

NEW BALCONY:
David & CarolAnne Hardy

415 S. Guadalupe Ave.
Redondo Beach, Ca. 90277

APN 7508-020-030

LEGAL DESCRIPTION

ZONING : C-2

HISTORIC RESOURCE DISTRICT

Property Boundary Description:REDONDO BEACH VAC ST ADJ ON SE AND LOTCOM AT NE COR OF LOT 17 BLK 155 TH SW ONSE LINE OF SD LOTS 17 AND 18 61.1 FT THW ON S LINE OF SD LOT 18 26.3 FT TH N... SEE MAPBOOK FOR MISSING PORTION ...LOT 18 BLK 155

PROJECT SUMMARY

OCCUPANCY	R-3	LOT AREA	2830 SQ.FT.
TYPE OF CONSTRUCTION	VB	EX. TOTAL FLOOR AREA	1397 SQ.FT.
BUILDING CODE		UPPER FLOOR AREA	823 SQ.FT.
2019 CRC		LOWER FLOOR AREA	574 SQ.FT.
2020 CITY OF REDONDO BEACH CODES			

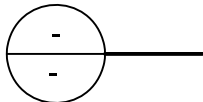
SITE AREA : 3,082 SQ.FT.

SHEET INDEX

LEGEND

- A-1 SITE PLAN / TITLE SHHET
- A-2 FLOOR / DEMO. PLANS
- A-3 ELEVATIONS

DETAIL / SECTION



2x WD. STUDS @ 16" O.C.
W/ R-15 BATT. INSULATION
(U.N.O.)



PROJECT DESCRIPTION :

NEW 158 SQ.FT. OPEN BALCONY AND NEW 6' X 6'-8" FRENCH DOOR.

PROJECT NOTES

1. THIS SET OF DOCUMENTS ARE CONSIDERED AS ONE UNIT AND SHALL NOT BE CONSIDERED COMPLETE OR WHOLE IF DOCUMENTS ARE SEPARATED IN ANY MANNER. DOCUMENTS SHALL NOT BE SEPARATED FOR THE PURPOSES OF SUBMITTING A BID PROPOSAL OR FOR THE SEPARATE PHASE OF ANY CONSTRUCTION.

2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS) AND FIELD VERIFICATION SHALL BE MADE BY THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR BEFORE BIDDING. ANY DISCREPANCY IN DIMENSIONS AND OR DRAWINGS AND OR GRAPHIC REPRESENTATION AND OR ACTUAL FIELD MEASUREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ITANI DESIGN GROUP AND RESOLVED PRIOR TO THE SIGNING OF CONSTRUCTION CONTRACT AND OR COMMENCEMENT OF ANY RELATED MATERIAL ORDERING AND OR WORK.

THIS PROJECT MUST BE BUILT FROM THE CITY APPROVED PRINTS, WHICH ARE TO REMAIN ON SITE AT ALL TIMES FOR USE BY ALL INVOLVED TRADES AND INSPECTORS.

NO SUBSTITUTIONS OR CHANGES TO APPROVED DRAWINGS CAN BE MADE WITHOUT CONCURRENCE OF THE OWNER AND ITANI DESIGN GROUP

ALL WORK, MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES, REGULATIONS AND AGENCIES.
4. GOVERNING CODES AND FIRE DEPARTMENT FIELD, INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHES. (N.I.C.)

5. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.

6. THESE DOCUMENTS ARE THE PROPERTY OF ITANI DESIGN GROUP AND OWNER. NO PART OF THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE USED FOR ANY OTHER PROJECT EXCEPT FOR THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF "ITANI DESIGN GROUP".

7. FOR REMODELING PROJECTS GENERAL CONTRACTOR TO VERIFY ALL EXISTING INSULATION FOR REMODELING PROJECTS DURING DEMOLITION. (G.C. TO PROVIDE R-19 BATT INSULATION AT ROOF FOR ANY DAMAGED OR MISSING INSULATION U.N.O.)

8. GENERAL CONTRACTOR TO PROVIDE R-15 BATT INSULATION FOR ALL NEW WALLS U.N.O. G.C. ALSO TO PROVIDE R-30 BATT INSULATION AT NEW ROOF U.N.O.

