building at 116 N. Catalina Avenue does not meet Criterion B and is not eligible to be designated as a City of Redondo Beach landmark under Criterion B.

Redondo Beach Criterion C

To be eligible under City of Redondo Beach Criterion C, a property must embody distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials of craftsmanship.

As noted under National Register Criterion C, the building at 116 N. Catalina Avenue has undergone significant alterations and no longer exhibits its original volume and massing nor does it exhibit any of its original architectural design, materials or workmanship. The building is not representative of any significant property type or architectural style.

The building at 116 N. Catalina Avenue does not meet Criterion C and is not eligible to be designated as a City of Redondo Beach landmark under Criterion C.

Redondo Beach Criterion D

To be eligible under City of Redondo Beach Criterion D, a property must be representative of the notable work of a builder, designer, or architect.

There is no evidence that the building at 116 N. Catalina Avenue is the work of a notable builder, designer or architect or master craftsman.

The building at 116 N. Catalina Avenue does not meet Criterion D and is not eligible to be designated as a City of Redondo Beach landmark under Criterion D.

Redondo Beach Criterion E

To be eligible under City of Redondo Beach Criterion E, a property must have a unique location or singular physical characteristic(s) that represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The building is mid-block on a street that contains both residential and commercial buildings. There is no view shed in which the building stands out as a significant visual feature or as a landmark of the neighborhood.

The building at 116 N. Catalina Avenue does not meet Criterion E and is not eligible to be designated as a City of Redondo Beach landmark under Criterion E.

The building at 116 N. Catalina Avenue does not meet the criteria to be eligible for designation as a City of Redondo Beach Landmark.

124 N. CATALINA AVENUE

National Register of Historic Places

The property at 124 N. Catalina Avenue is evaluated for its eligibility for inclusion on the National Register of Historic Places under the National Register criteria for significance.

National Register Criterion A.

To be eligible for inclusion on the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history and cultural heritage. The building at 124 N. Catalina Avenue was constructed in 1946 as a small vernacular commercial building and included a retail store and dry cleaning facilities in the rear. The building is a typical example of a mid-century vernacular storefront which was a common property type in the mid-20th Century.

There is no evidence that this building stimulated development of similar buildings in the City or was significant in any aspect of the City's commercial development history. There is no evidence that any historic event took place at the property

The property at 124 N. Catalina Avenue does not meet Criterion A and is not eligible for the National Register of Historic Places under Criterion A.

National Register Criterion B

To be eligible for inclusion on the National Register under Criterion B, a property must be associated with the lives of persons significant in the past who have made an important impact on national, state or local history.

There is no evidence that the property is associated with any important individual early settlers, civic leaders, or business owners/operators.

The property at 124 N. Catalina Avenue does not meet Criterion B and is not eligible for the National Register of Historic Places under Criterion B.

National Register Criterion C

A property is eligible under Criterion C if it embodies the distinguishing characteristics of an architectural type, specimen, inherently valuable for study of a period style or method of construction. A property also is eligible if it represents notable work of a master builder, designer or architect or possesses high artistic values or represents a significant and distinguishable entity whose components may lack individual distinction.

There is no information if there was an architect for the building. There is no evidence that the building was the work of a master architect or master builder and it is unlikely that an architect designed this vernacular building. The materials and workmanship do not reflect that of a skilled builder/craftsman.

The 1986 Redondo Beach Historic Resources Survey evaluated pre-1946 properties—surveying buildings that were 40 years old or older. The building at 124 N. Catalina Avenue was constructed in 1946, and less than 40 years old at the time of the survey and thus was not evaluated in that survey. The building is a simple vernacular one-part

commercial building. While representative of the property type it is not an excellent or unique example of an architectural style or property type.

The building at 124 N. Catalina Avenue does not meet Criterion C and is not eligible for the National Register of Historic Places under Criterion C.

National Register Criterion D.

This criterion applies to archaeological resources. The property was constructed during historic times, so the building on the property would not have yielded information important to the prehistory or early history of the area, state or nation. Thus, Criterion D is not applicable to 124 N. Catalina Avenue.

The building at 124 N. Catalina Avenue does not meet any of the National Register criterion and is not eligible for inclusion on the National Register of Historic Places.

California Register of Historical Resources

According to the *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)* “because the California Register was consciously designed on the model of the National Register, the two programs are extremely similar.”¹² California Register eligibility criteria 1 through 4 are based on and parallel to National Register criteria A through D.

California *Technical Assistance Series #6* also states that “it’s possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.”¹³

The building at 124 N. Catalina Avenue has a good level of integrity, however the building is not eligible for listing in the California Register of Historical Resources as it does not meet the threshold to be eligible under Criteria 1, 2, 3 and 4 of the California Register as explained in the evaluations of National Register criteria A, B, C and D in the section above.

¹² *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, p. 1.

¹³ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, pp. 1-2.

City of Redondo Beach Landmark

The property at 124 N. Catalina Avenue is evaluated for its eligibility as a City of Redondo Beach Landmark under the five City of Redondo Beach criteria for historic resource designation.

Redondo Beach Criterion A

To be eligible under City of Redondo Beach Criterion A, a property must exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history. There is no evidence that this building is associated with significant patterns of history or with the architectural history of Redondo Beach. There is no evidence that this building stimulated development of similar buildings in the City or was significant in any aspect of the City's commercial development history as the building was a common property type in the mid-20th Century. There is no evidence that any historic event took place at the property.

The building at 124 N. Catalina Avenue does not meet Criterion A and is not eligible to be designated as a City of Redondo Beach landmark under Criterion A.

Redondo Beach Criterion B

To be eligible under City of Redondo Beach Criterion B, a property must be identified with persons or events significant in local, state or national history.

There is no evidence that the property is associated with any important Redondo Beach individual early settlers, civic leaders, or business owners/operators. There is no evidence that any historic events occurred at the property.

The building at 124 N. Catalina Avenue does not meet Criterion B and is not eligible to be designated as a City of Redondo Beach landmark under Criterion B.

Redondo Beach Criterion C

To be eligible under City of Redondo Beach Criterion C, a property must embody distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials of craftsmanship.

The 1986 Redondo Beach Historic Resources Survey evaluated pre-1946 properties. The building at 124 N. Catalina Avenue was constructed in 1946 and thus was not evaluated in that survey. The building at 124 N. Catalina Avenue appears to meet the City of Redondo Beach Survey category of "C" for "buildings which reveal much of their original architectural style (not substantially altered). These buildings are fairly modest in architectural style or design and are less likely to have historical importance. Most of these buildings are good candidates as contributing structures in an historic district."

The building is a simple one-part vernacular commercial building. While representative of the property type it is not an excellent or unique example of the style or property type.

The building at 124 N. Catalina Avenue does not meet Criterion C and is not eligible to be designated as a City of Redondo Beach landmark under Criterion C.

Redondo Beach Criterion D

To be eligible under City of Redondo Beach Criterion D, a property must be representative of the notable work of a builder, designer, or architect.

There is no evidence that the building at 124 N. Catalina Avenue is the work of a notable builder, designer or architect or master craftsman.

The building at 124 N. Catalina Avenue does not meet Criterion D and is not eligible to be designated as a City of Redondo Beach landmark under Criterion D.

Redondo Beach Criterion E

To be eligible under City of Redondo Beach Criterion E, a property must have a unique location or singular physical characteristic(s) that represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The building is mid-block on a street that contains both residential and commercial buildings. There is no view shed in which the building stands out as a significant visual feature or as a landmark of the neighborhood.

The building at 124 N. Catalina Avenue does not meet Criterion E and is not eligible to be designated as a City of Redondo Beach landmark under Criterion E.

The building at 124 N. Catalina Avenue does not meet the criteria to be eligible for designation as a City of Redondo Beach Landmark.

126 N. CATALINA AVENUE

National Register of Historic Places

The property at 126 N. Catalina Avenue is evaluated for its eligibility for inclusion on the National Register of Historic Places under the National Register criteria for significance.

National Register Criterion A.

To be eligible for inclusion on the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history and cultural heritage. The building at 126 N. Catalina

Avenue was constructed in 1949 as a one-story vernacular commercial building and included a retail store and dry cleaning facilities in the rear. In 1994 the building was adapted to serve as a coffee shop and bookstore; the building continued to serve as a coffee shop until 2019.

There is no evidence that this building was significant in the City's commercial development history as a dry cleaner. It has been in use as a coffee shop for less than 30 years and thus that use does not qualify as an historic use. There is no evidence that any historic event took place at the property.

The property at 126 N. Catalina Avenue does not meet Criterion A and is not eligible for the National Register of Historic Places under Criterion A.

National Register Criterion B

To be eligible for inclusion on the National Register under Criterion B, a property must be associated with the lives of persons significant in the past who have made an important impact on national, state or local history. There is no evidence that the property is associated with any individuals, civic leaders, or business owners/operator of historic significance.

The property at 126 N. Catalina Avenue does not meet Criterion B and is not eligible for the National Register of Historic Places under Criterion B.

National Register Criterion C

A property is eligible under Criterion C if it embodies the distinguishing characteristics of an architectural type, specimen, inherently valuable for study of a period style or method of construction. A property also is eligible if it represents notable work of a master builder, designer or architect or possesses high artistic values or represents a significant and distinguishable entity whose components may lack individual distinction.

The 1986 Redondo Beach Historic Resources Survey evaluated pre-1946 properties—surveying buildings that were 40 years old or older. The building at 124 N. Catalina Avenue was constructed in 1946, and less than 40 years old at the time of the survey and thus was not evaluated in that survey.

The building was built as a dry cleaning retail shop in the front and with industrial dry cleaning operations in the rear. The front is designed in a Mid-Century Modern architectural style. Its most notable architectural feature is its expressive front elevation which sports a Modernistic flair. The building was adapted into a coffee shop in the early 21st Century and the area under the front canopy was converted into outdoor café seating.

The front section of the building served as the retail area accessed by the public. The majority of the building behind the former retail front section is a large area which housed clothes cleaning industrial machines and operations. That area was adapted into the café's seating area.

The front portion of the building contains Modernist architectural features applied to a small commercial building. The projecting corner on the south end of the front façade is a later, incompatible, addition. The area behind the front section of the building was built to house the cleaning equipment and cleaning operations of the business. It is a simple rectangular form and massing and lacks any architectural details on its side and rear elevations.

There is no evidence that the building was the work of a master architect or master builder. The materials and workmanship do not reflect that of a skilled builder/craftsman.

The building is a modest example of the Mid-Century Modern architectural style; it is not an excellent or unique example of the style.

The building at 126 N. Catalina Avenue does not meet Criterion C and is not eligible for the National Register of Historic Places under Criterion C.

National Register Criterion D.

This criterion applies to archaeological resources. The property was constructed during historic times, so the building on the property would not have yielded information important to the prehistory or early history of the area, state or nation. Thus, Criterion D is not applicable to 126 N. Catalina Avenue.

The building at 126 N. Catalina Avenue does not meet any of the National Register criterion and is not eligible for inclusion on the National Register of Historic Places.

California Register of Historical Resources

According to the *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)* "because the California Register was consciously designed on the model of the National Register, the two programs are extremely similar."¹⁴ California Register eligibility criteria 1 through 4 are based on and parallel to National Register criteria A through D.

California *Technical Assistance Series #6* also states that "it's possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data."¹⁵

¹⁴ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, p. 1.

¹⁵ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, pp. 1-2.

The building at 126 N. Catalina Avenue has a good level of integrity, however the building is not eligible for listing in the California Register of Historical Resources as it does not meet the threshold to be eligible under Criteria 1, 2, 3 and 4 of the California Register as explained in the evaluations of National Register criteria A, B, C and D in the section above.

City of Redondo Beach Landmark

The property at 126 N. Catalina Avenue is evaluated for its eligibility as a City of Redondo Beach Landmark under the five City of Redondo Beach criteria for historic resource designation.

Redondo Beach Criterion A

To be eligible under City of Redondo Beach Criterion A, a property must exemplify or reflect special elements of the City's cultural, social, economic, political, aesthetic, engineering, or architectural history. There is no evidence that this building is associated with significant patterns of history, commercial development or architectural history in Redondo Beach.

The building at 126 N. Catalina Avenue does not meet Criterion A and is not eligible to be designated as a City of Redondo Beach landmark under Criterion A.

Redondo Beach Criterion B

To be eligible under City of Redondo Beach Criterion B, a property must be identified with persons or events significant in local, state or national history.

There is no evidence that the property is associated with any important Redondo Beach individuals, civic leaders, or business leaders or owners/operators. There is no evidence that any historic events occurred at the property.

The building at 126 N. Catalina Avenue does not meet Criterion B and is not eligible to be designated as a City of Redondo Beach landmark under Criterion B.

Redondo Beach Criterion C

To be eligible under City of Redondo Beach Criterion C, a property must embody distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials of craftsmanship.

The 1986 Redondo Beach Historic Resources Survey evaluated pre-1946 properties. The building at 126 N. Catalina Avenue was constructed in 1949 and thus not evaluated in that survey.

The building at 126 N. Catalina Avenue appears to meet the City of Redondo Beach Survey category of “C” for “buildings which reveal much of their original architectural style (not substantially altered). These buildings are fairly modest in architectural style or design and are less likely to have historical importance. Most of these buildings are good candidates as contributing structures in an historic district.”

The building at 126 N. Catalina Avenue was constructed as a dry cleaning retail shop in the front with industrial dry cleaning operations in the rear. The front is designed in a Mid-Century Modern architectural style. Its most notable architectural feature is its expressive front entry which sports a Modernistic flair. The building was adapted into a coffee shop in the early 21st Century and the area under the front canopy was converted into outdoor café seating.

The building is a good example of a Mid-Century Modern architectural features applied to a small commercial building in Redondo Beach. While not an exceptional example of the architectural style, the building is a good local example of the Modern style exhibiting a Modernistic flair with its curving canopy. Thus, the front retail section of the building appears to meet Criterion C to be eligible as a City of Redondo Beach landmark based on its Mid-century Modern style.

The building at 126 N. Catalina Avenue appears to meet Criterion C and is eligible to be designated as a City of Redondo Beach landmark under Criterion C.

Redondo Beach Criterion D

To be eligible under City of Redondo Beach Criterion D, a property must be representative of the notable work of a builder, designer, or architect.

There is no evidence that the building at 126 N. Catalina Avenue is the work of a notable builder, designer or architect or master craftsman.

The building at 126 N. Catalina Avenue does not meet Criterion D and is not eligible to be designated as a City of Redondo Beach landmark under Criterion D.

Redondo Beach Criterion E

To be eligible under City of Redondo Beach Criterion E, a property must have a unique location or singular physical characteristic(s) that represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The building is mid-block on a street that contains both residential and commercial buildings. There is no view shed in which the building stands out as a significant visual feature or as a landmark of the neighborhood.

The building at 126 N. Catalina Avenue does not meet Criterion E and is not eligible to be designated as a City of Redondo Beach landmark under Criterion E.

The building at 126 N. Catalina Avenue appears eligible to be designated as a City of Redondo Beach Landmark based on its local significance as an example of the Mid-Century Modern architectural style applied to a small commercial building

132 N. CATALINA AVENUE

National Register of Historic Places

The property at 132 N. Catalina Avenue is evaluated for its eligibility for inclusion on the National Register of Historic Places under the four National Register criteria for significance.

National Register Criterion A.

To be eligible for inclusion on the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history and cultural heritage. The building at 132 N. Catalina Avenue is a small vernacular industrial building. A portion of the building at 132 N. Catalina Avenue was constructed in 1905 as a blacksmith shop. The building evolved with additions to the south over the decades. During the first half of the 20th Century the building housed a variety of industrial and commercial operations including blacksmithing in its first decade and other industrial and woodworking uses in subsequent decades.

There is no evidence that this building was significant in the City's industrial development. While it provided commercial industrial and commercial services, there is no evidence that it was significant or influential in the history of the development of any industry or industrial commercial services in Redondo Beach. There is no evidence that any historic event took place at the property.

The property at 132 N. Catalina Avenue does not meet Criterion A and is not eligible for the National Register of Historic Places under Criterion A.

National Register Criterion B

To be eligible for inclusion on the National Register under Criterion B, a property must be associated with the lives of persons significant in the past who have made an important impact on national, state or local history. There is no evidence that the property is associated with any important individual business or civic leaders, or business owners/operators.

The property at 132 N. Catalina Avenue does not meet Criterion B and is not eligible for the National Register of Historic Places under Criterion B.

National Register Criterion C

A property is eligible under Criterion C if it embodies the distinguishing characteristics of an architectural type, specimen, is inherently valuable for study of a period style or method of construction. A property also is eligible if it represents notable work of a master builder, designer or architect or possesses high artistic values or represents a significant and distinguishable entity whose components may lack individual distinction.

The building was identified in the 1986 Redondo Beach Historic Resources Survey with an evaluation of C+. The C category includes “pre-1946 buildings which reveal much of their original architectural style (not substantially altered).” Research conducted for the current report has identified the building’s evolution from an early 20th Century commercial building to an expanded and remodeled commercial/industrial building.

Although the building retains the shape of an early 20th Century façade on its front elevation, the shape and form of the rest of the building reflect later alterations. These include the change in the building’s footprint, addition of a new roof (both form and materials), and addition of sections of metal exterior sheathing. The majority of exterior materials are of later 20th Century provenance. The building is not an example of an intact early 20th Century vernacular commercial industrial building.

It is very unlikely that this building was designed by an architect. There is no evidence that the building was the work of a master builder. The materials and workmanship do not reflect that of a skilled builder/craftsman.

The building at 132 N. Catalina Avenue does not meet Criterion C and is not eligible for the National Register of Historic Places under Criterion C.

National Register Criterion D.

This criterion applies to archaeological resources. The property was constructed during historic times, so the building on the property would not have yielded information important to the prehistory or early history of the area, state or nation. Thus, Criterion D is not applicable to 132 N. Catalina Avenue.

The building at 132 N. Catalina Avenue does not meet any of the National Register criterion and is not eligible for inclusion on the National Register of Historic Places.

California Register of Historical Resources

According to the *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)* “because the California Register was consciously designed on the model of the National Register, the two programs are extremely similar.”¹⁶

¹⁶ *California Office of Historic Preservation Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, p. 1.

California Register eligibility criteria 1 through 4 are based on and parallel to National Register criteria A through D.

California *Technical Assistance Series #6* also states that “it’s possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.”¹⁷

The building is not eligible for listing in the California Register of Historical Resources as it does not meet the threshold to be eligible under California Register Criteria 1, 2, 3 and 4 as explained in the evaluations of National Register criteria A, B, C and D in the section above. The building at 132 N. Catalina Avenue has a low-fair level of integrity and does not have the potential to yield significant scientific or historical information or specific data. The building at 132 N. Catalina Avenue is not eligible for inclusion on the California Register.

City of Redondo Beach Landmark

The property at 132 N. Catalina Avenue is evaluated for its eligibility as a City of Redondo Beach Landmark under the five City of Redondo Beach criteria for historic resource designation.

Redondo Beach Criterion A

To be eligible under City of Redondo Beach Criterion A, a property must exemplify or reflect special elements of the City’s cultural, social, economic, political, aesthetic, engineering, or architectural history. There is no evidence that this building is associated with significant patterns of history, industrial or commercial development or architectural history in Redondo Beach.

The building at 132 N. Catalina Avenue does not meet Criterion A and is not eligible to be designated as a City of Redondo Beach landmark under Criterion A.

Redondo Beach Criterion B

To be eligible under City of Redondo Beach Criterion B, a property must be identified with persons or events significant in local, state or national history.

There is no evidence that the property is associated with any significant Redondo Beach early settlers or important early industrial or commercial leaders, civic leaders, or

¹⁷ California Office of Historic Preservation *Technical Assistance Series #6 California and National Register: A Comparison (for purposes of determining eligibility for the California Register)*, pp. 1-2.

business owners/operators. There is no evidence that any historic events occurred at the property.

The building at 132 N. Catalina Avenue does not meet Criterion B and is not eligible to be designated as a City of Redondo Beach landmark under Criterion B.

Redondo Beach Criterion C

To be eligible under City of Redondo Beach Criterion C, a property must embody distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials of craftsmanship.

The building was identified in the 1986 Redondo Beach Historic Resources Survey with an evaluation of C+. The C survey category includes “pre-1946 buildings which reveal much of their original architectural style (not substantially altered)” and the “D” survey category includes “buildings that are clearly not significant in terms of architectural style or have been substantially altered from the original style.” Both survey categories state that buildings in those categories “are good candidates as contributing structures in an historic district.”

Research conducted for the current report has identified that the building has evolved from an early 20th Century industrial building to an expanded and remodeled commercial/industrial building. The building retains the shape of an early 20th Century façade on its front elevation, but the shape and form of the rest of the building reflect later alterations. These include the change in the building’s footprint, addition of a new roof (both form and materials), and addition of sections of metal exterior sheathing. The majority of exterior materials are of later 20th Century provenance. The building is not an excellent or unique example of an early 20th Century vernacular commercial industrial building.

The building at 132 N. Catalina Avenue does not meet Criterion C and is not eligible to be designated as a City of Redondo Beach individual landmark under Criterion C.

Redondo Beach Criterion D

To be eligible under City of Redondo Beach Criterion D, a property must be representative of the notable work of a builder, designer, or architect.

There is no evidence that the building at 132 N. Catalina Avenue is the work of a notable builder, designer or architect or master craftsman.

The building at 132 N. Catalina Avenue does not meet Criterion D and is not eligible to be designated as a City of Redondo Beach landmark under Criterion D.

Redondo Beach Criterion E

To be eligible under City of Redondo Beach Criterion E, a property must have a unique location or singular physical characteristic(s) that represents an established and familiar visual feature or landmark of a neighborhood, community, or the City.

The building is mid-block on a street that contains both residential and commercial buildings. There is no view shed in which the building stands out as a significant visual feature or as a landmark of the neighborhood.

The building at 132 N. Catalina Avenue does not meet Criterion E and is not eligible to be designated as a City of Redondo Beach landmark under Criterion E.

The building at 132 N. Catalina Avenue is not eligible to be designated as a City of Redondo Beach Landmark.

Historic District Evaluation

According to *National Register Bulletin 15, How to Apply the National Register Criteria for Evaluation* a district derives its importance from being a unified entity, even though it is often composed of a variety of resources. The identity of a district results from the interrelationship of its resources, which can convey a visual sense of the overall historic environment or be an arrangement of historically or functionally related properties.” In addition, “a district must be significant, as well as being an identifiable entity” and that the majority of the components “add to the district’s historic character, even if they are individually undistinguished.”¹⁸

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The City of Redondo Beach historic preservation ordinance is silent on requiring integrity. The City of Redondo Beach survey categories state that buildings that “can be restored may contribute to a historic district.”

¹⁸ <https://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, p. 5.

¹⁹ <https://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, p. 5



East side of the 100 block of N. Catalina Avenue

The buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue meet Criterion A in that they exemplify and reflect special elements of the City's social, commercial and transportation history as well as its architectural history

The building at 112 N. Catalina Avenue was associated with many fraternal orders and philanthropic societies over the first half of the 20th Century. These groups were essential to building community and fostering civic engagement in Redondo Beach in the early decades of the 20th Century. This building retains its historic volume and massing and documentation regarding the building's original appearance can guide its rehabilitation.

The building at 132 N. Catalina Avenue is associated with the early industrial and transportation history of Redondo Beach. While much of the building has evolved over the decades, the front façade reflects the building's early 20th Century industrial provenance. The building also retains interior mechanical equipment from the early 20th Century.

The buildings at 124 N. Catalina Avenue and 126 N. Catalina Avenue were constructed in the 1940s on land that had been used in previous decades to support the rail regional rail network. When the rail service was disbanded, the tracks and all ancillary elements were removed. The buildings at 124 N. Catalina Avenue and 126 N. Catalina Avenue represent the transition from a mixed industrial/commercial block to that of a block/district of commercial buildings housing businesses that served local residents.

The buildings at 112 N. Catalina Avenue and 132 N. Catalina Avenue represent the early commercial development of Redondo Beach and are rare resources as few early 20th Century commercial buildings remain. These buildings retain sufficient historic features and can be rehabilitated using the Secretary of the Interior's Standards for Rehabilitation. The buildings at 124 N. Catalina Avenue and 126 N. Catalina Avenue are examples of mid-20th Century Redondo Beach commercial buildings including a typical vernacular storefront building at 124 N. Catalina Avenue and a Mid-Century Modern style building at 236 N. Catalina Avenue. .

This group of four buildings represent the commercial/industrial development of Redondo Beach in the first half of the 20th Century with a period of significance of 1904 to 1949.

Two of the buildings are rare resources as they from the first decade of the 20th Century. Only three City of Redondo Beach Landmarks are commercial buildings and none of them date from the first decade of the 20th Century. Only a few other commercial buildings were identified in the City of Redondo Beach Historic Resources Inventory and none of them date from the first decade of the 20th Century.

The two buildings, 112 N. Catalina Avenue and 132 N. Catalina Avenue, that date from the first decade of the 20th Century were constructed shortly after the railroad tracks and rail service was established in Redondo Beach. Those two buildings are related to the early years of rail service in Redondo Beach as well as with the commercial/industrial development of the City as a district. The period of rail service continued into the 1940s.

When the railroad was disbanded the open land on the block that had been used for rail support operations was ripe for development. The two 1940s era buildings on the block represent the transition to the post-railroad era. The building at 132 N. Catalina Avenue also has significant association to the social history of fraternal and philanthropic organizations active in Redondo Beach and early civic engagement in the early 20th Century.

These four buildings convey a visual sense representing commercial/industrial development in the first half of 20th Century in the City of Redondo Beach. The buildings are significant for their associations with the history of railroads in Redondo Beach and with fraternal organizations and philanthropic societies and civic engagement in Redondo Beach. The buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue together meet the criteria to be designated as a City of Redondo Beach Historic District. .

PROPOSED PROJECT AND ANALYSIS OF POTENTIAL IMPACTS

The proposed project will cover six parcels of varying sizes. These parcels include four eligible historic buildings that contribute to a N. Catalina Avenue Historic District: 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue. The buildings at 124 N. Catalina Avenue and 126 N. Catalina Avenue are treated as a single building in the project.

Known as Catalina Village, the project will consist of the adaptive reuse and rehabilitation the historic buildings. The building at 112 N. Catalina Avenue will be adapted into residential use. The other two buildings (includes the combined 124/126 N. Catalina Avenue building and the 132 N. Catalina Avenue building) will provide commercial/retail space. At the rear of the parcels and on the vacant parcels, new apartment residential units will be constructed.

As the street facing buildings create an historic district, the project must comply with the Secretary of the Interior's Standards to ensure that the project will not result in any adverse impacts on historic resource.

The Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



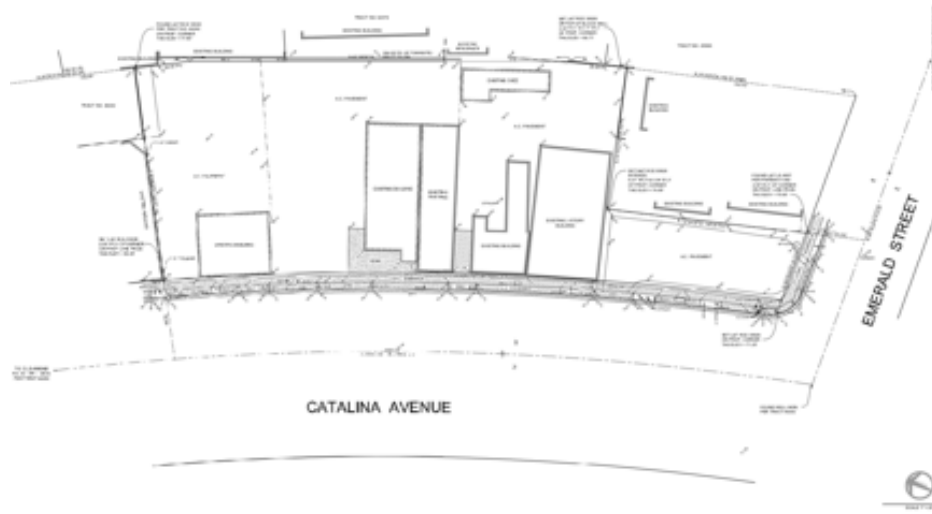
Catalina Village project area



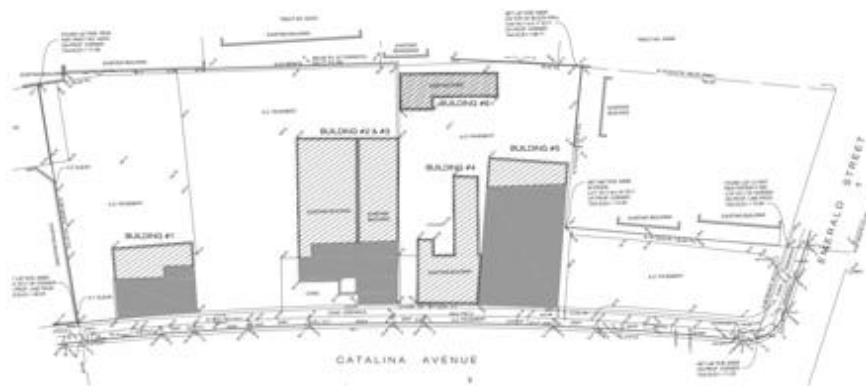
Proposed Project Site Plan



Catalina Village Proposed Project streetfront along the 100 Block of N. Catalina Avenue



Existing Site Plan



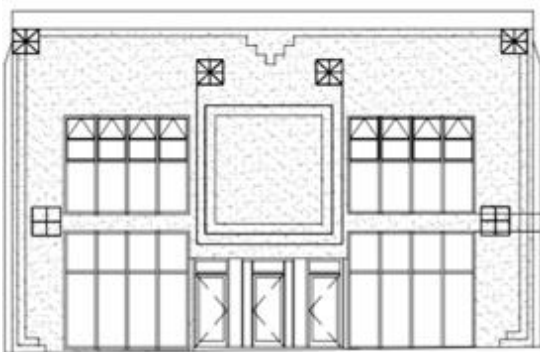
Proposed Project Plan

112 N. Catalina Avenue

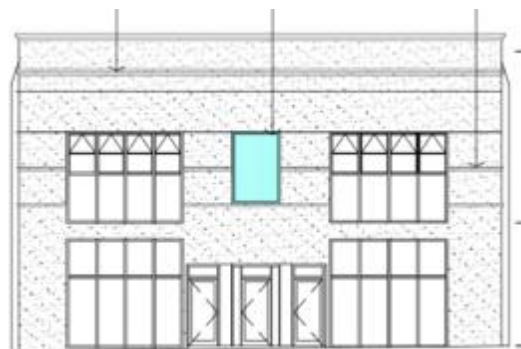
112 N. Catalina Avenue

The building at 112 N. Catalina Avenue retains its original volume and massing as well as the division of the front façade into three modules and symmetrical design. There are no architectural details on the sides of the building except for five pilasters. During a 1993 remodel original features were removed or covered. The proposed rehabilitation of the building includes restoring original elements based on photographic documentation of the building's pre-1993 front façade.