3. CONTRACTOR TO CONFIRM THAT PROPER FINISH GRADE ELEVATIONS HAVE BEEN PROVIDED AT THE PERIMETER OF THE BUILDING AND ADJOINING AREAS, REFER TO BUILDING PLANS. REPORT TO ARCHITECT ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ROUGH GRADING.

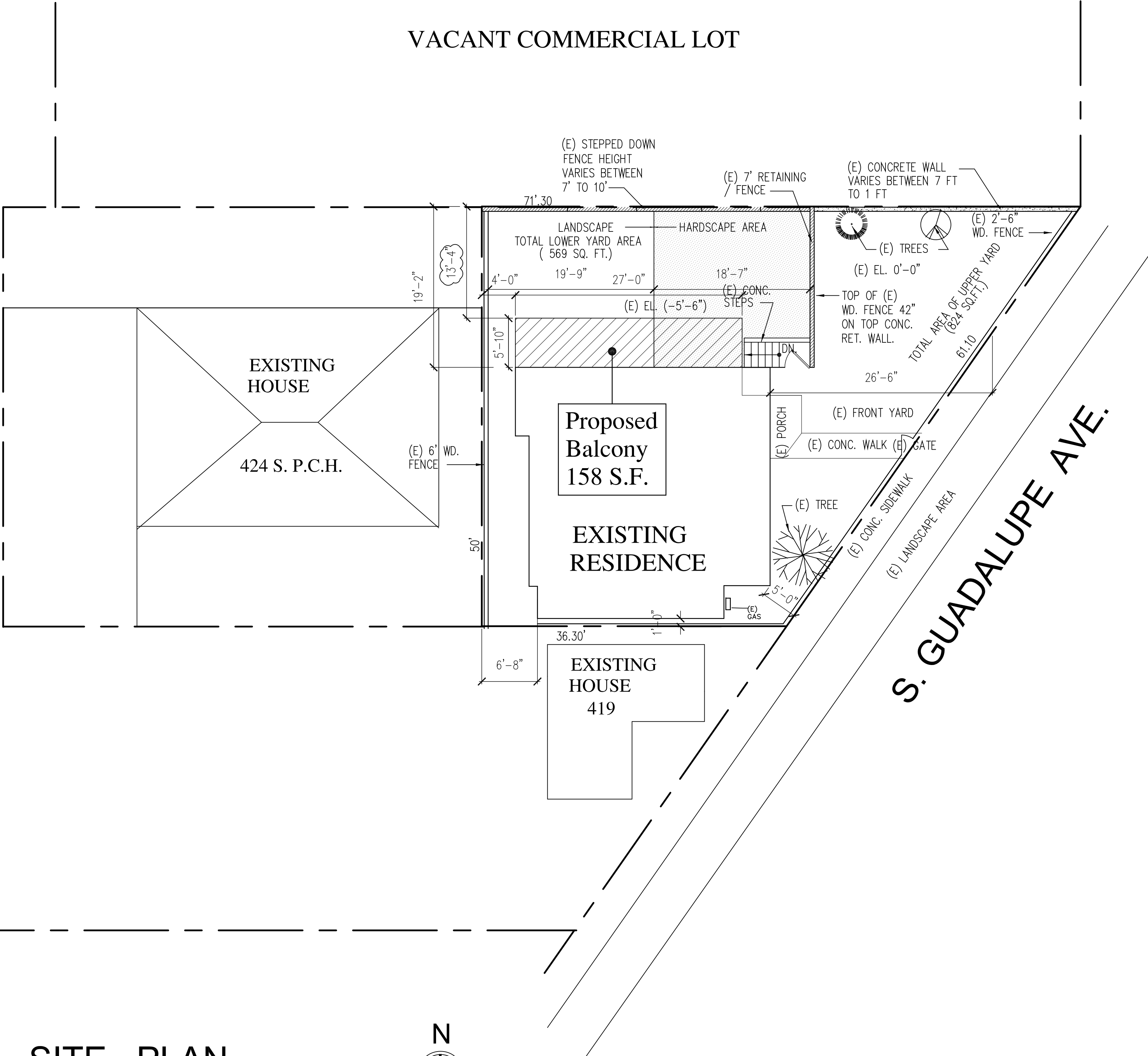
S. P.C.H.