The original building design included a cornice which will be reconstructed. Also, horizontal banding at the upper level of windows will be reintroduced. The original upper middle window had been removed; that area will re-reconfigured with a centered window similar to the original design.



112 N. Catalina Ave., drawing of existing front elevation

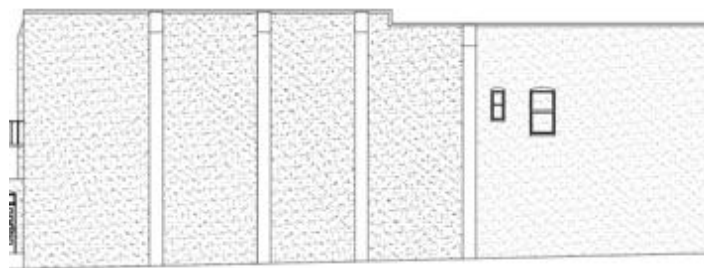


Drawing of proposed front elevation

The building at 112 N. Catalina Avenue will be adapted to provide housing units. The first floor level of the north side elevation has been obscured from view since construction of the adjacent building (116 N. Catalina Avenue) in 1921. The north elevation is a blank wall except for the five pilasters, a cornice and two windows. The

north elevation will become fully visible with the demolition of the non-historic 116 N. Catalina Avenue building which will be replaced by a driveway that will provide access into the complex. About 20 percent of the building, at the rear, will be demolished; one pilaster, the farthest back, will be removed. On the second and third floors of the building, new double-hung windows will be inserted to support the new interior residential program. At the first floor level most of the building will have garage openings that will lead to parking spaces. The first level parking space closest to the front of the building will have a roll up garage door as this area of the building will be the most visible from the public right of way.

The south elevation is similar to the north elevation with five pilasters and few windows, and it has been visible at least since the adjacent parcel at 100 N. Catalina Avenue was cleared of buildings in recent decades. There are no architectural details on either the north or south side elevations as it was thought that the adjacent parcels could be developed with buildings with no side yard setbacks. The proposed Catalina Village project will add a three-story building adjacent to and abutting the 112 N. Catalina Avenue building on its south side. As a result, the south elevation will no longer be visible.



132 N. Catalina Avenue, drawing of existing side (north) elevation



132 N. Catalina Avenue, drawing of proposed side (north) elevation

The building at 112 N. Catalina Avenue will be adapted to a new use providing housing units. The historic character of the building will be restored with the rehabilitation of the front façade which is based on photographic documentation. The distinctive massing and volume of the building will be retained. The only changes to the building are demolition of a small portion of the rear of the building and the introduction of windows on the upper stories of the north side elevation and garage openings on the ground floor level portion of the building – an area of the building that has not been visible for 100 years. As such, there will be no adverse impact on the north side elevation. The reconstruction of historic features of the front elevation are evidence based.

The proposed adaptive reuse and rehabilitation of the building at 112 N. Catalina Avenue meets the Secretary of the Interior's Standards for Rehabilitation. There will be no adverse impact to any historic resources.

124 N. Catalina Avenue and 126 N. Catalina Avenue



126 N. Catalina Avenue and 124 N. Catalina Avenue

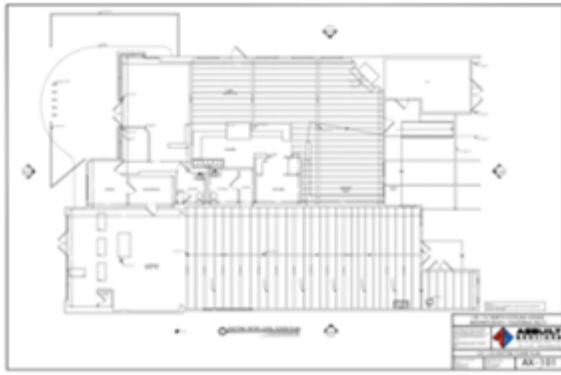
The building at 124 N. Catalina Avenue was constructed in 1946 on a 25-foot wide parcel to house a clothes cleaning service. Four of the similarly narrow parcels to the north were consolidated to create a 200-foot wide parcel and in 1949 an addition to the existing cleaners building was constructed on that parcel. Known as 126 N. Catalina Avenue, the building offered drive-through service window with most of the building supporting clothes cleaning operations.

The 126 N. Catalina Avenue building was sited on the south half of the parcel, abutting the 124 N. Catalina Avenue building (with which it shared operations). This allowed for the north half of the parcel to be used to support vehicle parking as well as for vehicles to use the drive-through area of the cleaners. It is unknown when the drive-through service ended. The building was adapted into a Coffee Shop in 1994 and has generally functioned as a café for almost 25 years.



Sketch of 126 N. Catalina Avenue and 124 N. Catalina Avenue as part of Catalina Village

The two buildings will function as a single unit in the proposed project. The buildings will be adapted to function together as a café. Each storefront will retain their original designs.



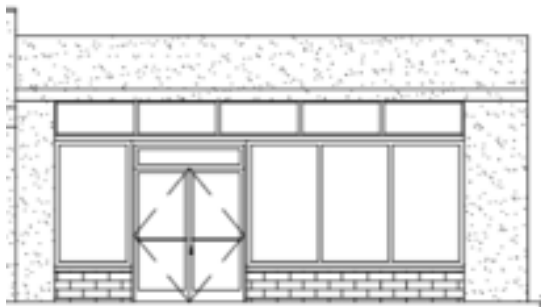
Existing floor plan of 124 N. Catalina Avenue and 126 N. Catalina Avenue



Proposed floor plan of 124 N. Catalina Avenue and 126 N. Catalina Avenue

The industrial rear portion of each building will be demolished. These areas supported cleaning operations and the side and rear elevations of each building have unadorned walls. The rear of these buildings were a shell to house the industrial operations of a cleaning plant. There are no historic features or elements of historic significance on this area of the building in terms of construction, design or the operations it housed. The historic significance of each of these buildings is based on their storefronts, street-facing architectural designs which will be retained, and the storefronts will be rehabilitated. The buildings' historic significance is not based on the industrial use of the buildings or the architectural design of the rear portions of these buildings.

124 N. Catalina Avenue



Drawing of 124 N. Catalina Ave., existing front elevation Photo of 124 N. Catalina Ave., front elevation.

The front elevation of 124 N. Catalina Avenue will remain the same. The original windows and doors remain as well as the original stacked stone bulkhead. A new sign

will be placed at the upper level of the building – the traditional location on the building for signage.



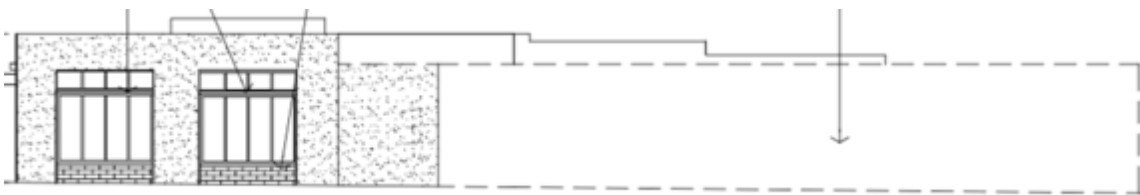
Sketch of 124 N. Catalina Ave., front (west) and proposed side (south) elevation



124 N. Catalina Ave., Photo of existing side (south) elevation (Google Earth, c2020)



124 N. Catalina Ave., Drawing of existing side (south) elevation



124 N. Catalina Ave., Drawing of proposed side (south) elevation

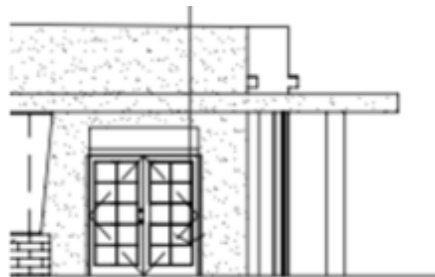
Two new windows will be inserted into the front portion, the original retail section, of the 100 - 132 N. Catalina Avenue building. They will be the same height as the front storefront windows but will be differentiated with more mullions. There will be a stacked stone bulkhead under each of the windows. The stacked stone will be discontinuous along this elevation to differentiate it from the original continuous stacked stone bulkhead of the front façade. The addition of similarly sized windows and the treatment of the glazing and stacked stone bring design elements of the front façade to this visible side of the building, but their design is sufficiently differentiated.



126 N. Catalina Ave., and 124 N. Catalina Ave. showing proposed north side elevation of 124 N. Catalina Ave.



Beige wall is north elevation of 124 N. Catalina Ave. and green is projecting addition of 126 N. Catalina Ave.



When green projecting wing of 126 N. Catalina Ave. is demolished, more of the north elevation of 124 N. Catalina Ave. will be revealed. A set of double doors will be added to that elevation

A new door will be added to the north elevation of the 124 N. Catalina Avenue building. As the 126 N. Catalina Avenue building is set-back from the sidewalk (with the canopy over the setback area) a portion of the north elevations of 124 N. Catalina Avenue is currently visible. More of that elevation was visible before the projecting office wing of 126 N. Catalina Avenue was constructed. That office wing (painted green) will be demolished, exposing more of the north elevation of 124 N. Catalina Avenue. To support the adaptive reuse of the two buildings, a set of glazed double doors will be inserted into that elevation. The wall is blank so there are no architectural details that would be impacted with the addition of the door.

Based on the description and analysis above, the building at 124 N. Catalina Avenue will be placed in a new use that will have no change on the character defining characteristics of the historic front storefront façade of the building. The distinctive features of the front façade will be preserved. While the adaptive reuse of the site will result in the demolition of a portion of the rear of the building, that area does not retain any character-defining

features and its use to house industrial operations is not of historic significance. The addition of new windows on the side (south) elevation support the adaptive reuse of the building. The design of the windows and bulkhead is compatible with the existing architectural features of the building and are sufficiently differentiated from the historic storefronts. The addition of new doors on the north elevation will have no adverse impact to the historic design of the building.

The proposed adaptive reuse and rehabilitation of the building at 124 N. Catalina Avenue meets the Secretary of the Interior's Standards for Rehabilitation. There will be no adverse impact to any historic resources.

126 N. Catalina Avenue



126 N. Catalina Ave., drawing of front elevation



126 N. Catalina Ave., photo of front elevation



126 N. Catalina Ave., drawing of proposed front elevation



Sketch of front elevation

The proposed rehabilitation of the Mid-Century Modern building at 126 N. Catalina Avenue includes retention of all original features on the historic street-facing storefront elevation – windows, doors, and canopy with its integral blade sign and pillars. The rehabilitation proposal for the front elevation of 126 N. Catalina Avenue also proposes demolition of the projecting office wing (painted green) on its south end. This wing was added at a later point in time. Although there are no building permit records, physical evidence shows that this is not original: the position and type of windows located on this projecting office wing are dissimilar to the other windows on the front elevation and are not representative of window types employed on the front elevation. Also, the stacked stone bulkhead which is a feature of the main portion of the front elevation is missing from the projecting office wing. Removal of this wing will not result in an adverse impact to any historic features.

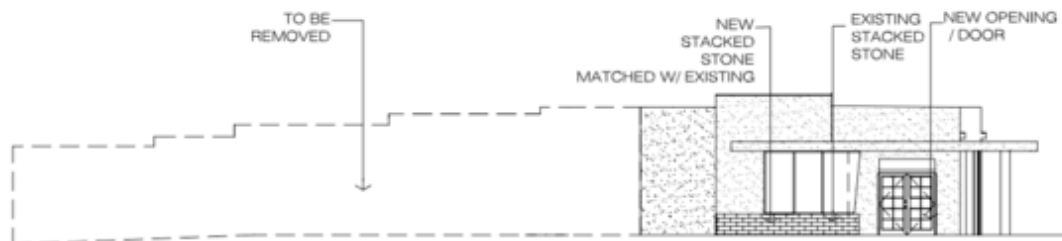
With the removal of this added wing, the front elevation will be a single plane. The new wall section will be consisting of four windows of the same height as the original windows of the storefront façade. The new windows will differ from the original windows in that they will be narrower. A stacked stone bulkhead, similar to the original, will be constructed; the stacked stone bulkhead is an existing feature on both buildings and filling in the “gap” provides continuity of design along this elevation. The Modernistic curved canopy with its projecting blade sign and pillars will be retained.



Photo of side (north) elevation of 126 N. Catalina Ave.



Existing side (north) elevation of 126 N. Catalina Avenue



Proposed side (north) elevation of 126 N. Catalina Avenue

The proposed design retains all the existing original elements of the Modernistic design of the front portion of the historic 126 N. Catalina Avenue building. The new windows that are to be added are compatible with the original design. The replacement of the stacked stone bulkhead will use similar sized stone and pattern. The Modernistic curved canopy with its projecting sign and pillars is retained. Although a portion of the building will be demolished, the rear two-thirds of the building, this section has no Modernistic architectural features nor is its use as an industrial cleaning plant of historic significance.

The proposed adaptive reuse and rehabilitation of 126 N. Catalina Avenue meets the Secretary of the Interior's Standards for Rehabilitation. There will be no adverse impact to any historic resources.

132 N. Catalina Avenue

132 N. Catalina Avenue, photograph of front elevation

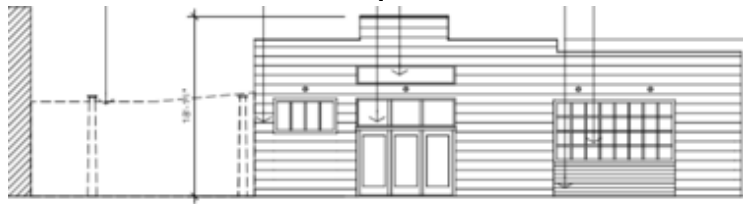
The building at 132 N. Catalina Avenue retains the original form of its stepped front parapet that hides the gabled roof building. A portion of the rear of the building will be demolished but the gable roof form will remain and will be visible looking at the rear of the building.

The building is proposed to be adapted from industrial uses/office to a tasting room. The lean-to shed on the north side of the building will be demolished to make way for a driveway into the complex. This shed lean-to is of unknown provenance and not a substantive element of the building. While the windows and doors are not original their location and size appears to have been in place for decades. The pattern and size will be retained; a set of transom windows will be added above the entry doors. The thin metal siding is not original; it will be replaced by horizontal wood siding.



132 N. Catalina Avenue, front and side (south) elevations

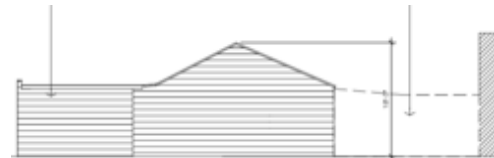
The sides of 132 N. Catalina Avenue are devoid of any architectural style or detailing. To adapt the building into a tasting room two new windows will be inserted into the south side elevation. The north side elevation which will be facing the driveway will have a panel with a painted mural attached to the side of the building.



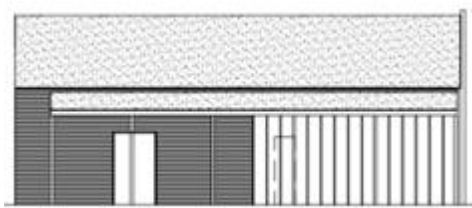
126 N. Catalina Avenue, drawing of proposed front elevation



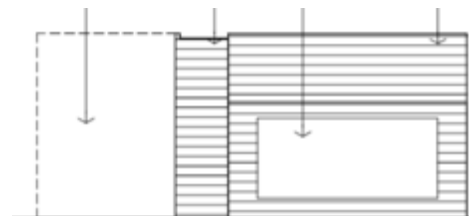
132 N. Catalina Ave., drawing of existing rear elevation



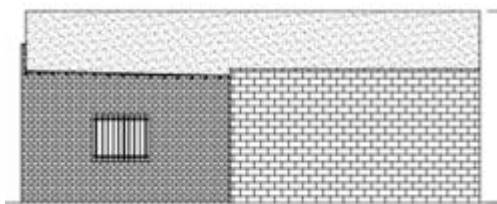
Drawing of proposed rear elevation



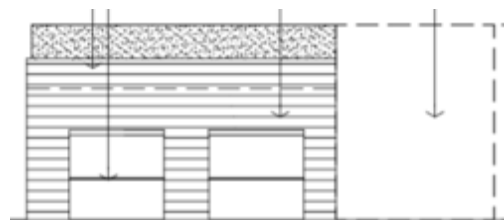
132 N. Catalina Ave., drawing of existing north elevation



Drawing of proposed north elevation



132 N. Catalina Ave., drawing of existing south elevation



Drawing of proposed south elevation

The original exterior cladding of the building is unknown. Horizontal wood siding will be applied to the building and it will conform to the stepped front profile of the building. A unique feature of the building is period machinery in the building which will be retained.

The adaptive reuse of the building will allow for this older building to remain in productive use. The building was constructed to serve businesses such as blacksmithing and as such were not built to be substantial buildings in terms of building materials and expectancy of longevity. This building, typical of its type, has evolved over the last century, with materials such as exterior cladding being removed and replaced. The rehabilitation of the building relies on simple materials that are evocative of the industrial history of the building.

The proposed adaptive reuse and rehabilitation of 132 N. Catalina Avenue meets the Secretary of the Interior's Standards for Rehabilitation. There will be no adverse impact to any historic resources.

Proposed New Multi-family Residential Buildings



New residential apartment buildings to be constructed at the back of parcels



New residential apartment buildings to be constructed at the back of parcels



126 N. Catalina Avenue in foreground and buildings at rear of the parcels
on N. Broadway, the street behind Catalina Avenue to its east

The Catalina Village project proposes to add new three-story residential apartment buildings to the rear of the parcels that contain contributing buildings of the eligible early 20th Century commercial district: 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue. The proposed multi-family buildings are set back at the rear property line of the parcels. This is an urbanized area of the city. The parcels directly to the east, abutting the subject parcels of the eligible historic district, are already developed with multi-story multi-family residential buildings; none of these buildings are historic resources. The proposed buildings are similar in height and massing to some of those (non-historic) existing buildings. The proposed residential buildings are uniform in height and neutral in color. As such they provide a neutral backdrop for the streetfront historic district.

The proposed multi-family buildings will not have an adverse impact on the setting of the eligible historic district or an adverse impact on any individual building of the eligible historic district.



Emerald Street showing Catalina Village proposed apartment building and the City of Redondo Beach Landmark building, the Oklahoma Apartments at 305 Emerald Street



Oklahoma Apartments at 305 Emerald Street between N. Catalina Avenue and N. Broadway

The proposed Catalina Village project also includes construction of a 3-story apartment building on the undeveloped corner parcel at 100 N. Catalina Avenue. On the parcel due east of the 100 N. Catalina Avenue parcel contains a designated City of Redondo Beach Landmark, the Oklahoma Apartments at 305 Emerald Street. The setting of the along Emerald Street already includes multi-story multi-family buildings from the late 20th Century. The adjacency of these buildings has not impacted the historic designation of the Oklahoma Apartments. The proposed building to the west of the Oklahoma

Apartments is similarly a contemporary multi-story, multi-family building. There is adequate setback separation between the proposed building and the Oklahoma Apartments, similar to the setback of the existing multi-family building to the east of the Oklahoma Apartments.

There will be no adverse impacts to the designated City of Redondo Beach landmark Oklahoma Apartments as a result of the construction of the proposed Catalina Village apartment building at 100 N. Catalina Avenue or from construction of the rest of the Catalina Village project.

CONCLUSION



Based on the facts presented in the report above, the buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue are contributing buildings to an eligible City of Redondo Beach historic district of commercial buildings from the first half of the 20th Century. The buildings at 112 N. Catalina Avenue and 126 N. Catalina Avenue appear individually eligible as City of Redondo Beach landmarks. None of the buildings meet the threshold for inclusion on the California Register of Historical Resources or to the National Register of Historic Places either as individual resources or as an historic district.

The proposed adaptive reuse and rehabilitation of these contributing buildings of a local historic district complies with the Secretary of the Interior's Standards for Rehabilitation and the project will not cause any adverse impacts to any historic resources.

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[illegible]

7505 5 SHEET 1
SCALE 1" = 60'

1999

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1550/670500202-14

REVISION
5-19-55
10-30-61
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DIAMOND ST.

EMERALD ST.

NORTH CATALINA AVE.

TOWNSITE OF REDONDO BEACH

M.R. 39-1-17

CONDOMINIUM

PARCEL MAP

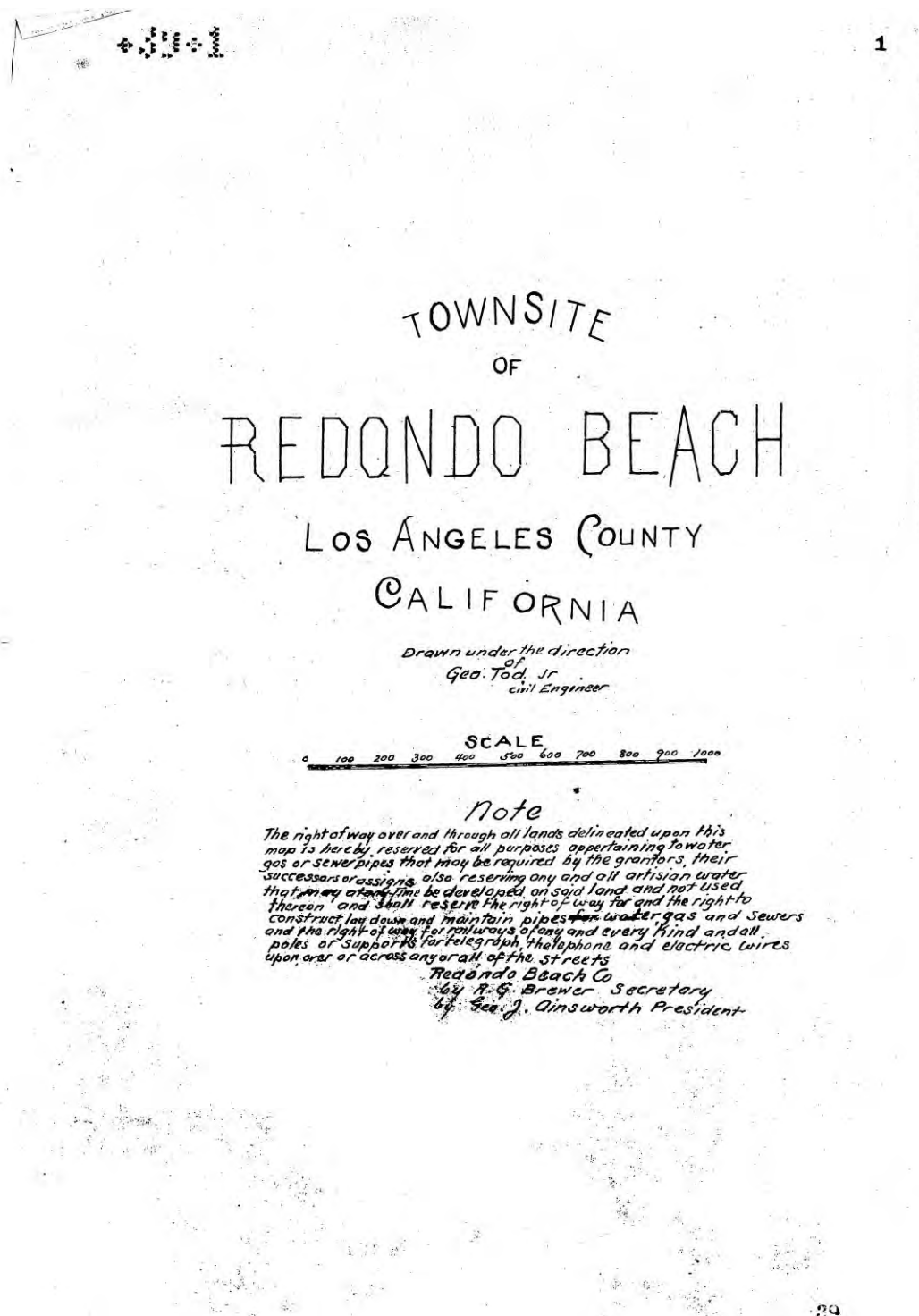
P.M. 283-90-91

FOR PREV. ASSMT. SEE: 1722-5

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

November 20, 2020

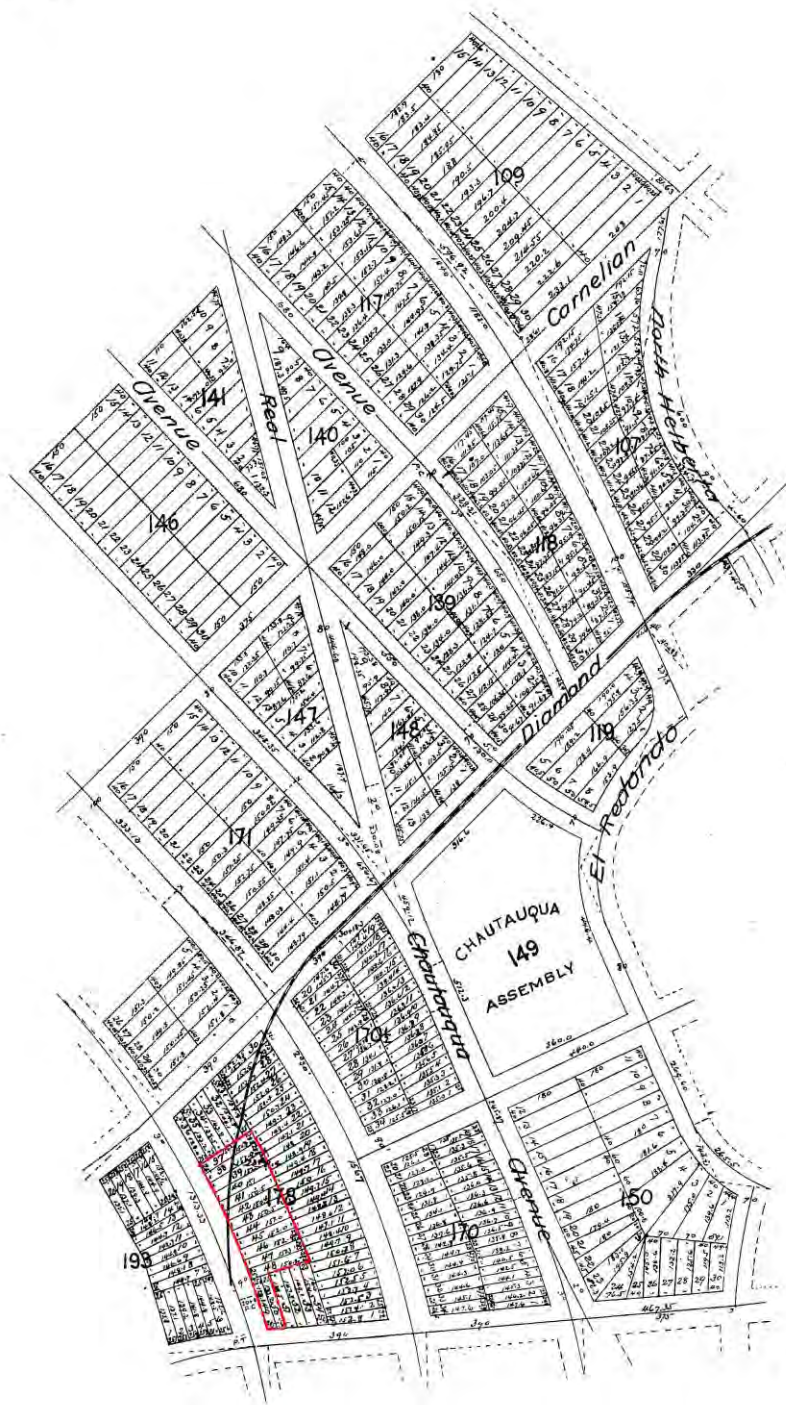
Original Tract Map



Tract Map, Page 1 of 2

+39+7

7



39.

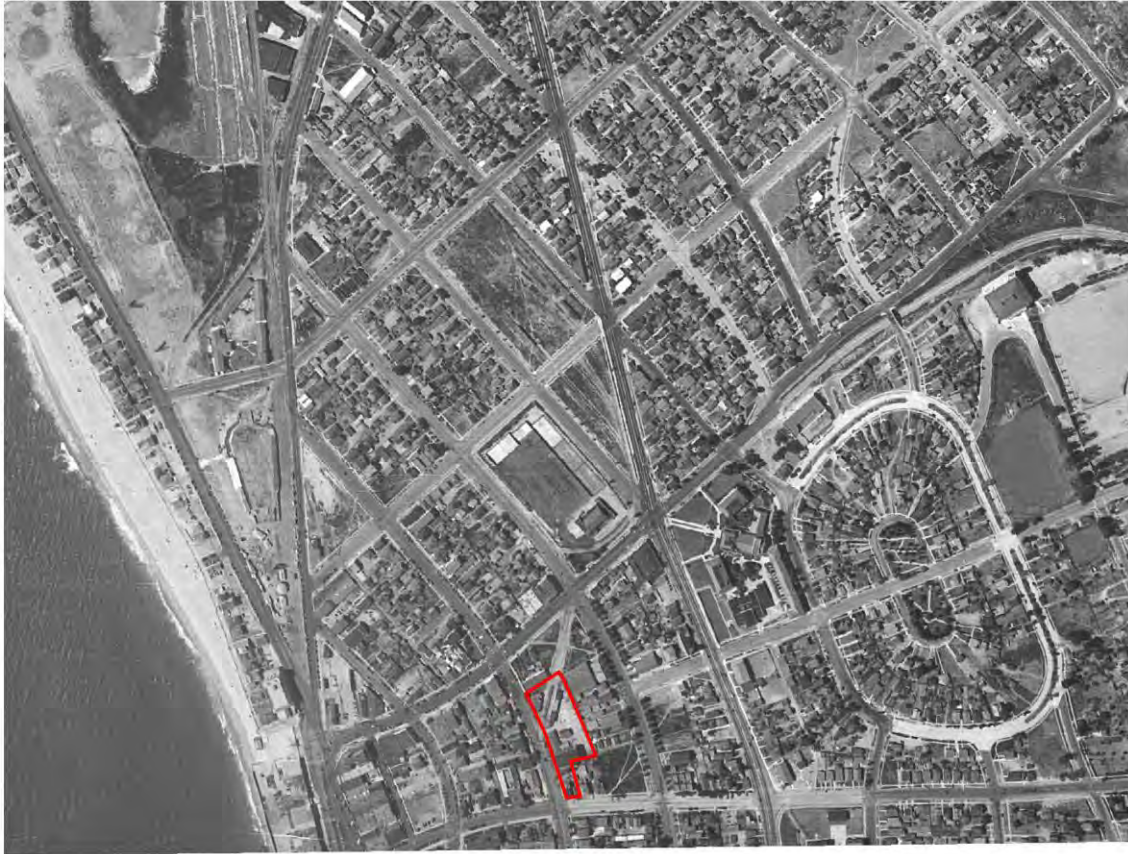
Tract Map, Page 2 of 2

Attachment B: Historic Aerial Photographs and Sanborn Insurance Maps

Historic Aerial Photographs



Aerial Photo 1928



INQUIRY #: 5559567.8
YEAR: 1938
= 500'