SITE PLAN

SCALE: 1/8"=1'-0"

N

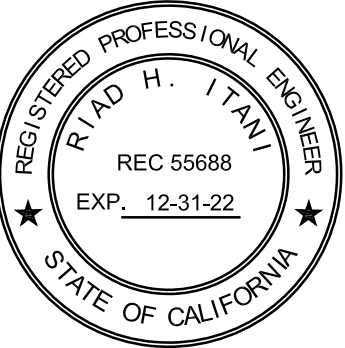
FOR REFERENCE ONLY



REVISIONS: DATE :

ITANI DESIGN GROUP
ARCHITECTURAL, STRUCTURAL, DESIGN

415 S. Guadalupe Ave.
Redondo Beach, Ca. 90277



Proposed Remodel For
David and CarolAnne Hardy

415 S. Guadalupe Ave.
Redondo Beach, Ca. 90277

DRAWING:

TITLE SHEET /
SITE PLAN

CHECKED BY: R.I.

DATE: 4-29-22

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY

SHEET NO.:

A-1

CADFILE: PLANS

JOB NO.

THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE SITE AND TO INSPECT THE EXISTING BUILDING.

THE CONTRACTOR SHALL DO ALL DEMOLITION NECESSARY FOR REMODELING THE EXISTING BUILDING AND ANY OTHER PREPARATORY WORK REQUIRED FOR THE NEW ADDITION.

THE SCOPE OF THE WORK SHALL NOT BE LIMITED TO THOSE ITEMS DEFINED ON THE DEMOLITION DRAWING, BUT IT SHALL INCLUDE REMOVAL OF EXISTING PLUMBING LINES, PLUMBING FIXTURES, ELECTRICAL (FIXTURES, CONDUITS, AND WIRING), MECHANICAL (DUCTS AND EQUIPMENT), FLOORS, CONC PADS, WALLS, CEILINGS, DOORS, FRAMING, CONC SLABS, AND OTHER ITEMS INDICATED ON OTHER SHEETS.

THE CONTRACTOR SHALL PROTECT FROM DAMAGE ANY EXISTING INTERIOR STRUCTURE OR PORTIONS THEREOF.

ALL MATERIALS NOT BEING REINSTALLED OR DESIGNATED AS BEING SALVAGED BY THE OWNER SHALL BE REMOVED AND DISPOSED OF OFF THE SITE.

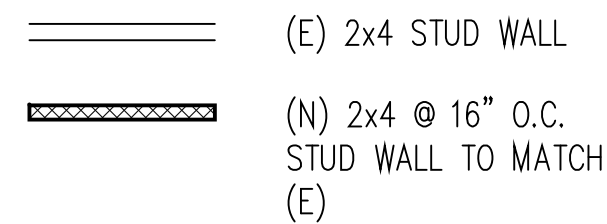
ALL PLUMBING AND ELECTRICAL LINES SHALL BE REMOVED AND CAPPED AS REQUIRED BY CODE OR AS NECESSARY FOR THE SAFETY AND WELL-BEING OF THE BUILDING OCCUPANTS.

===== (E) WALL TO REMAIN

== == == (E) WALL TO REMOVE



SCALE: 1/4"=1'-0'



- SWITCH – MOUNT @ 42" TYP u.n.o.
- 15 AMP 110/120 V AC DUPLEX RECEPTACLE
– MOUNT @ 12" TYP.
- CARBON MONOXIDE DETECTOR
ELECTROCHEMICAL
or may be combined w/ SMOKE DETECTOR
per CRC R315.1
- SMOKE DETECTOR – PHOTOELECTRIC
110V HARD WIRED W/ BATTERY BACK-UP.
AT NEW CONSTRUCTION SMOKE DETECTORS
MUST BE HARD WIRED W/ BATTERY BACK-UP
& AUDIBLE IN ALL SLEEPING AREAS PER CBC
sec.907.2.10. PROVIDE BATTERY OPERATED
SMOKE DETECTORS IN ALL EXISTING SLEEPING
AREAS.
Inspect all Smoke Alarms in Bedrooms and common areas
Replace as required at existing areas per code.
- FLUORESCENT
RECESSED DOWN LIGHT (type C) HIGH EFFICACY
(IC-RATED)
- PENDANT LIGHTING FIXTURE W/
LOW-VOLTAGE HALOGEN MR LAMPS
OR REFLECTOR LAMPS
LOW EFFICACY



SCALE: 1/4"=1'-0"



SCALE: 1/4"=1'-0"