↑ N
CEDR

Aerial Photo 1938



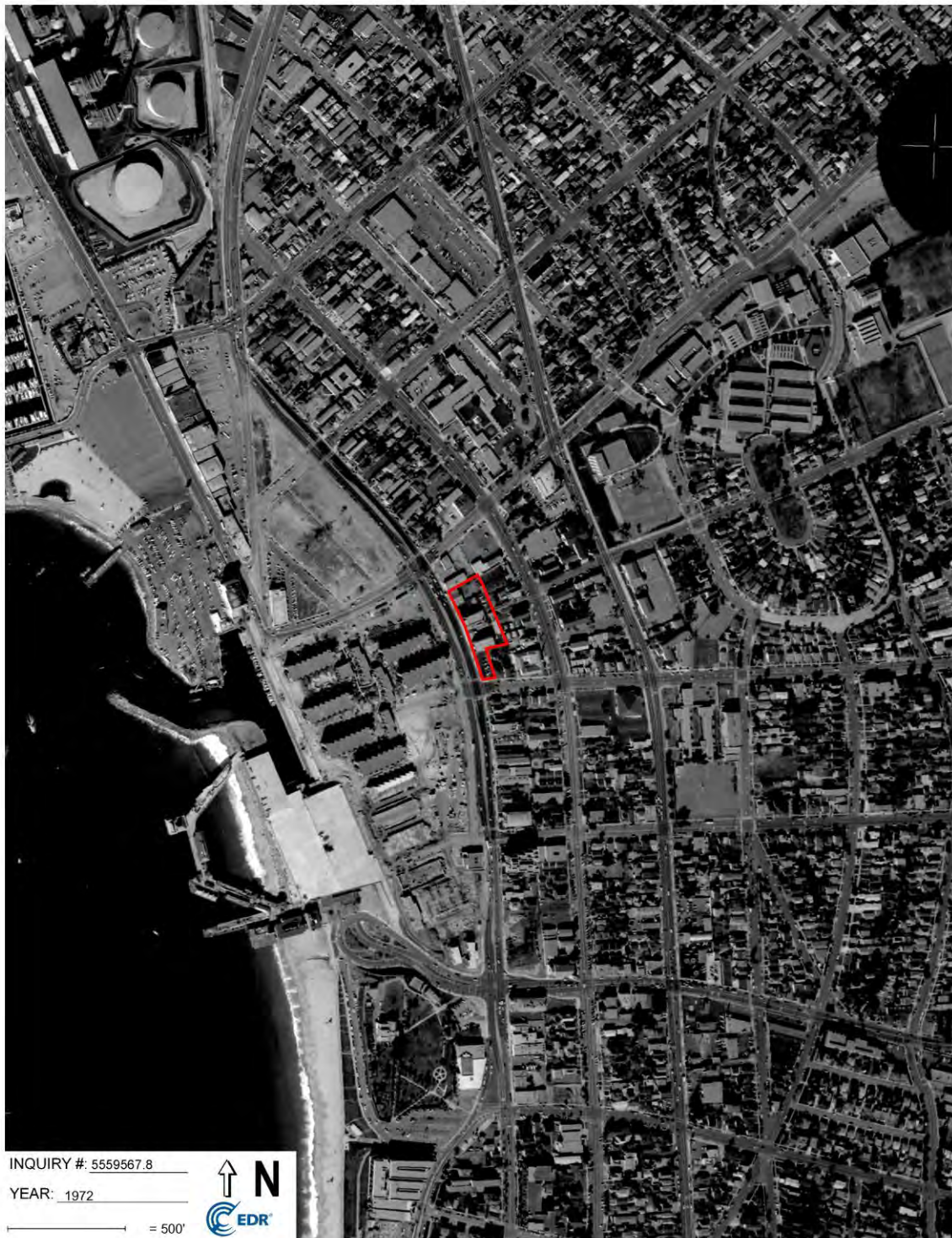
Aerial Photo 1947



Aerial Photo 1952



Aerial Photo 1963



Aerial Photo 1972



Aerial Photo 1977



Aerial Photo 1983



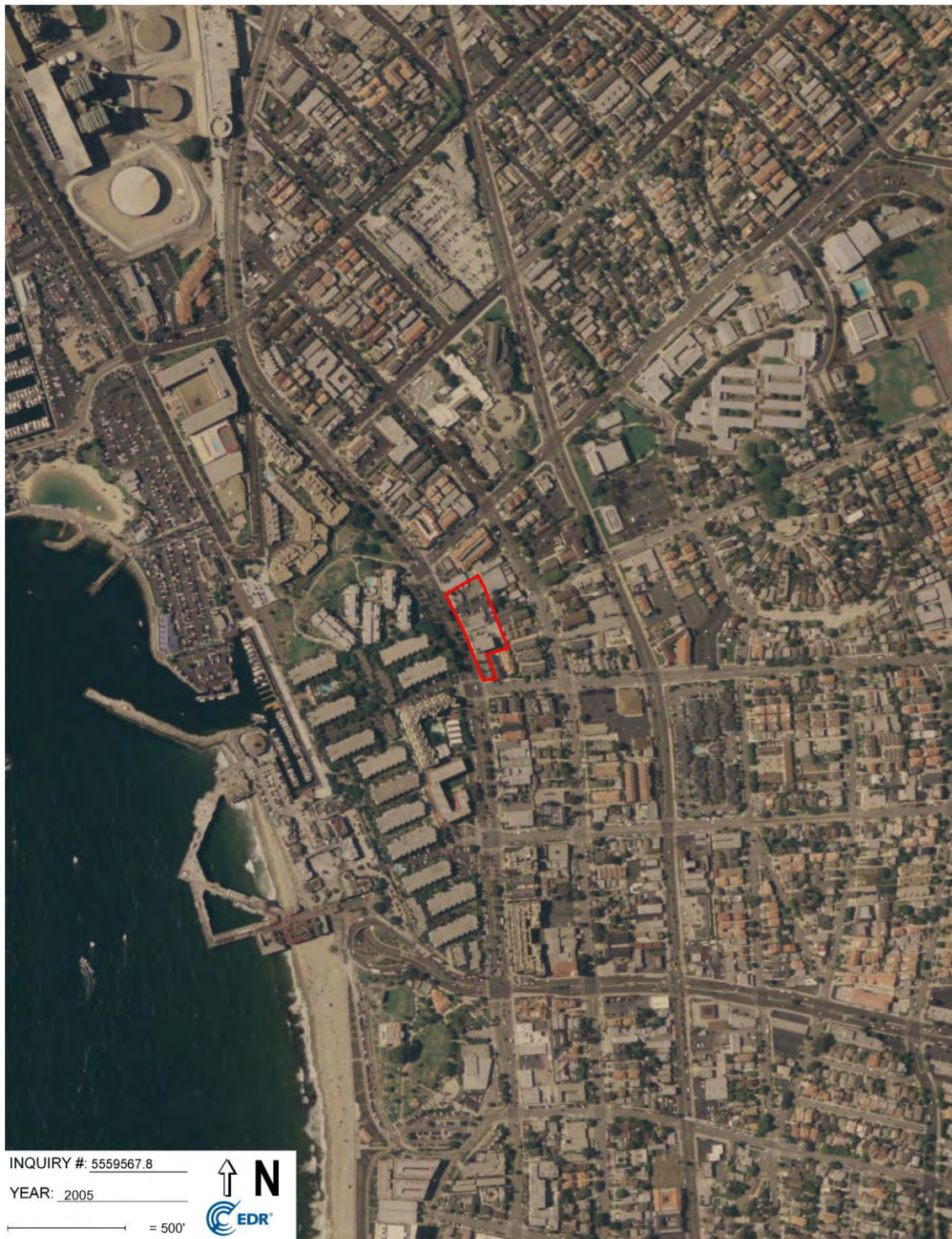
Aerial Photo 1989



Aerial Photo 1994



Aerial Photo 2002



Aerial Photo 2005



Aerial Photo 2009

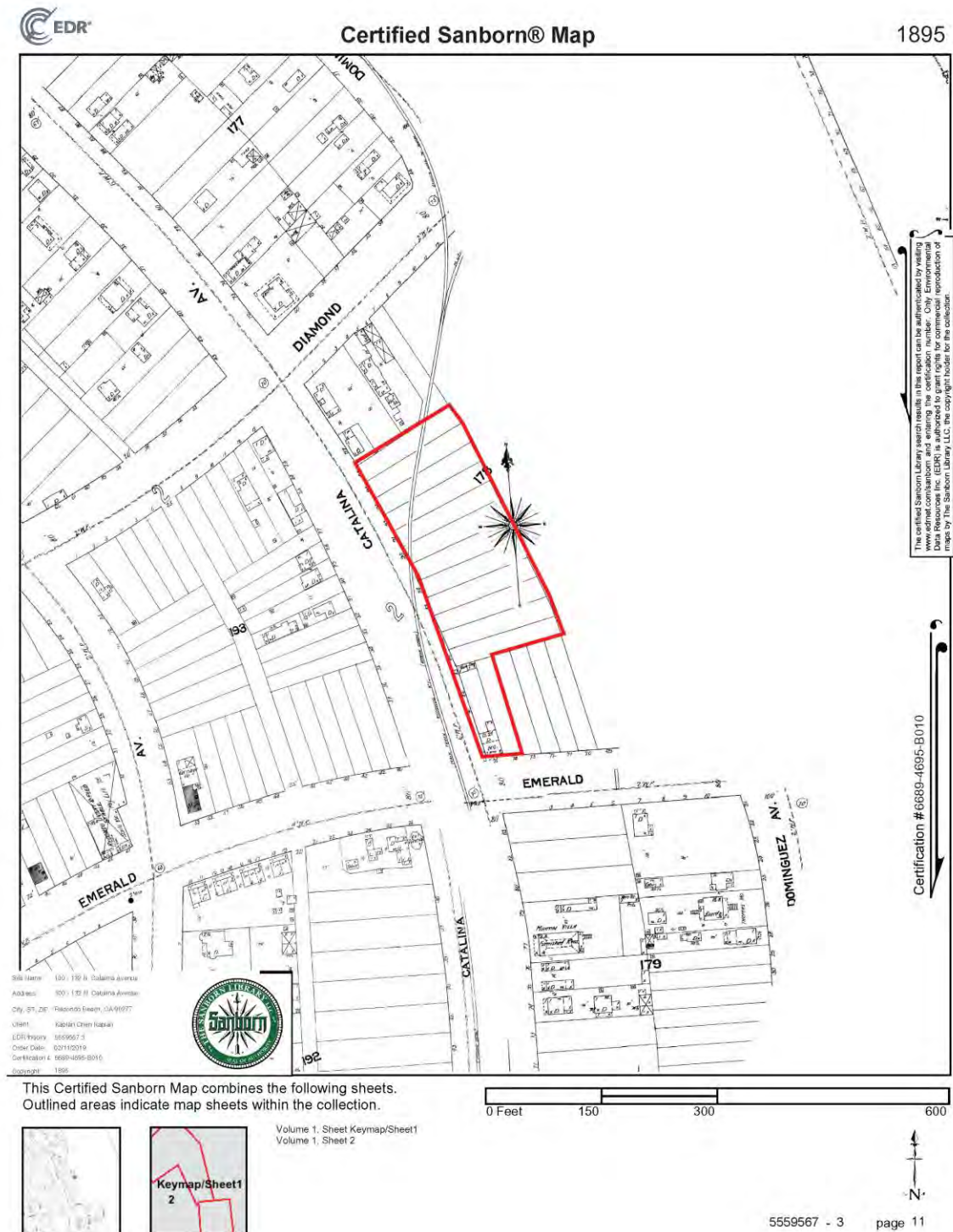


Aerial Photo 2012

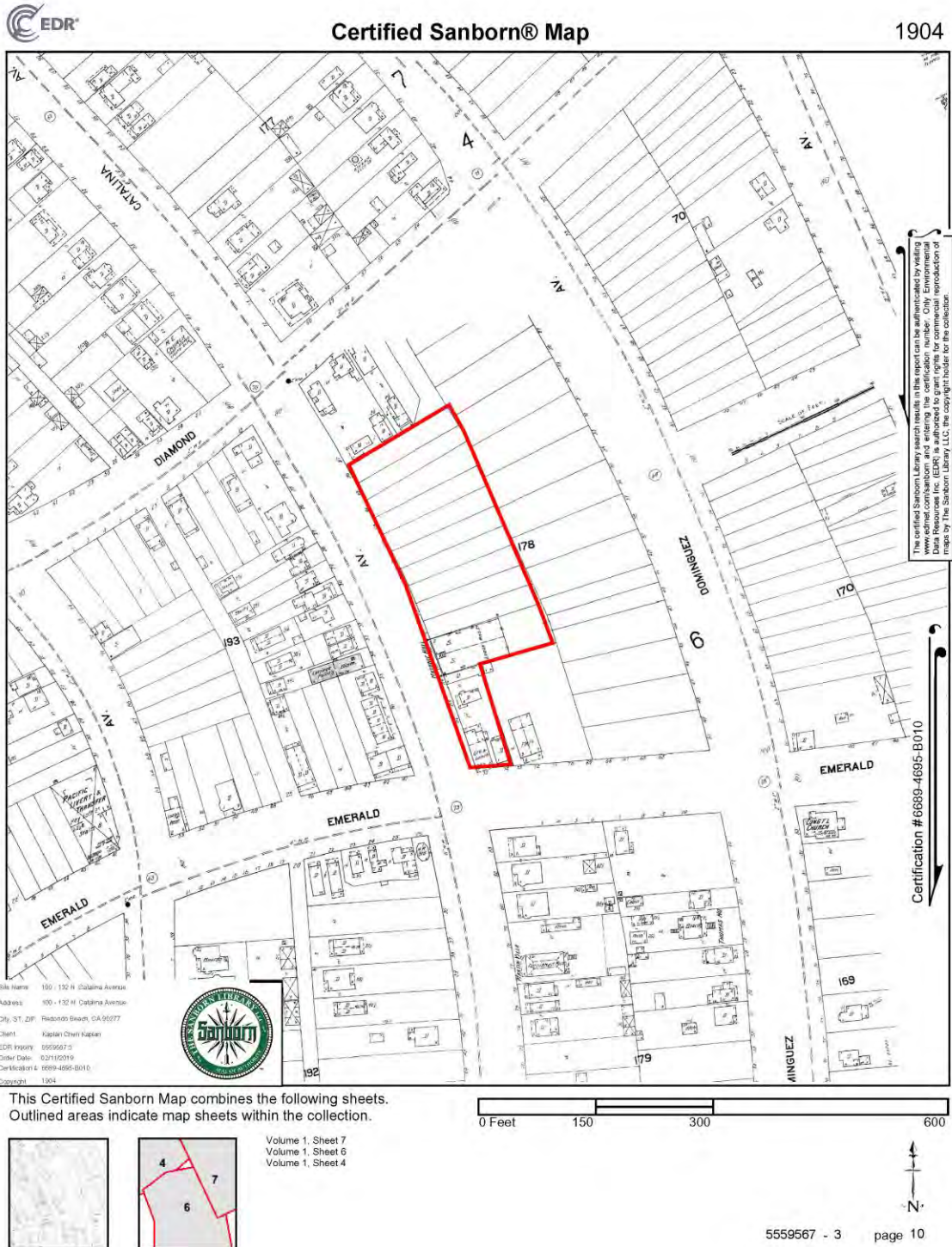


Aerial Photo 2016

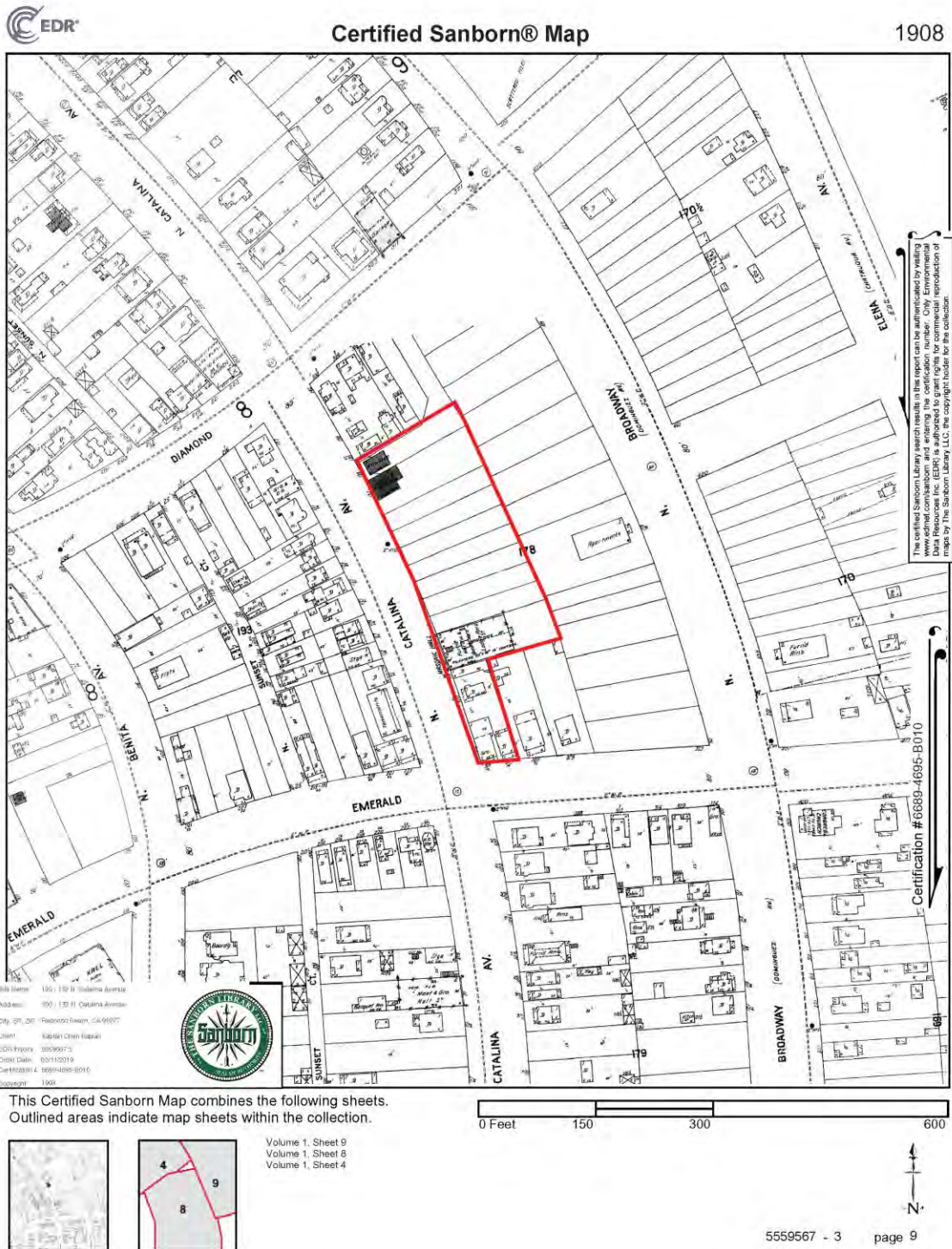
Sanborn Insurance Maps



1895 Sanborn map



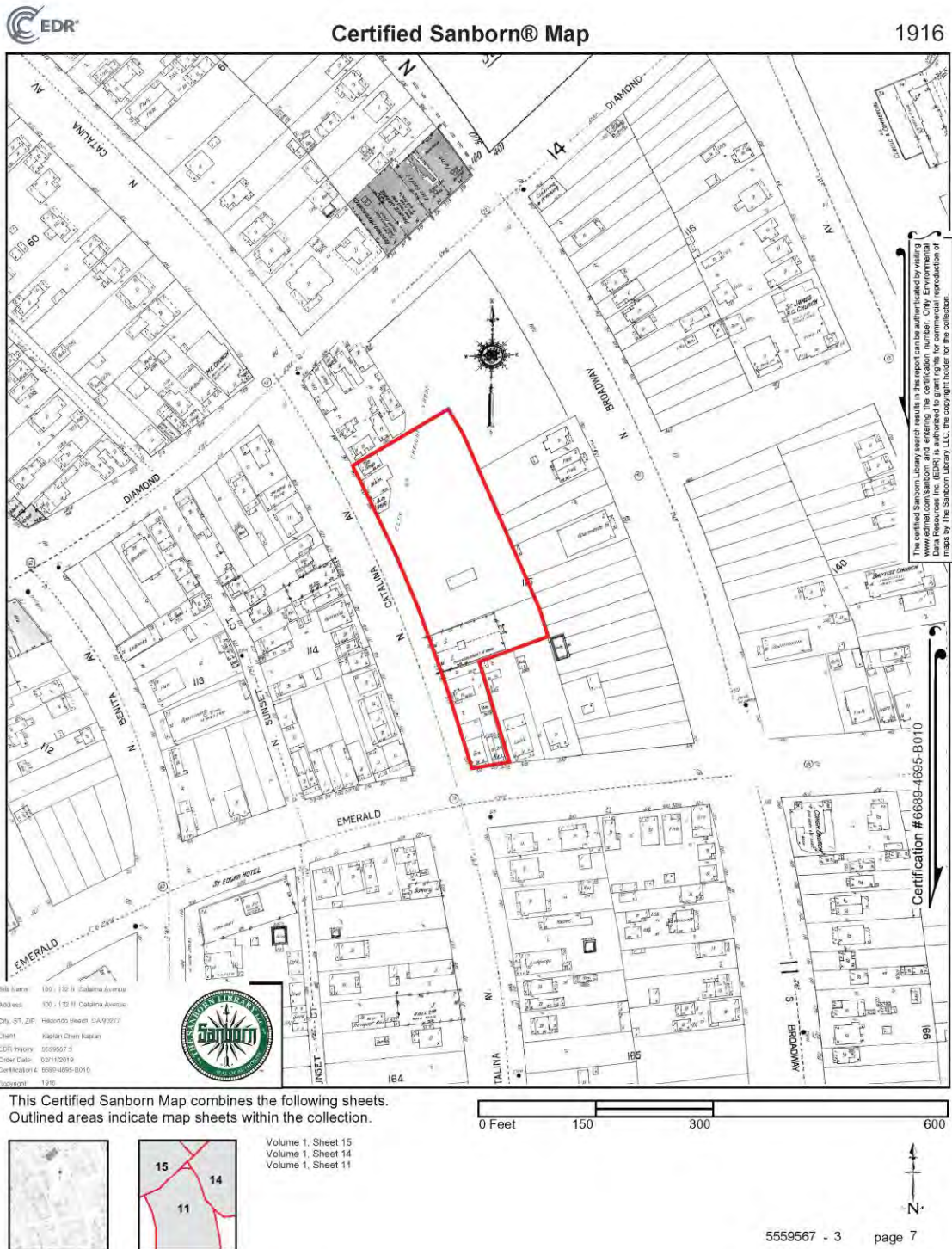
1904 Sanborn map



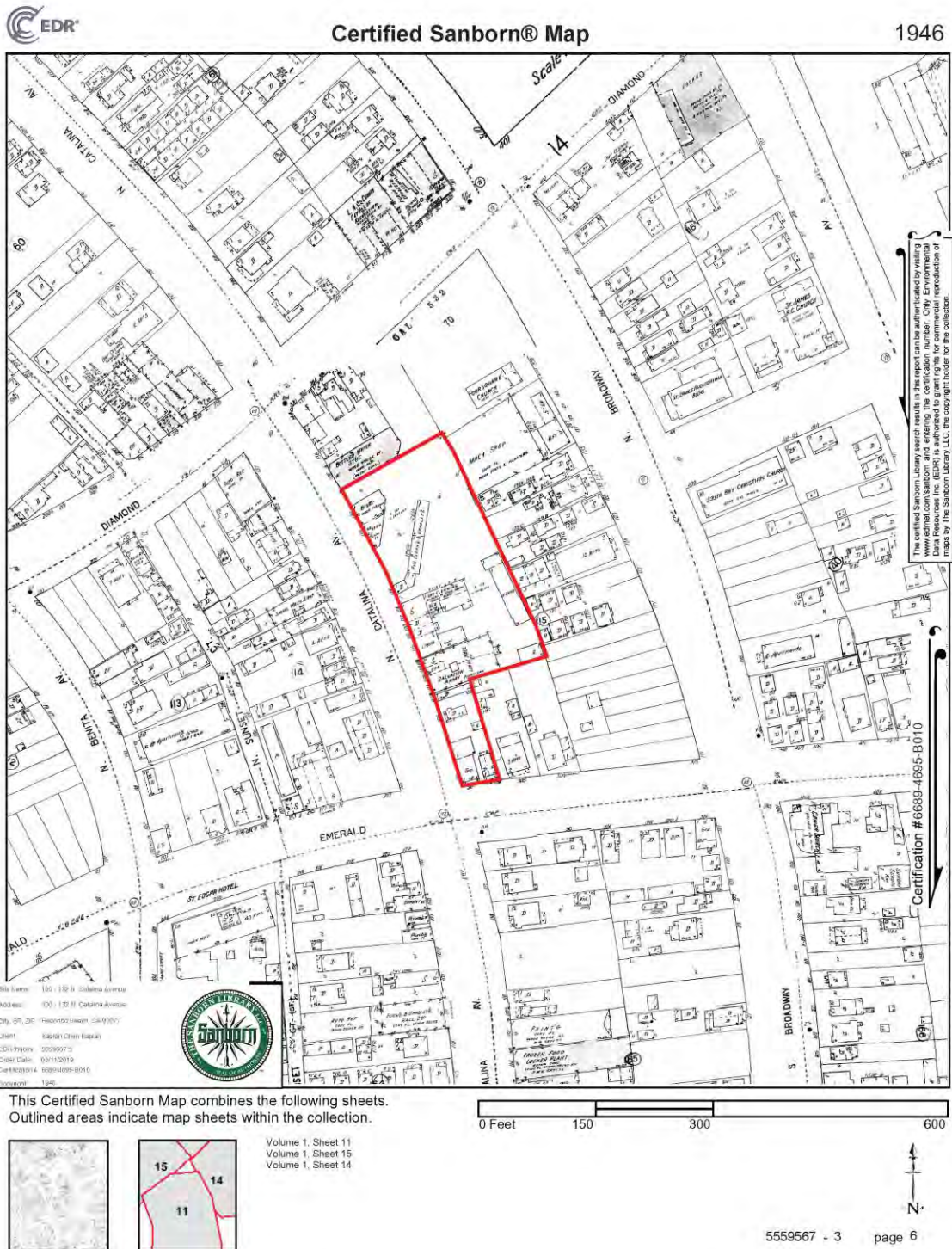
1908 Sanborn map



1912 Sanborn map



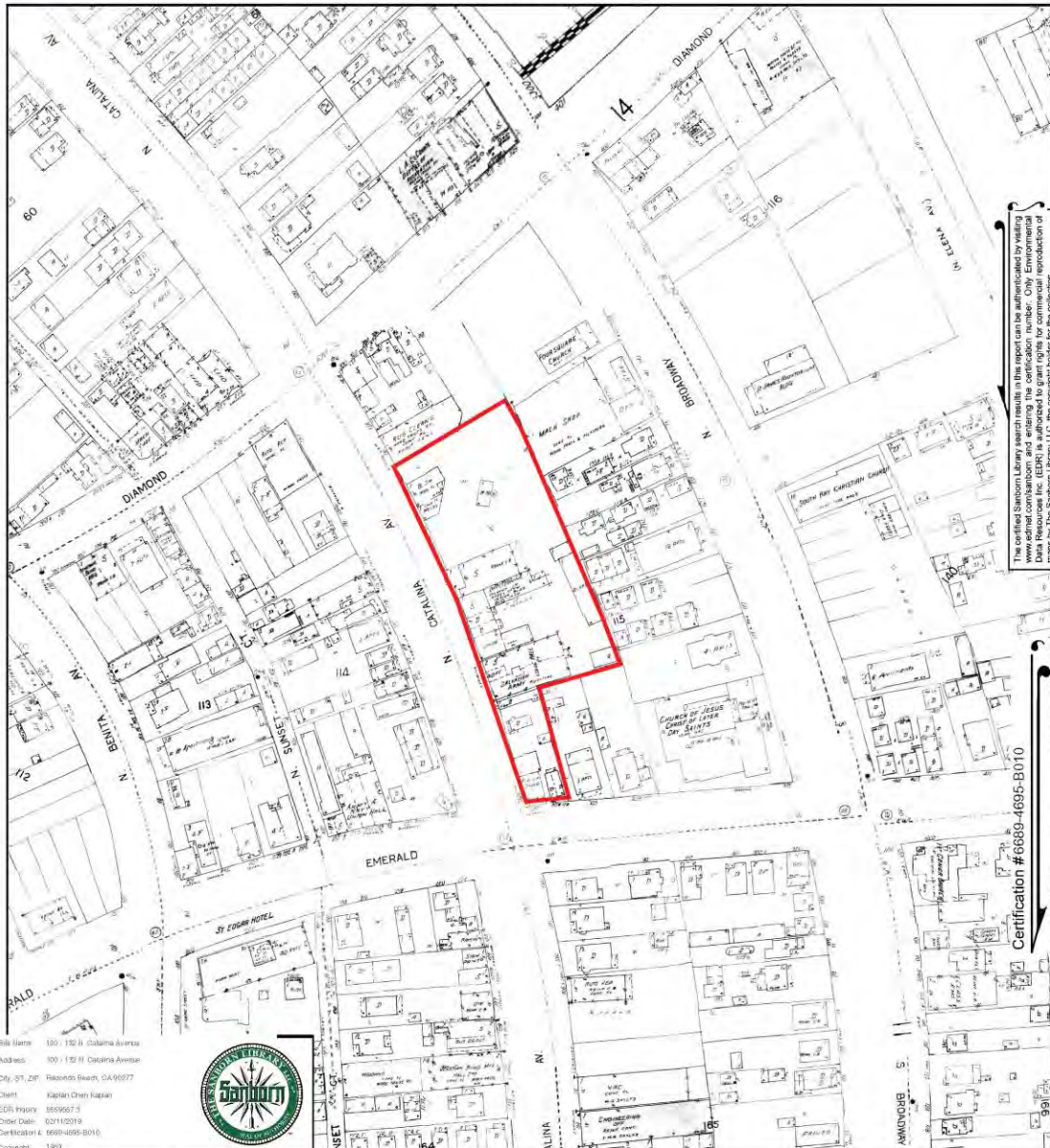
1916 Sanborn map





Certified Sanborn® Map

1959



Site Name: 100 - 132 N. Catalina Avenue
Address: 100 - 132 N. Catalina Avenue
City, ST, ZIP: Redondo Beach, CA 90277
Client: Kaplan Chen Kaplan
EDR Inquiry: 5559567-3
Order Date: 02/11/2019
Certification #: 6689-4695-B010
Copyright: 1959



This Certified Sanborn Map combines the following sheets.
Outlined areas indicate map sheets within the collection.



Volume 1, Sheet 15
Volume 1, Sheet 14
Volume 1, Sheet 11

0 Feet 150 300 600



5559567 - 3 page 5

1959 Sanborn map



100 – 132 N. Catalina Avenue
Historic Preservation Plan
Redondo Beach, California

November 20, 2020

Submitted by

Kaplan Chen Kaplan
2526 Eighteenth Street
Santa Monica, CA 90405

David Kaplan, Principal
Pam O'Connor, Architectural Historian

NORTH CATALINA AVENUE HISTORIC DISTRICT
Rehabilitation and Adaptive Reuse – Historic Preservation Plan
100 – 132 N. Catalina Avenue, Redondo Beach, California

Historic Rehabilitation and Reuse Plan

The proposed North Catalina Avenue Commercial Historic District consists of one story structures at 132, 126, 124 N. Catalina Avenue and the two story masonry building at 112 N. Catalina Avenue. A mixed use project is being developed consisting of the existing contributors to the historic district together with new living units and parking sited along the rear of parcels from 112 to 132 N. Catalina Avenue as well as located on the currently empty corner lot at 100 N. Catalina Avenue. The three existing contributing one story buildings will contain commercial uses and the existing two story building is planned for mixed use residential.

A historic resource evaluation report completed by Kaplan Chen Kaplan provides findings regarding properties at 112 N. Catalina Avenue, 116 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue, and 132 N. Catalina Avenue¹:

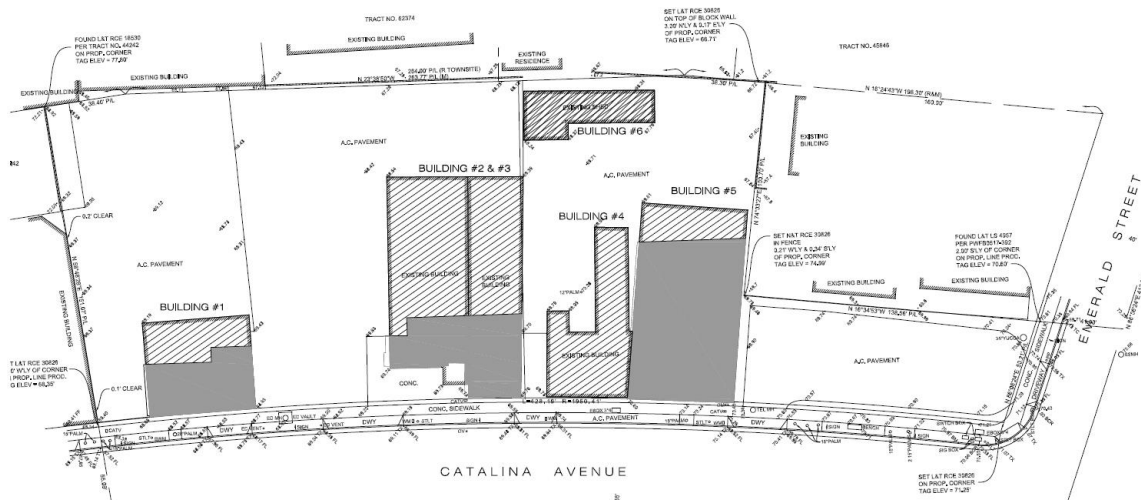
“The buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue are eligible contributing buildings to a City of Redondo Beach Historic District. The buildings are rare resources representing early 20th Century commercial development in Redondo Beach as very few early 20th Century commercial buildings remain. The subject buildings represent the continuum of commercial building property types in Redondo Beach during the first half of the 20th Century, 1904 to 1949. Although the buildings have undergone alteration over the decades, they all still retain original form and massing and enough character-defining features that guide rehabilitation of the buildings.”

The proposed project, Catalina Village is adaptive reuse and rehabilitation of the buildings at 112 N. Catalina Avenue, 124 N. Catalina Avenue, 126 N. Catalina Avenue and 132 N. Catalina Avenue. The parcels will be consolidated along with the undeveloped parcel at the corner of N. Catalina Avenue and Emerald Avenue. New residential buildings will be constructed at the rear of the subject parcels as well as on the undeveloped corner parcel.

The proposed rehabilitation plan is subject to review by City of Redondo Beach Preservation Commission and as an historic resource all proposed work must comply with the Secretary of the Interiors Standards for Rehabilitation of Historic Structures as well as generally accepted practices and procedures for historic resources. The following historic Preservation Plan includes evaluation of character-defining features, review of proposed rehabilitation, review of proposed treatments as well as review of procedures during construction to help ensure conformance to historic preservation guidelines and standards.

¹ 100-132 N. Catalina Avenue, Redondo Beach, Historic Resource Evaluation Kaplan Chen Kaplan, November 20, 2020

Overall Site



Project property with retained historic contributors highlighted in solid gray. Currently the area between buildings is paved open space used for parking and storage

Description

The existing site contains four buildings that have been evaluated as contributors to the historic district and one non-contributing structure. The remainder of the site including space behind the buildings is open space. The four buildings, their character defining elements and treatments are individually described in this Preservation Plan. There are no landscape features.

Condition Assessment (see individual buildings)

The overall site is in fair condition with significant deferred maintenance for all structures. Asphalt paving in fair condition covers much of the open space.

Character defining features (see individual buildings)

Street front entries and storefronts for all buildings
Low rise one story commercial buildings and one two story mixed-use building
Open space between buildings

Rehabilitation

The project is to adaptively reuse retained building elements that express the character of the historic district primarily expressed through the street facing elements of the four identified resources to be preserved and rehabilitated. The rehabilitation of individual structures is reviewed in this Preservation Plan. Rehabilitation of the overall setting maintains the street front open space that includes new paving, landscape and

furnishings for enhanced public outdoor areas along the street front relating to uses in the adjacent rehabilitated buildings. No new structures are placed between the identified street front resources. The new housing is arranged behind the low rise structures and creates a backdrop that highlights the varied street front historic resources. New housing is also sited at the end of the block, south of the two story building that provides a transition to the existing two story housing including a historic landmark around the corner on Emerald Street.



Overall street front view along N. Catalina Avenue of adaptively reused and rehabilitated contributors to the historic district with new housing as backdrop and at south corner.



View looking south along North Catalina shows how the historic buildings are featured along the street front, framed and highlighted by the new housing development



View looking north with new housing at the vacant corner lot adjacent to the existing two story building. The Housing helps to frame the historic district as well as to transition around the corner to adjacent historic multi-story housing.

112 N. Catalina Avenue (1904/1945)



112 N. Catalina Avenue

Description

The building at 112 N. Catalina Avenue is a two-story masonry structure with plaster façade. The upper floor of the building was originally used as the assembly space for the Masons and other groups while the first floor was used as retail and as a post office. The current façade was installed in 1992 along with seismic upgrades. Seismic upgrade included new steel frames throughout the building including a frame behind the front façade. The front windows are aluminum storefront at both ground and upper level. There is operable upper sash on the second floor windows. The long side elevations are articulated by a series of vertical pilasters. The side walls are windowless except for one large and one small window with arched brick headers in the second bay from the front on both sides. The rear elevation has three arched openings on the upper floor and an exterior metal stair. The entire front façade appears to have been plastered over at one time.

Condition Assessment

The building exterior is in relatively good condition although the front façade is a dated design with minimal references to the original building design. Along with fading, the textured plaster has accumulated dirt creating an uneven appearance. Aluminum mullions for windows and doors have faded but otherwise the window assemblies appear in satisfactory condition.

Character defining features

Two story rectangular building and street front facade
Large storefront type openings at ground floor
Large upper window openings aligning with lower
Central entry with separate ground floor entries
Long side elevations with exposed brick, pilasters and minimal windows
Original cornerstone revealed at building base

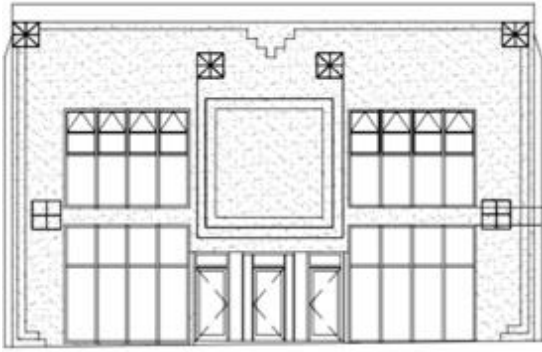
Rehabilitation



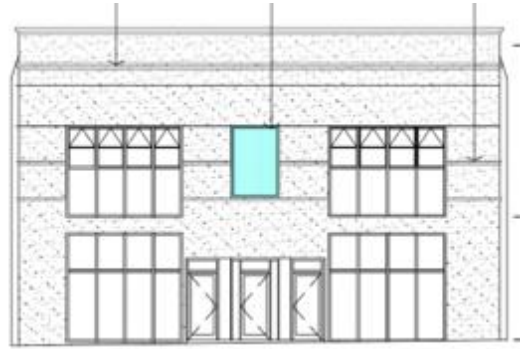
112 N. Catalina Avenue

The 112 N. Catalina Avenue building retains its original volume and massing as well as the division of the front façade into three modules and symmetrical design. There are no architectural details on the sides of the building except for five pilasters. During a 1993 remodel original features were removed or covered. The proposed rehabilitation of the building includes restoring original elements based on photographic documentation of the building's pre-1993 front façade.

The original building design included a cornice which will be reconstructed. Also, horizontal banding at the upper level of windows will be reintroduced. The original upper middle window had been removed; that area will re-reconfigured with a centered window similar to the original design.



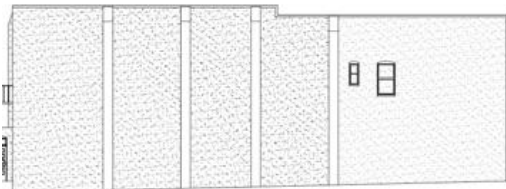
112 N. Catalina Ave., drawing of existing front elevation



Drawing of proposed front elevation

The building at 112 N. Catalina Avenue will be adapted to provide housing units. The first floor level of the north side elevation has been obscured from view since construction of the adjacent building (116 N. Catalina Avenue) in 1921. The north elevation is a blank wall except for the five pilasters, a cornice and two windows. The north elevation will become fully visible with the demolition of the non-historic 116 N. Catalina Avenue building which will be replaced by a driveway that will provide access into the complex. About 20 percent of the building, at the rear, will be demolished; one pilaster, the farthest back, will be removed. On the second and third floors of the building, new double-hung windows will be inserted to support the new interior residential program. At the first floor level most of the building will have garage openings that will lead to parking spaces. The first level parking space closest to the front of the building will have a roll up garage door as this area of the building will be the most visible from the public right of way.

The south elevation is similar to the north elevation with five pilasters and few windows, and it has been visible at least since the adjacent parcel at 100 N. Catalina Avenue was cleared of buildings in recent decades. There are no architectural details on either the north or south side elevations as it was thought that the adjacent parcels could be developed with buildings with no side yard setbacks. The proposed Catalina Village project will add a three-story building adjacent to and abutting the 112 N. Catalina Avenue building on its south side. As a result, the south elevation will no longer be visible.



112 N. Catalina Avenue, drawing of existing side (north) elevation



112 N. Catalina Avenue, drawing of proposed side (north) elevation

124 N. Catalina Avenue (1946/1950)



124 N. Catalina Avenue

Description

The front façade retains the original configuration of the storefront opening including the horizontal mullion that separates the upper transom windows although the window sash and storefront has been changed to dark finished aluminum. There is a decorative pattern of masonry at the bulkhead that may be original. Existing signage is not original. The building extends back into the parcel with space for laundry equipment. That area is generally unadorned on the exterior and the massing offsets along the south elevation separating the significant front part of the building from the less meaningful rear structure.

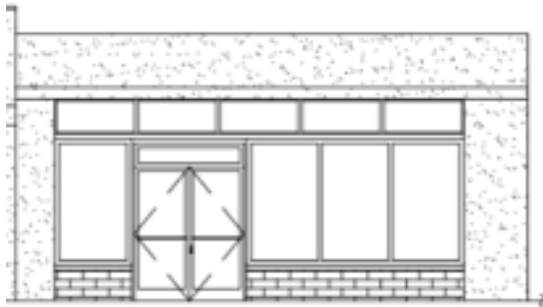
Condition Assessment

The façade is generally in satisfactory condition. There have been unattractive modifications to the front façade mostly from exposed electrical service and outdoor lighting applied to the building that impacts the historic quality of the building. The horizontal wood mullion separating the transom windows should be refurbished.

Character Defining Features

Storefront at street front
Defined front portion of building massing
Varied stone base matching adjacent building
Small front overhang with curvilinear shape
Storefront Glazing with area for clerestory windows separated by mullion
Smooth finish on front of concrete block building
Recessed entry door area

Rehabilitation



Drawing of 124 N. Catalina Ave., existing front elevation Photo of 124 N. Catalina Ave., front elevation.

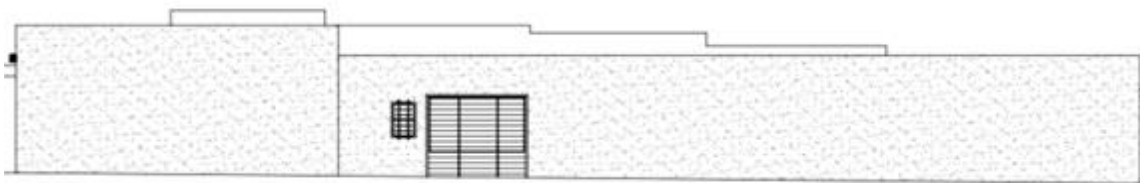
The front elevation of 124 N. Catalina Avenue will remain the same. The original windows and doors remain as well as the original stacked stone bulkhead. A new sign will be placed at the upper level of the building – the traditional location on the building for signage.



Sketch of 124 N. Catalina Ave., front (west) and proposed side (south) elevation



124 N. Catalina Ave., Photo of existing side (south) elevation (Google Earth, c2020)



124 N. Catalina Ave., Drawing of existing side (south) elevation



124 N. Catalina Ave., Drawing of proposed side (south) elevation

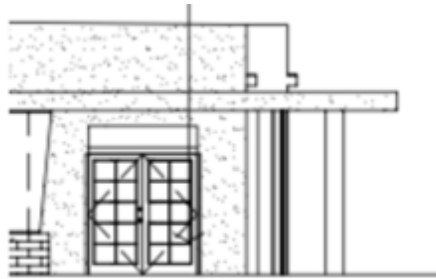
Two new windows will be inserted into the front portion, the original retail section, of the 124 N. Catalina Avenue building. They will be the same height as the front storefront windows but will be differentiated with more mullions. There will be a stacked stone bulkhead under each of the windows. The stacked stone will be discontinuous along this elevation to differentiate it from the original continuous stacked stone bulkhead of the front façade. The addition of similarly sized windows and the treatment of the glazing and stacked stone bring design elements of the front façade to this visible side of the building, but their design is sufficiently differentiated.



126 N. Catalina Ave., and 124 N. Catalina Ave. showing proposed north side elevation of 124 N. Catalina Ave.



Beige wall is north elevation of 124 N. Catalina Ave. and green is projecting addition of 126 N. Catalina Ave.



When green projecting wing of 126 N. Catalina Ave. is demolished, more of the north elevation of 124 N. Catalina Ave. will be revealed. A set of double doors will be added to that elevation

A new door will be added to the north elevation of the 124 N. Catalina Avenue building. As the 126 N. Catalina Avenue building is set-back from the sidewalk (with the canopy over the setback area) a portion of the north elevations of 124 N. Catalina Avenue is currently visible. More of that elevation was visible before the projecting office wing of 126 N. Catalina Avenue was constructed. That office wing (painted green) will be demolished, exposing more of the north elevation of 124 N. Catalina Avenue. To support the adaptive reuse of the two buildings, a set of glazed double doors will be inserted into that elevation. The wall is blank so there are no architectural details that would be impacted with the addition of the door.

126 N. Catalina Avenue (1949)



126 N. Catalina Avenue

Description

The one-story building is designed with a modernist flair with expressive front entry covering and angled supports. The storefront setback within the space is continuous glazing with corner butt-joint glass. A large aluminum sliding window at the south end does not appear original. The exterior surface of the front portion of the building is a heavily textured plaster. The base of the storefront has a bulkhead with a decorative masonry pattern very similar to the adjacent building. An odd downspout has been strapped to a front column. Electrical conduits are visible by the upper signage. The south side abuts the neighboring building while the north side is visible facing open space. The front portion of the building is distinguished from the rear portions that have a dropped parapet and appear as an appendage to the front structure with a different finished surface.

Condition Assessment

The coffee shop front façade is generally in good condition with stylistic architectural elements intact. The glazed storefront including the corner without mullions will need further assessment to ensure longevity. The pair of front entry

doors may not be original but are in satisfactory condition. The curved and rough plastered extension at the south end with large sliding window do not appear original but both appears in satisfactory condition.

Character Defining Features

Defined front portion of building
Storefront facing street frontage
Varied stone base
Large front overhang with curvilinear shape
Angled pylons (5) supporting projecting roof
Perpendicular signage parapet above roof
Plaster wall finish with recessed horizontal banding
Canted storefront glazing with thin line mullions
Storefront return on north side
Recessed entry door area

Rehabilitation



126 N. Catalina Ave., drawing of front elevation



126 N. Catalina Ave., photo of front elevation



126 N. Catalina Ave., drawing of proposed front elevation



Sketch of front elevation

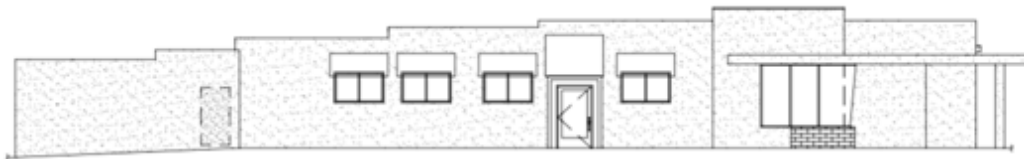
Rehabilitation of the Mid-Century Modern building at 126 N. Catalina Avenue includes retention of all original features on the historic street-facing storefront elevation – windows, doors, and canopy with its integral blade sign and pillars. The rehabilitation proposal for the front elevation of 126 N. Catalina Avenue also proposes demolition of the projecting office wing (painted green) on its south end. This wing was added at a later point in time. Although there are no building permit records, physical evidence shows that this is not original: the position and type of windows located on this projecting office wing are dissimilar to the other windows on the front elevation and are not

representative of window types employed on the front elevation. Also, the stacked stone bulkhead which is a feature of the main portion of the front elevation is missing from the projecting office wing. Removal of this wing will not result in an adverse impact to any historic features.

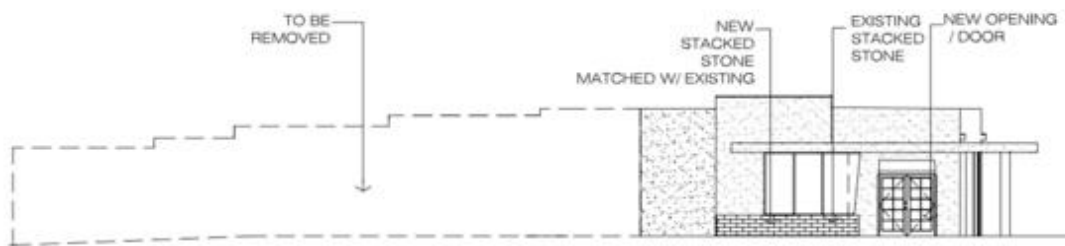
With the removal of this added wing, the front elevation will be a single plane. The new wall section will be consisting of four windows of the same height as the original windows of the storefront façade. The new windows will differ from the original windows in that they will be narrower. A stacked stone bulkhead, similar to the original, will be constructed; the stacked stone bulkhead is an existing feature on both buildings and filling in the “gap” provides continuity of design along this elevation. The Modernistic curved canopy with its projecting blade sign and pillars will be retained.



Photo of side (north) elevation of 126 N. Catalina Ave.



Existing side (north) elevation of 126 N. Catalina Avenue



Proposed side (north) elevation of 126 N. Catalina Avenue

132 N. Catalina Avenue (1905/1930)



132 N. Catalina Avenue

Description

The current structure retains the location and massing of the original building along with previous side additions on north and south. Little of the original structure remains while interior elements that relate to the buildings original use as a blacksmith and then later a metalwork shop are intact. The roof appears to be of more recent construction.

On the north is a covered area that has two column/pilaster elements with a wall constructed of wood and flat metal panels at the frontage that may have been originally a portal into the space that has since been infilled. According to the City of Redondo Beach Sanborn Insurance Map, a small building on site may have been moved into this location.

The front façade extending across the central portion with stepped parapet and south addition is vertical wood planks covered over with large metal panels stamped with a brick-like pattern. The metal panels are nailed and screwed onto the façade and also wrap the southwest corner and continue for approximately 10 feet along the south side of the building. Metal panels would have been installed after the construction of the south addition. There is a large central opening and a horizontal window opening to the north of the entry way. A large gate to the south at the street frontage marks the end of the central portion of the

structure and serves as entry into the south addition. There is also a door at the far southern end of the front façade that accesses an electrical closet directly behind the building front.

Large pulleys in the ceiling at the back of the main building connect a series of machines with a single motor. The assembly of machine elements is a historic feature of the space although not operational now.

Condition Assessment

Initial investigation found unfinished vertical wood siding that is in poor condition behind the metal panels. The wood framing of the wall behind the woodwork appears to be of relatively recent construction. At the front façade of the north portion, the woodwork at the columns and wall is in extremely poor condition. The enclosed north area has a low sloping roof that spans across the space but leaves a gap along the side property line. This structure may require removal or re-construction.

Much of the roof structure from the interior appears updated with plywood sheathing although some lumber looks older with true dimensions and square corners. The current main façade appears to have been constructed around WWII. The assessor indicates changes in 1930 which may relate to the additions to the building. One possibility is that there may have been a masonry façade that collapsed in the Long Beach Earthquake. Alternatively, the building may have had a vertical wood façade that was eventually covered with the metal siding although it is unusual that a wood façade would be unfinished. The current condition is that the wood façade behind the metal panels appears heavily deteriorated. The metal panels have also been applied in a haphazard process with a mix of nails and screws and metal panels were bent around the corner to extend along the south facade.

Character defining features

Street front stepped façade with central entry
Large vehicle size opening toward south end of front façade
Area covered with plywood over entry may conceal taller opening or clerestory windows
Plain façade with minimal trim
Gabled roof structure
Shed at north with pylons

Rehabilitation



132 N. Catalina Avenue, photograph of front elevation

The 132 N. Catalina Avenue building retains the original form of its stepped front parapet that hides the gabled roof building. A portion of the rear of the building will be demolished but the gable roof form will remain and will be visible looking at the rear of the building.

The building will be adapted from industrial uses/office to a tasting room. The lean-to shed on the north side of the building will be demolished to make way for a driveway into the complex. This shed lean-to is of unknown provenance and not a substantive element of the building. While the windows and doors are not original their location and size appear to have been in place for decades. The pattern and size will be retained; a set of transom windows will be added above the entry doors. The thin metal siding is not original; it will be replaced by horizontal wood siding.



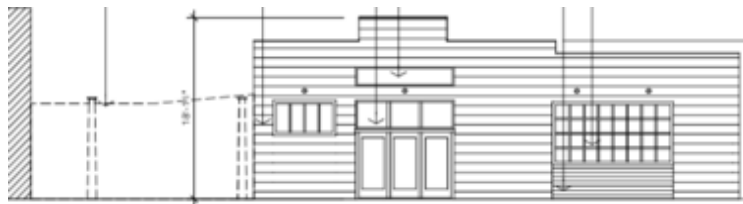
132 N. Catalina Avenue, front and side (south) elevations

The sides of 132 N. Catalina Avenue are devoid of any architectural style or detailing. To adapt the building into a tasting room two new windows will be inserted into the south side elevation. The north side elevation which will be facing the driveway will have a panel with a painted mural attached to the side of the building.



Pulleys connect to equipment

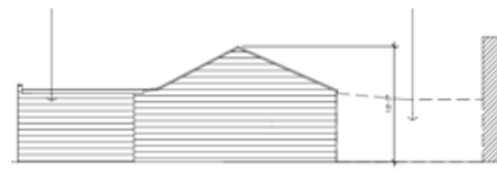
There is some residual machinery inside the building which are interesting artifacts. Although the machinery is not part of the public exterior view of the historic district, this equipment provides reference to an earlier era and the prior industrial uses of the site. Pieces of the equipment with possible connection via pulleys to an overhead shaft or similar is planned within the reconfigured interior as part of an interpretive exhibit.



126 N. Catalina Avenue, drawing of proposed front elevation



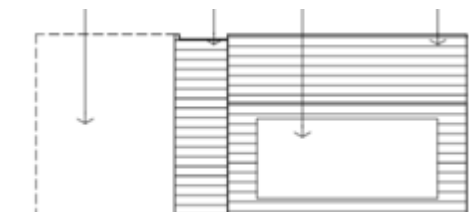
132 N. Catalina Ave., drawing of existing rear elevation



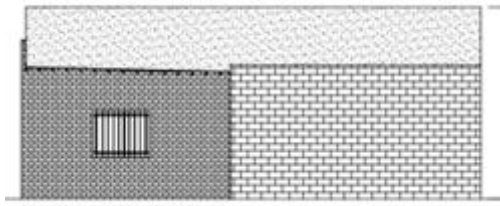
Drawing of proposed rear elevation



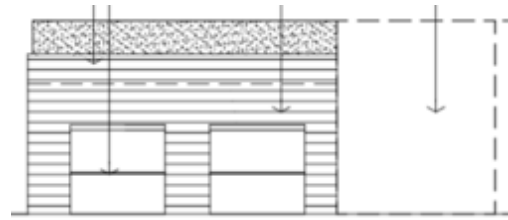
132 N. Catalina Ave., drawing of existing north elevation



Drawing of proposed north elevation



132 N. Catalina Ave., drawing of existing south elevation



Drawing of proposed south elevation

The original exterior cladding of the building is unknown. Horizontal wood siding will be applied to the building and it will conform to the stepped front profile of the building.

Methodology and Process

Secretary of the Interiors Standards & Preservation Briefs

The Secretary of the Interiors' Standards for Rehabilitating Historic Buildings will guide the overall approach to rehabilitation for this project. The Standards are listed at the end of this report. Along with the Secretary of the Interiors' Standards, the National Park Service through its Technical Preservation Services provides guidance through the Preservation Briefs series (currently 50) and a Technical Notes series.

These publications offer background and case studies for issues ranging from preparation of surveys and site documentation to treatments of windows, plaster, woodwork, metalwork and paint removal. There are also supplementary technical briefs that similarly provide overall rehabilitation strategies along with specific case studies for design for historic structures. These Briefs and Technical Notes can be included in specific specification sections as needed for reference.

California Historical Building Code (CHBC)

The buildings may be considered a qualified historic resource for use of the California Historical Building Code. The code covers alternate provisions for historic structures that promote safety and access while tailoring the requirements to specific building conditions. Sections of the Historic Building code allow for alternate provisions for Change of Use, Accessibility, Egress, Fire Safety, Archaic Materials, Structural Regulations and other building systems when a regular code provision could potentially impact historic features

Specifications

Treatments for historic features are to be appropriately specified. Rehabilitation of existing plaster, wood, metal and tile finishes should follow treatments recommended in National Park Service Technical Briefs and that meet the Secretary of the Interior's Standards for Rehabilitation.

Alternates, Mock Ups and Submittals

A review of possible alternates is important to successful rehabilitation of historic buildings. Rehabilitation work requires comprehensive submittals as well as tests and mock-ups to determine the best approach to individual treatment or repair of historic elements.. Proactive reviews and jobwalks will help the team to respond appropriately to historic preservation issues within limits of time and budget.

Protection

The contractor should have a construction and protection plan for retained structures and finishes including ongoing review by the project team through phases of work.

Although some elements may be reconstructed, documentation and samples of original should be preserved for comparison during fabrication and installation. All storage of retained elements should be in weather protected and secure locations. Duct tape should never be applied to finish materials. Buildings that remain on site are to be protected from adjacent construction and movement of equipment and material during construction. There should be minimal disturbance of the ground as there are no subterranean spaces but new foundations adjacent to existing construction will be subject to common practice construction procedures. During the course of the work protection will require ongoing maintenance.

Overall Work Process

The project team will work together to highlight issues that may affect building elements. Early discussion of issues will help maintain the project schedule while finding solutions to meet the Secretary of the Interior's Standards for Rehabilitation. Documentation of the elements and process through drawings and photographs is important for the work.

Process for Historic Preservation during Proposed Project

- Review proposed design with project design team
- Review treatments and specifications for historic materials and features
- Review procedures at start of work and throughout construction
- Review documentation of existing historic elements prior to construction
- Review site during demolition for protection and preservation of historic features
- Visit site during the work to confirm appropriate compliance with Standards
- Review mock-ups and submittals for rehabilitation of historic features and materials
- Issue Field Notes as needed
- Maintain photographic record

Conclusion

The character defining features of the site and individual buildings can be preserved during development of the project. The proposed design is to retain the identified key character defining features of the original structures and incorporate these elements as part of a mixed-use development. The consistent backdrop of housing subtly highlights and features the contributing buildings to the historic district along N. Catalina Avenue and reinforces the character of the historic district. With adherence to the Secretary of the Interior's Standards for Rehabilitation of Historic Structures and ongoing review by Historic Preservation professionals a successful adaptive reuse and historic preservation project can be accomplished for the properties at 100 – 132 N. Catalina Avenue.

The Secretary of the Interior's Standards for Rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive features, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that is removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.